A. GRADING NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE APPROVED PLANS AND APPROVED REVISIONS. ANY CHANGES OR REVISIONS THEREFROM SHALL BE APPROVED BY THE CITY ENGINEER AND MITIGATION MONITOR PRIOR TO ANY REQUEST FOR INSPECTION.
- ALL GRADING SHALL BE INSPECTED AND TESTED BY OR UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER. THE SOILS ENGINEER SHALL INSPECT THE EXCAVATION, AND SHALL OBSERVE AND TEST THE PLACEMENT, AND COMPACTION OF FILL AND BACKFILL AND COMPACTION OF TRENCHES; SUBMIT GEOTECHNICAL OR SOILS REPORTS AS REQUIRED AND DETERMINE THE SUITABILITY OF ANY FILL MATERIAL UPON COMPLETION OF GRADING OPERATIONS. THE SOILS ENGINEER SHALL STATE THAT OBSERVATIONS AND TESTS WERE MADE BY, OR UNDER DIRECTION OF THE SOILS ENGINEER, AND THAT EMBANKMENTS AND EXCAVATIONS WERE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL ASPECTS OF THE APPROVED GRADING PLANS, ANY APPROVED REVISIONS THERETO, SUBJECT LAND DEVELOPMENT PERMIT AND ORDINANCE NO. 1797 AS AMENDED. AND THAT ALL EMBANKMENTS AND EXCAVATIONS ARE ACCEPTABLE FOR THEIR INTENDED USE.
- THE CONTRACTOR SHALL PROPERLY GRADE ALL EXCAVATED SURFACES TO PROVIDE POSITIVE DRAINAGE AND PREVENT PONDING OF WATER. CONTRACTOR SHALL CONTROL SURFACE WATER TO AVOID DAMAGE TO ADJOINING PROPERTIES OR TO FINISHED WORK ON THE SITE, AND SHALL TAKE REMEDIAL MEASURES TO PREVENT EROSION OF FRESHLY GRADED AREAS UNTIL SUCH TIME AS PERMANENT DRAINAGE AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER AND THE MITIGATION MONITOR.
- ALL AREAS TO BE FILLED SHALL BE PREPARED PRIOR TO FILLING, AND FILL SHALL BE PLACED IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE SOILS REPORT. ALL VEGETABLE MATTER AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED, BY THE CONTRACTOR, FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED. LOOSE FILL AND UNSUITABLE SOILS SHALL BE REMOVED TO SUITABLE FIRM NATURAL GROUND. THE EXPOSED SOILS SHALL BE SCARIFIED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND THEN COMPACTED TO A MINIMUM OF 90% OF ASTM-D1557. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE, SPREAD, WATER AND COMPACT THE FILL IN STRICT ACCORDANCE WITH THE SPECIFICATIONS.
- CUT AND FILL SLOPES SHALL BE CUT AND TRIMMED TO THE FINISHED GRADE TO PRODUCE SMOOTH SURFACES AND UNIFORM CROSS SECTIONS. THE SLOPES OF EXCAVATIONS AND EMBANKMENTS SHALL BE SHAPED, TRIMMED, AND PLANTED IN ACCORDANCE WITH THE PLANTING NOTES AND AS DIRECTED BY THE ENGINEER OF WORK, AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS AND OTHER WASTE MATERIALS EXPOSED ON THE EXCAVATION OR EMBANKMENT SLOPES WHICH ARE LIABLE TO BECOME LOOSENED, SHALL BE REMOVED AND DISPOSED OF. THE TOE AND TOP OF ALL SLOPES SHALL BE ROUNDED IN ACCORDANCE WITH ORDINANCE NO. 1797, THESE GRADING PLANS, AND THE STANDARD DRAWINGS GRD-01 AND GRD-02. SLOPE SETBACKS AND GRADES SHALL CONFORM TO GRD-06.
- IF THERE ARE EROSION SCARS ON EXISTING SLOPES WHICH OTHERWISE WOULD NOT BE ELIMINATED BY THE PROPOSED GRADING. THESE SCARS ARE TO BE ELIMINATED BY TRIMMING. FINE GRADING AND PLANTING. IF THE SCARS ARE IN AREAS OF NATIVE VEGETATION, THE REPAIRS SHOULD BE PERFORMED WITH AN EFFORT TO AVOID OR MINIMIZE IMPACTS TO NATIVE VEGETATION. ALL SUCH REPAIRS IN AREAS OF NATIVE VEGETATION SHALL BE REVIEWED AND APPROVED BY THE CITY'S MITIGATION MONITORING COORDINATOR PRIOR TO THE BEGINNING OF THE REPAIR WORK.
- ALL TREES, BRUSH, GRASS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE COLLECTED, PILED OR OTHERWISE DISPOSED OF OFF THE SITE BY THE CONTRACTOR SO AS TO LEAVE THE AREAS THAT HAVE BEEN CLEARED WITH A NEAT AND FINISHED APPEARANCE FREE FROM UNSIGHTLY DEBRIS. APPROVAL OF LOCATIONS FOR DEBRIS FILL SHALL BE OBTAINED FROM THE SOILS ENGINEER PRIOR TO THE DISPOSAL OF ANY SUCH MATERIAL
- SUBDRAIN LOCATIONS SHOWN ARE APPROXIMATE AND ARE RECOMMENDED FOR ALL SIGNIFICANT FILL CANYONS. THE ACTUAL LOCATION AND EXTENT OF SUBDRAINS SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT AT THE TIME OF CONSTRUCTION.
- 9. THE SOILS REPORT TITLED: OTAY RANCH VILLAGE 2 SOUTH NEIGHBORHOOD MU-1 REVISED OCTOBER 13, 2023 SHALL BE CONSIDERED TO BE PART OF GEOCON, INC. GRADING PLAN. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN SAID REPORT.
- 10. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND SHOWN FOR GENERAL INFORMATION ONLY.
- . WHERE GRADING DOES NOT OCCUR, ALL EXISTING PLANT MATERIAL IS TO BE PROTECTED IN PLACE. NO CONSTRUCTION EQUIPMENT WILL BE ALLOWED TO TRAVEL THROUGH AND DAMAGE ANY OF THESE AREAS. ALL AREAS TO BE RETAINED IN A NATURAL CONDITION SHALL BE FENCED UNDER THE DIRECTION OF THE PROJECT BIOLOGIST. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR ANY AND ALL DAMAGE/IMPACTS TO THESE AREAS.
- 12. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER OF WORK AS-BUILT PLANS FOR ALL NEW IMPROVEMENTS AND GRADING SHOWN ON THESE PLANS FOR SUBMITTAL TO THE CITY ENGINEER FOR APPROVAL IN ACCORDANCE WITH SECTION 15.04.140 OF THE CHULA VISTA MUNICIPAL CODE.
- 13. IN THE CASE OF CONFLICTS, THE REQUIREMENTS OF THE EARTHWORK, SPECIFICATIONS PREPARED FOR THE PROJECT BY THE SOILS ENGINEER SHALL GOVERN THE REQUIREMENTS OF THIS PLAN AND THESE NOTES AND THESE PLANS SHALL BE REVISED ACCORDINGLY.

