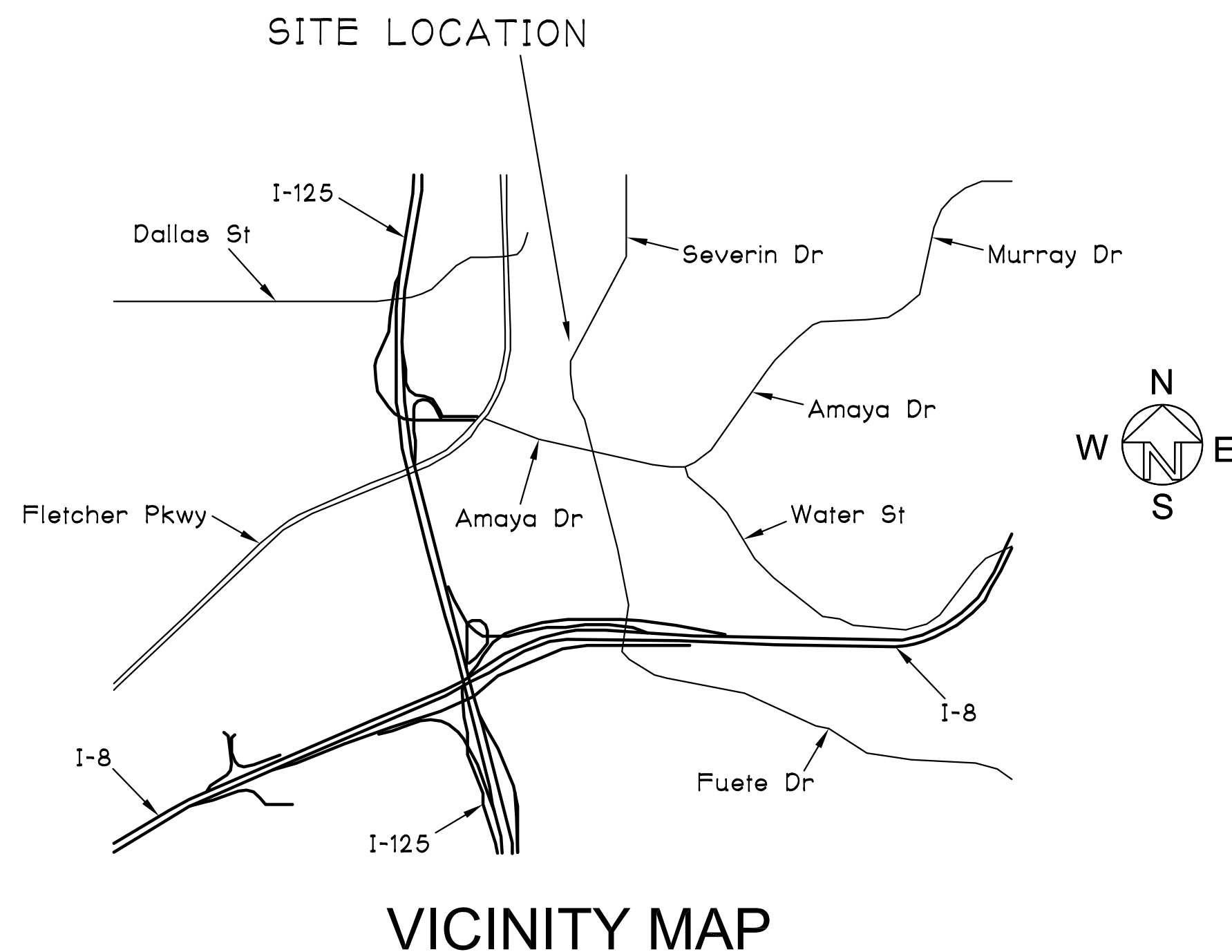


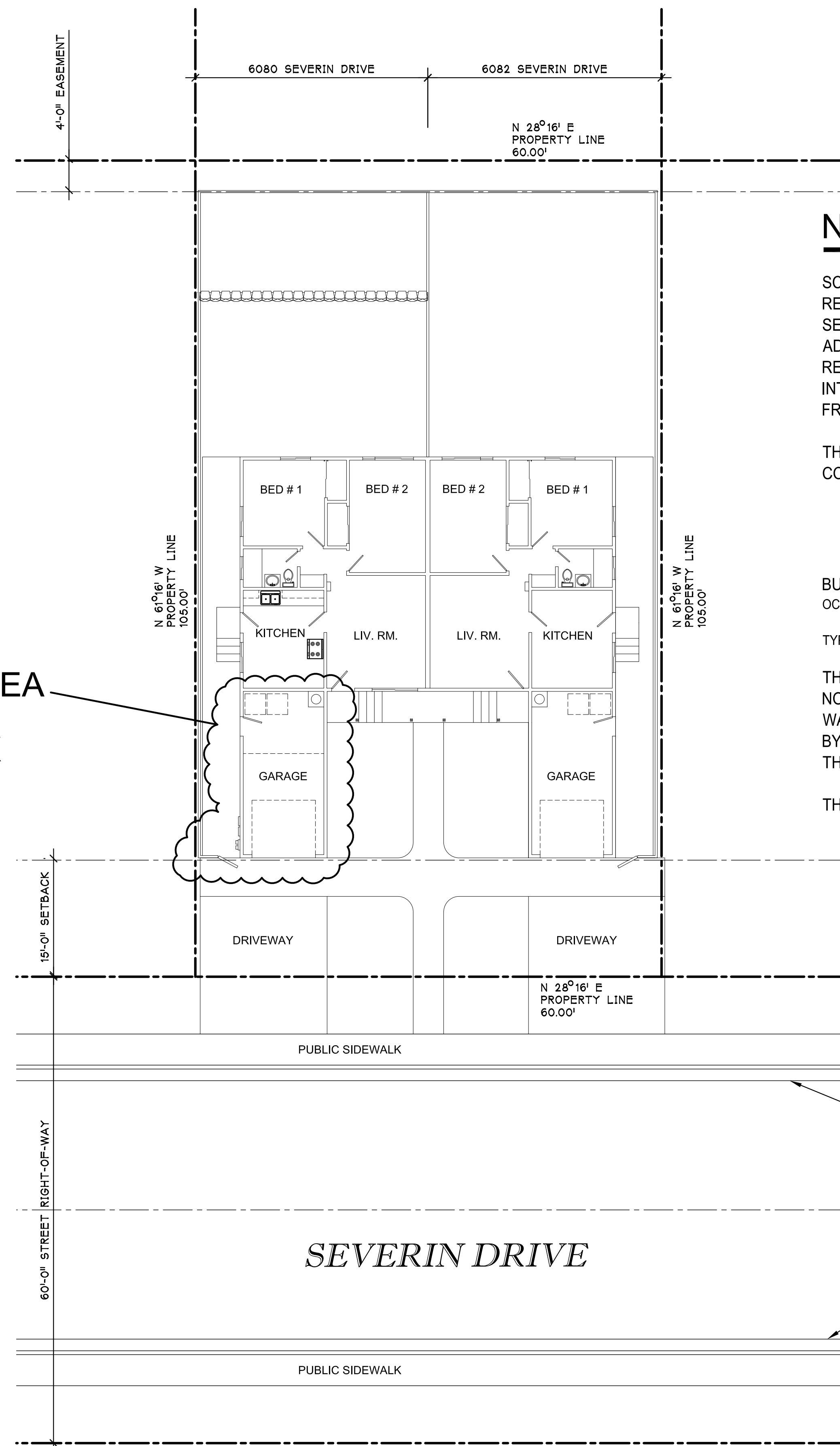
SCALE: 3/4"=1'-0"

1



VICINITY MAP

MAIN AREA of WORK



EXISTING OVERALL SITE PLAN

SCALE: 1" = 20'-0"

NOTES:

SCOPE OF WORK:
RECONSTRUCT SINGLE VEHICLE GARAGE TO EXISTING DUPLEX RESIDENCE for SEVERE FIRE DAMAGE to 6080 SEVERIN DRIVE. NO ADDITIONAL SQUARE FOOTAGE ADDED.
RELOCATE ELECTRICAL CIRCUIT PANELS FROM EXTERIOR OF BURNT GARAGE TO INTERIOR OF EACH UNIT. REMOVE CEILINGS OF SOUTH UNIT FOR ACCESS TO ATTIC FRAMING FOR SMOKE SOOT DAMAGE.

THE APPLICABLE CODE FOR THIS PROJECT IS THE 2019 EDITION OF THE CALIFORNIA CODE OF REGULATIONS (CCR); TITLE 24 WHICH ADOPTS AND AMENDS:
THE 2018 INTERNATIONAL BUILDING CODE to 2019 CALIFORNIA BUILDING CODE;
THE 2018 INTERNATIONAL RESIDENTIAL CODE to 2019 CALIFORNIA RESIDENTIAL CODE;
THE 2019 CALIFORNIA ENERGY CODE with 2008 CALIFORNIA ENERGY EFFICIENCY STANDARDS;
THE 2018 NATIONAL ELECTRICAL CODE to 2019 CALIFORNIA ELECTRICAL CODE.

BUILDING CODE DATA LEGEND:
OCCUPANCY GROUP: R-3 - RESIDENCES (2 MAX)
U - PRIVATE GARAGE
TYPE OF CONSTRUCTION: V-B

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

THE EXISTING BUILDING IS NOT PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM.

SHEET INDEX

- R1 -- SITE PLAN
- R2 -- GROUND FLOOR REPAIR PLAN
- R3 -- ROOF FRAMING REPAIR PLAN and SECTIONS
- E1 -- ELECTRICAL PLAN



PLANS APPROVED BY THE CITY OF LA MESA BUILDING INSPECTION DIVISION SUBJECT TO THE FOLLOWING:

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APPROVED FOR CONSTRUCTION

1/12/2022, 11:33:43 AM
B22-026
Aaron Sturm

6080 SEVERIN DRIVE:
LIVING AREA: 729 SQ. FT.
GARAGE: 241 SQ. FT.

6082 SEVERIN DRIVE:
LIVING AREA: 729 SQ. FT.
GARAGE: 241 SQ. FT.

APN: 486-331-06-00
LEGAL DESCRIPTION: TRACT MAP 2880 LOT 43*

OWNER ADDRESS:
5721 MEADOWS DEL MAR
SAN DIEGO, CALIF. 92130

ZONING: ZONE R-2

STRUCTURAL DESIGN CONSULTANT and ASSOCIATES
4539 JUDSON WAY, LA MESA, CA. 91942
PHONE (619) 460-1250

PROJECT: REPAIR OF FIRE DAMAGED DUPLEX RESIDENCE
6080 - 6082 SEVERIN DRIVE
LA MESA, CALIF. 91942

REVISIONS

DRAWN BY:

DATE:
12/10/2021

SHEET:

R1

- ① REMOVE EXISTING DRYWALL FROM THE CEILING. CHEMICALLY DEODORIZE and SEAL ATTIC FRAMING. INSTALL NEW R-38 INSULATION BETWEEN THE EXISTING CEILING JOISTS. INSTALL NEW 1/2" DRYWALL TO THE CEILING.
 - ② REMOVE EXISTING DRYWALL FROM THE WALL at LENGTH NOTED. CHEMICALLY DEODORIZE and SEAL WALL FRAMING. INSTALL NEW R-13 INSULATION BETWEEN THE EXISTING WALL STUDS. INSTALL NEW 1/2" DRYWALL TO THE WALL.
 - ③ REMOVE EXISTING DRYWALL FROM THE WALL at LENGTH NOTED. CHEMICALLY DEODORIZE and SEAL WALL FRAMING. INSTALL NEW 1/2" DRYWALL TO THE WALL.
 - ④ REMOVE EXISTING UPPER CABINETS and SAFE for REINSTALLATION after CEILING RESTORATION.
- ★ Garage to Dwelling Fire separation R302.6 1/2" DW set Fnd. to Roof Shgt. All penetrations protected

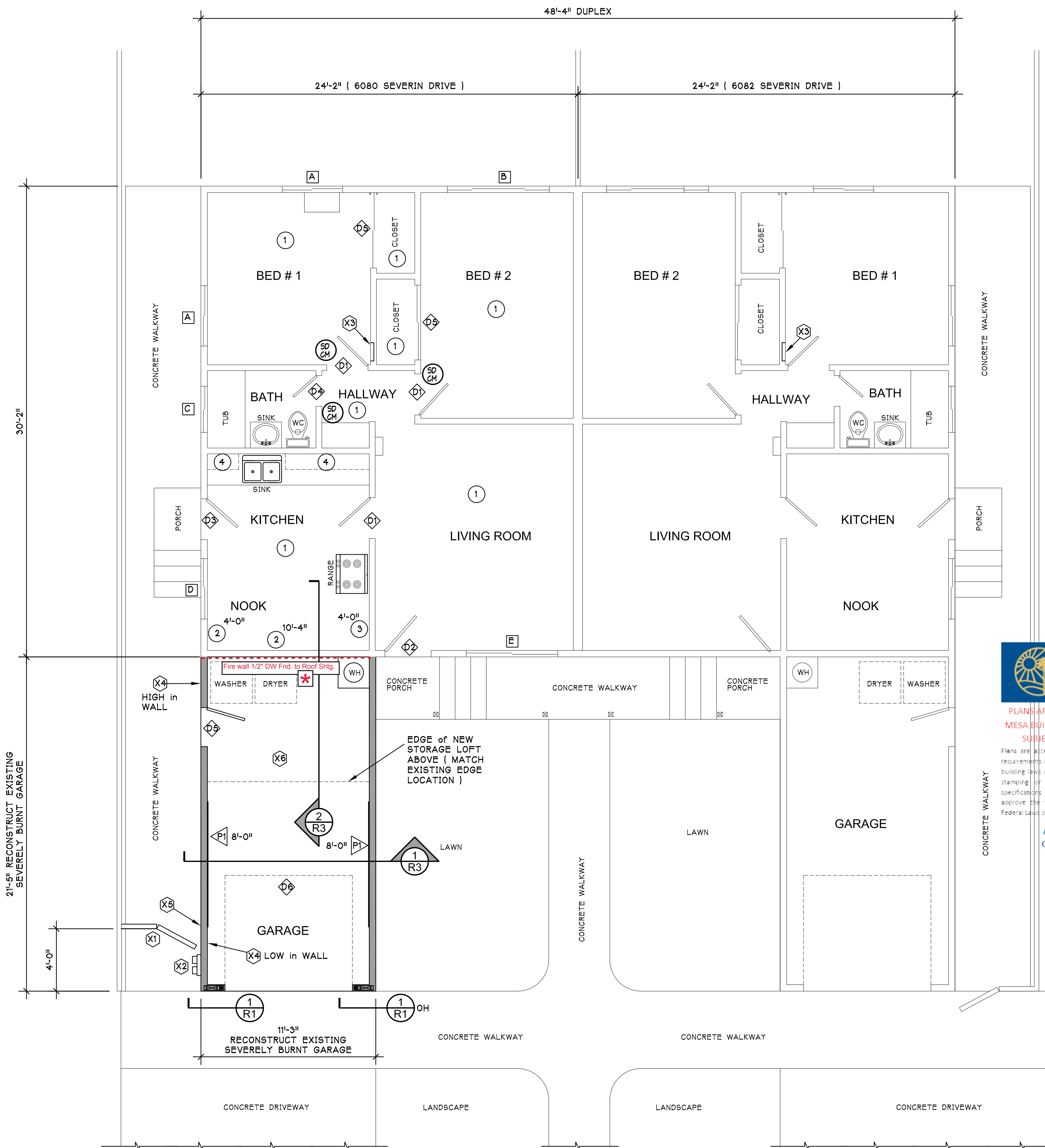
▲ NEW 3/8" CD PLYWOOD SHEAR WALL with 8d at 6" o.c. EDGES and 10" o.c. FIELD

- A EXISTING 46.5" W x 24.5" H H.S. WINDOW TO REMAIN.
- B EXISTING 78.5" W x 24.5" H H.S./FIXED/H.S. WINDOW TO REMAIN.
- C EXISTING 35.5" W x 21.5" H H.S. WINDOW TO REMAIN.
- D EXISTING 46.5" W x 49.5" H H.S. WINDOW TO REMAIN.
- E EXISTING 70.5" W x 49" H H.S. WINDOW TO REMAIN.