B. DIG ALERT NOTICE

IMPORTANT NOTICE

SECTION 4215/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. PER YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

C. FIRE NOTE

ALL FIRE HYDRANTS AND HARD SURFACES ACCESS MUST BE IN PLACE BEFORE COMBUSTIBLE MATERIALS ARE DELIVERED TO THE SITE.

D. GENERAL NOTES:

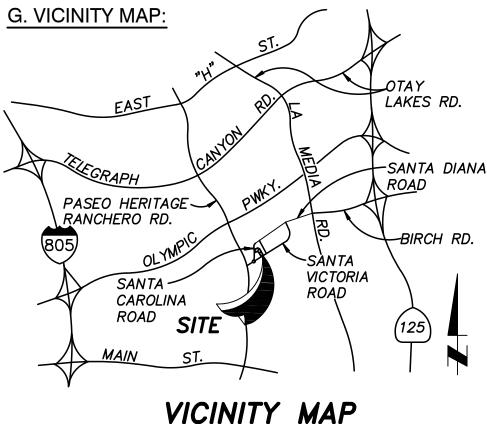
- CONJUNCTION WITH IMPROVEMENT PLANS.
- REPLACED OR REPAIRED TO CONDITION EXISTING PRIOR TO GRADING.
- SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- 6. ALL SEDIMENTATION BASINS, OUTLET PIPES AND DITCHES ARE PRIVATE UNLESS OTHERWISE
- REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT BY THE CITY OF CHULA VISTA.
- 8. GRADING EQUIPMENT SHALL NOT USE OR BLOCK TRAFFIC LANES DURING GRADING ACTIVITY. INSPECTOR AND THE MITIGATION MONITOR.

E. PRECONSTRUCTION CONFERENCE:

THE CONTRACTOR SHALL NOT BEGIN ANY WORK ON THIS PROJECT UNTIL A PRECONSTRUCTION CONFERENCE IS HELD WITH THE ENGINEER OF WORK, THE SOILS ENGINEER, DEVELOPER, CONTRACTOR, OTAY WATER DISTRICT INSPECTOR, CITY OF CHULA VISTA LANDSCAPE INSPECTION, AND CITY ENGINEER.