- Ⓛ EXISTING 31.625" INTERIOR DOOR TO REMAIN.
- Ⓛ EXISTING 35.5" INTERIOR DOOR TO REMAIN.
- Ⓛ EXISTING 31.5" EXTERIOR DOOR TO REMAIN.
- Ⓛ EXISTING 23.75" INTERIOR DOOR TO REMAIN.
- Ⓛ NEW 30" x 80" EXTERIOR DOOR.
- Ⓛ NEW 98" x 84" FOUR SECTION METAL VEHICLE DOOR

- X1 RELOCATE EXISTING WOOD FENCE and WOOD GATE 48" WESTWARD of EXISTING LOCATION or PROVIDE NEW TO MATCH EXISTING.
- X2 NEW DOUBLE ELECTRIC METER PANEL with 200 AMP RATING and SEPARATE 100 AMP MAIN FOR EACH UNIT. PROVIDE NEW WEATHER HEAD MINIMUM 36" ABOVE ROOF.
- X3 NEW ELECTRIC CIRCUIT BREAKER SUB-PANEL with 12 CIRCUIT SLOTS.
- X4 NEW GALVANIZED STEEL 14" x 18" GABLE LOUVER VENT, FLUSH MOUNT
- X5 NEW SECURITY LIGHT HIGH on WALL
- X6 MITIGATE SMOKE SOOT STAINED CONCRETE SLAB SURFACE by APPLYING EPOXY SURFACE SYSTEM with SILICA SAND BROADCAST. WESTCOAT DUBRO EPOXY COAT SYSTEM (EC-72, EC-12, EC-32, EC-34) REMOVE SURFACE LATIC by SHOT BLASTING or GRINDING to CSP 3-4 per ICRI.

Ⓛ INDICATES NEW COMBINED SMOKE DETECTOR/ALARM AND CARBON MONOXIDE ALARM. PROVIDE NEW SMOKE DETECTOR/ALARM WHERE INDICATED ON PLAN. PRIMARY POWER SHALL BE FROM ELECTRIC SYSTEM OF THE BUILDING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS. THE COMBINED UNITS SHALL COMPLY WITH SECTION R314 AND SECTION R315, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS.



REPAIR FLOOR PLAN

SCALE: 1/4" = 1'-0"



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STRUCTURAL DESIGN CONSULTANT and ASSOCIATES

4539 JUDSON WAY, LA MESA, CA. 91942 PHONE (619) 460-1250

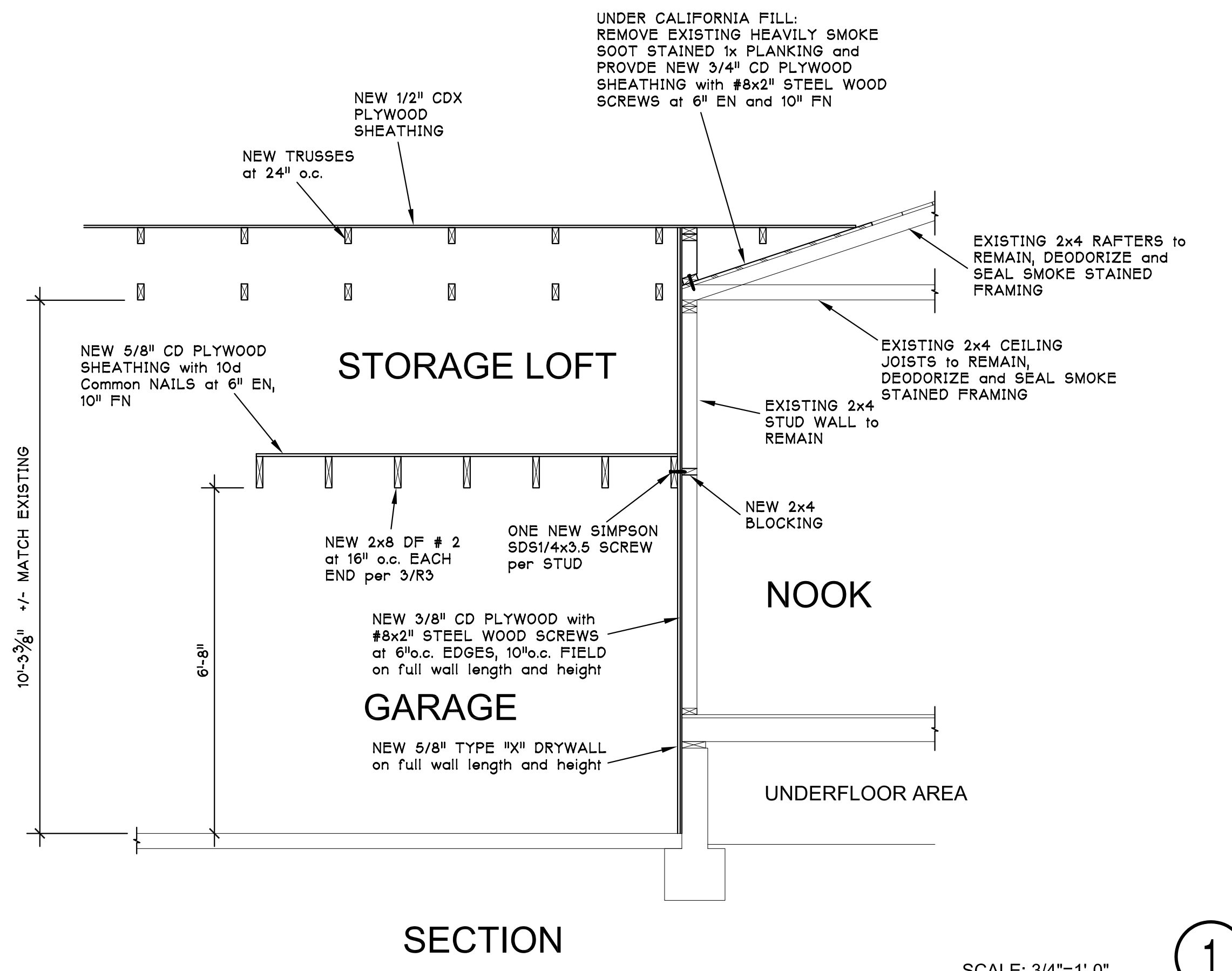
PROJECT: REPAIR OF FIRE DAMAGE to 6080 6080 - 6082 SEVERIN DRIVE LAMESA, CALIF. 91942

REVISIONS

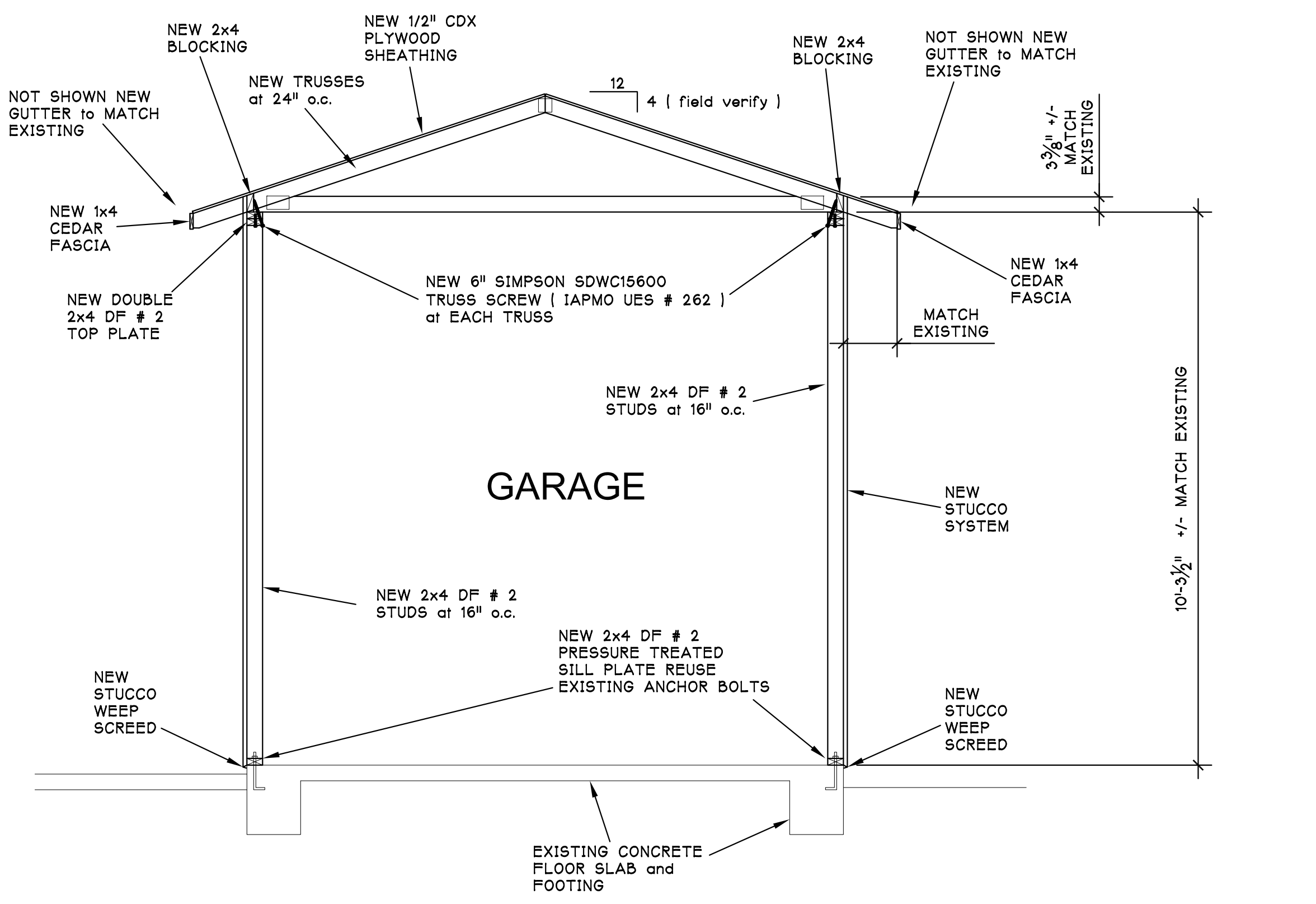
DRAWN BY: RRR

DATE: 12/10/2021

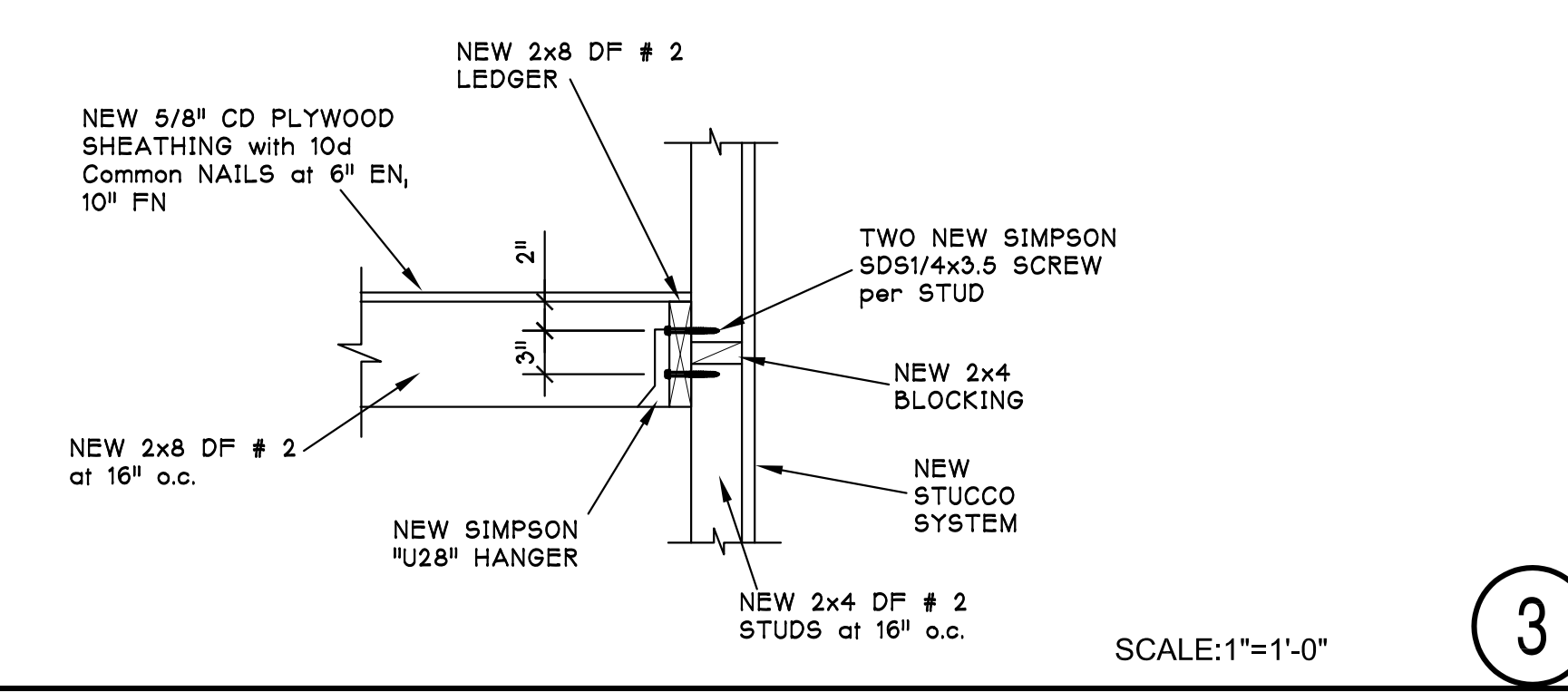
SHEET: R2



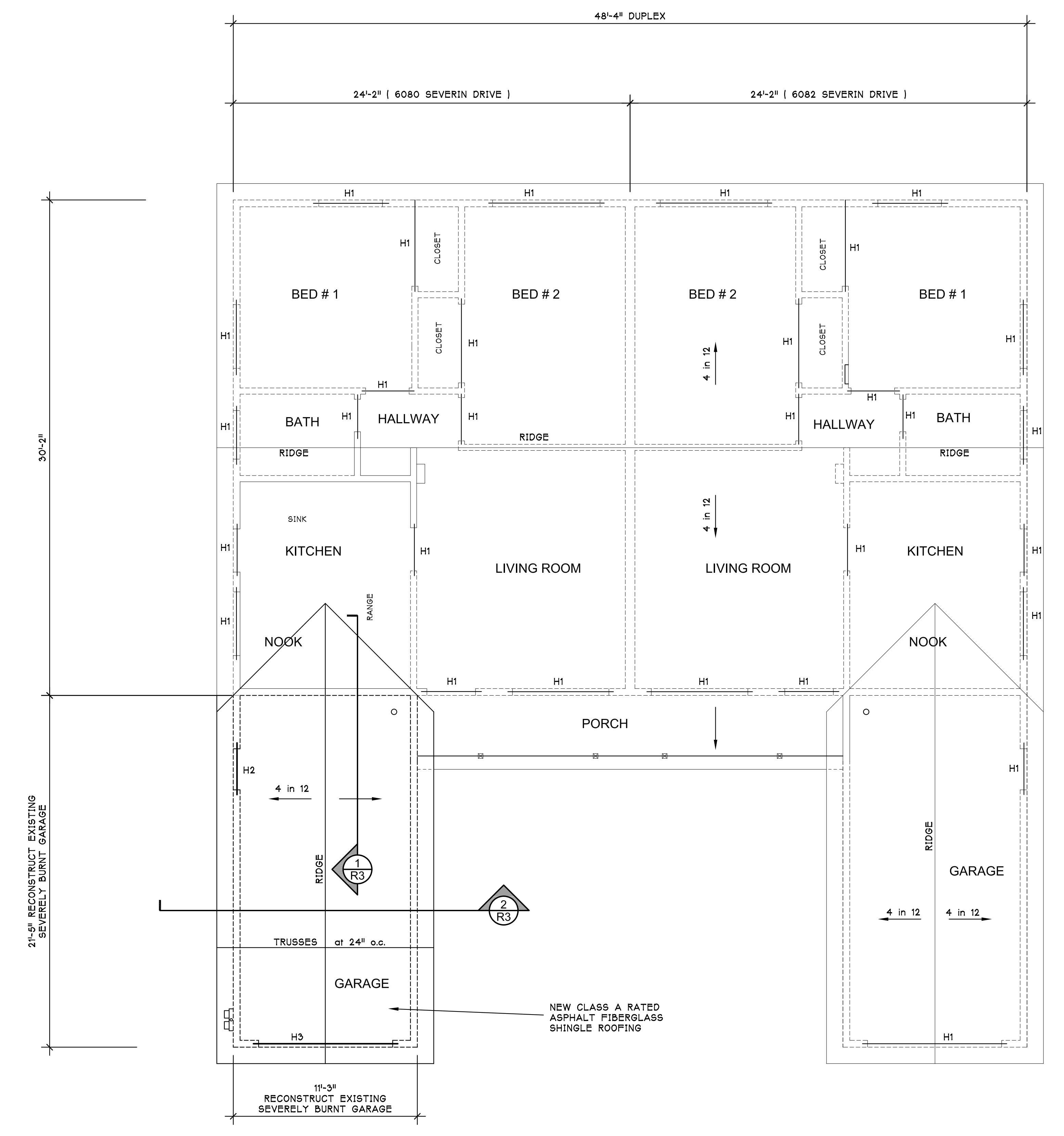
SECTION 1 SCALE: 3/4"=1'-0" 1



SECTION 2 SCALE: 3/4"=1'-0" 2



SECTION 3 SCALE: 1"=1'-0" 3



REPAIR ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"



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- H1 --- EXISTING HEADER to REMAIN
- H2 --- NEW 4x4 DF # 2 HEADER
- H3 --- NEW 4x8 DF # 2 HEADER



STRUCTURAL DESIGN CONSULTANT and ASSOCIATES
 4539 JUDSON WAY, LA MESA, CA. 91942
 PHONE (619) 460-1250

REPAIR OF FIRE DAMAGE to 6080
 6080 - 6082 SEVERIN DRIVE
 LAMESA, CALIF. 91942

PROJECT:

REVISIONS	

DRAWN BY:
RRR

DATE:
12/10/2021

SHEET:

R3

(X2) NEW DOUBLE ELECTRIC METER PANEL with 200 AMP RATING and SEPARATE 100 AMP MAIN FOR EACH UNIT. PROVIDE NEW WEATHER HEAD MINIMUM 36" ABOVE ROOF.

(X3) NEW ELECTRIC CIRCUIT BREAKER SUB-PANEL with 12 CIRCUIT SLOTS.

E AC EXISTING LOCKING 3 PRONG HEAVY DUTY WALL OUTLET for WALL AC UNIT

E EXISTING WALL OUTLET

E 42" EXISTING WALL OUTLET at ELEVATION 42" above FLOOR

NGL20 NEW GARAGE LAUNDRY 20 AMP BRANCH CIRCUIT WALL OUTLET with ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION per 2019 California Electrical Code section R210.12(A).

NG20 NEW GARAGE 20 AMP BRANCH CIRCUIT WALL OUTLET per 2019 California Electrical Code section R210.11(4).

N1 E -- EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN

N1 -- REPLACE DAMAGE LIGHT FIXTURE with NEW EXTERIOR WALL LIGHT to MATCH EXISTING STYLE. SHALL HAVE PHOTOCONTROL and MOTION SENSOR automatic control.

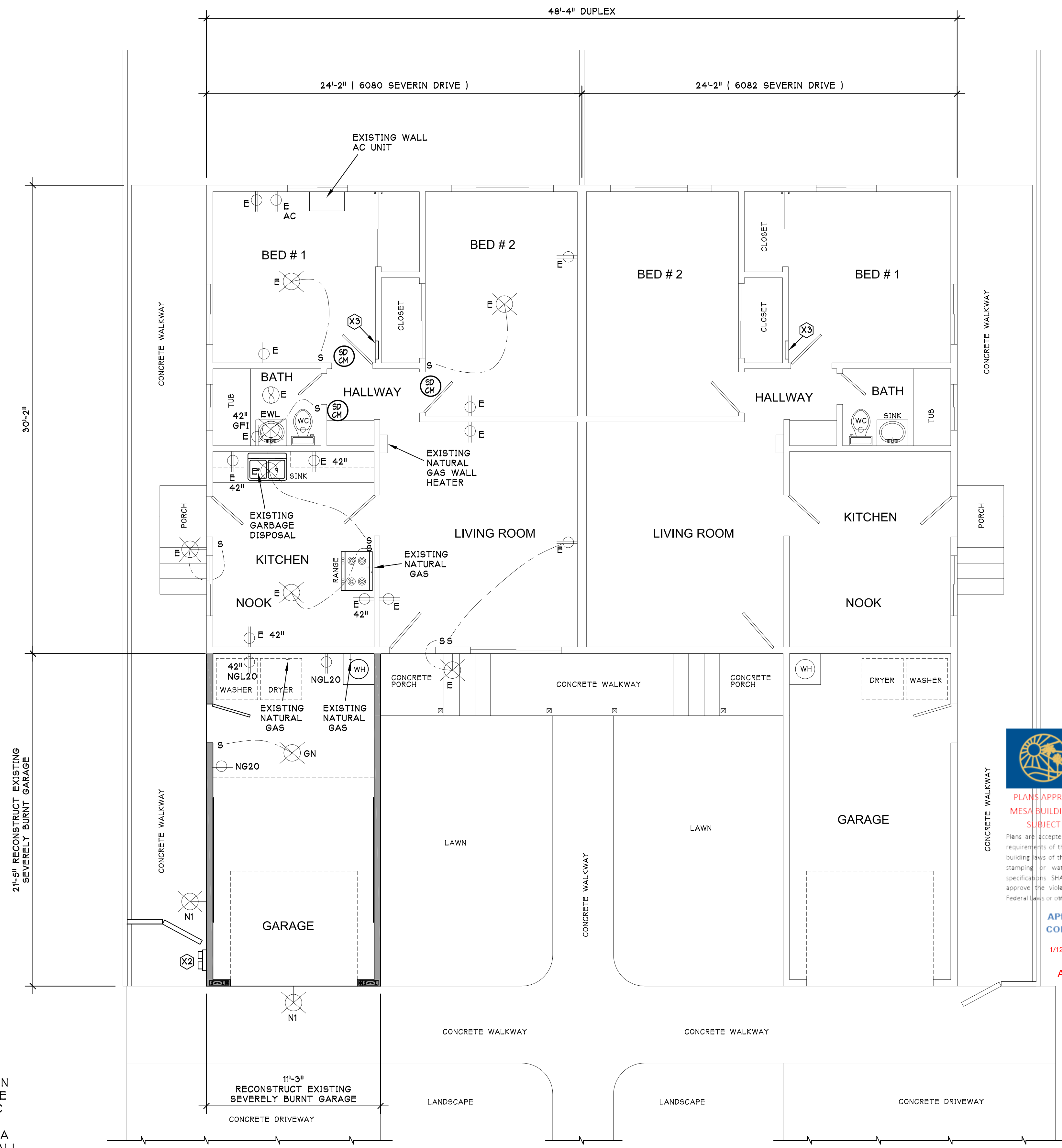
E -- EXISTING INTERIOR CEILING LIGHT FIXTURE TO REMAIN

EWL -- EXISTING INTERIOR WALL LIGHT FIXTURE TO REMAIN

GN -- GARAGE NEW LIGHT FIXTURE on UNDERSIDE of STORAGE LOFT. LUMINAIRY SHALL BE HIGH-EFFICACY IN ACCORDANCE with 2019 C.E.C. ES TABLE 150.0-A. LUMINAIRY MUST HAVE A LABEL CERTIFIED FOR AIR TIGHT CONSTRUCTION.

E -- EXISTING INTERIOR CEILING EXHAUST FAN TO REMAIN

(RM) INDICATES NEW COMBINED SMOKE DETECTOR/ALARM AND CARBON MONOXIDE ALARM. PROVIDE NEW SMOKE DETECTOR/ALARM WHERE INDICATED ON PLAN. PRIMARY POWER SHALL BE FROM ELECTRIC SYSTEM OF THE BUILDING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS. THE COMBINED UNITS SHALL COMPLY WITH SECTION R314 AND SECTION R315, ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS.



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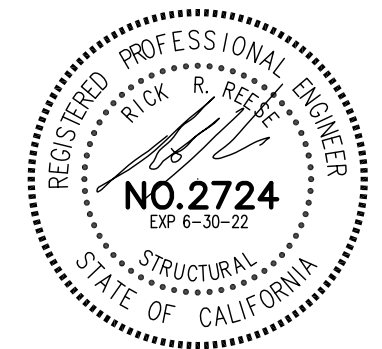
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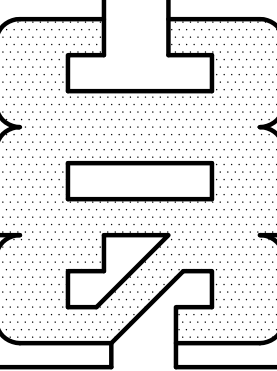
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REPAIR FLOOR PLAN

SCALE: 1/4" = 1'-0"



STRUCTURAL DESIGN CONSULTANT and ASSOCIATES



REPAIR OF FIRE DAMAGE to 6080
6080 - 6082 SEVERIN DRIVE
LAMESA, CALIF. 91942

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E1