F. SHEET INDEX:

SHEET G001 :	TITLE SHEET / NOTES
SHEET G002-G003 :	KEY MAP, NOTES, DETAILS
SHEET G004 :	ROUGH GRADING PLANS
SHEET G005:	EROSION CONTROL TITLE S
SHEET G006 :	EROSION CONTROL PLANS



NOT TO SCALE THOMAS GUIDE. 57TH EDITION

PG. 1331, GRID C-2

LIST OF ABBREVIATIONS

CONTROL WITH THE SAID FLANS, ALL ATTROL NATE STANDARDS AND ANY DISCRETIONARY APPROVAL(S) FOR THE PROJECT. T.W. TOP OF WALL U.N.O. UNLESS NOTED OTHERWISE SIGNED: DATE: DATE: C.Y. CUBIC YARD I.E. INVERT ELEVATION PRINTED NAME: AARON PARKER P.E. No. 68547 D.U. DWY. DRIVEWAY PVI. PRIVATE V.N.TE N.A.P. NOT A PART OT A PART OT A PART	<u> </u>								
06020, 06033, 06035, 06049, P.R.S., A.P., C.F. SB&O P.R.S., A.P., 14024, 14031, 14038 Image: Compared Under Supervision Of:	023 8:09 AM D:\77222 MU-1 RESIDENTIAL\03 DWG\RGP\77222RG01-RG03.DWG	I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS (SHEET GOO1 THROUGH SHEETS GOO6) HAVE BEEN INSTALLED AND CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE SAID PLANS, ALL APPROPRIATE STANDARDS AND ANY DISCRETIONARY APPROVAL(S) FOR THE PROJECT. SIGNED: DATE: PRINTED NAME: <u>AARON PARKER</u> P.E. No. <u>68547</u> DISCIPLINE: <u>CIVIL ENGINEER</u> MY REGISTRATION EXPIRES: <u>9-30-25</u>	811	EXIST. EXISTING R/W RIGHT-OF TYP. TYPICAL F.G. FINISHED T.C. TOP OF O F.F. FINISHED S.G. SUBGRADA AC. ACRE P PROPERTA Q CENTERLIA FL FLOW LIN MIN. MINIMUM P.P. POWER P E.P. EDGE OF DIA. DIAMETER E.O.E. EXISTING ELECTRIC V.C.P. VITRIFIED S.F. SQUARE A L.P. LOW POIN R.C.P. REINFORD PIPE T.W. TOP OF A S.M.H. SEWER MA G.F. GARAGE F C.Y. CUBIC YA D.U. DWELLING PVT. PRIVATE	E-WAYB.W. H.P. F.S.B.W. H.P. F.S.B.W. H.P. H.P. F.S.B.W. H.P. H.P. F.S.B.W. H.P. H.P. F.S.B.W. H.P. H.P. H.F.B.W. H.P. H.P. H.F.B.W. H.P. H.F.B.W. H.F.B.W. H.F.GRADEC.B. C.O.C.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.C.D.G. P.C.D.G. P.C.C.C.D.G. P.C.C.C.D.G. P.C.C.C.D.G. P.C.C.C.D.G. P.C.C.C. <td>HIGH POINT FINISHED SURFACE CATCH BASIN CLEANOUT DECOMPOSED GRANITE PORTLAND CEMENT CONCRETE STATION DRAWING MAXIMUM ELEVATION DRAWING MAXIMUM ELEVATION DR CENTER SIMILAR STREET LIGHT PRIVATE DRIVEWAY PARKWAY STORM DRAIN CLEANOUT SUTTER MODIFIED SEWER CLEANOUT JNLESS NOTED DTHERWISE NVERT ELEVATION DRIVEWAY NOT A PART BOTTOM</br></br></br></br></br></br></br></br></br></br></br></br></br></br></td> <td>PER SB&O INC. TOPO SURVEY DATED J Q. EARTHWORK QUANTIT CUT:</br></br></td> <td>TIES: 2.Y. 2.S. 2.68547 2.68547 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.0.68547 2.0.1.1.1.1 2.0.1.1.1.1 2.0.1.1.1.1 2.1.1.1.1.1 2.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1.1 2.1.1.1.1.1.1.1 <td< td=""><td>T CH CH R NOT</br></br></br></br></td></td<></td>	HIGH POINT FINISHED SURFACE CATCH BASIN CLEANOUT DECOMPOSED GRANITE PORTLAND CEMENT CONCRETE STATION DRAWING MAXIMUM ELEVATION DRAWING MAXIMUM ELEVATION DR CENTER SIMILAR STREET LIGHT 	PER SB&O INC. TOPO SURVEY DATED J 	TIES: 2.Y. 2.S. 2.68547 2.68547 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.Y. 2.0.68547 2.0.1.1.1.1 2.0.1.1.1.1 2.0.1.1.1.1 2.1.1.1.1.1 2.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1 2.1.1.1.1.1.1.1 2.1.1.1.1.1.1.1 <td< td=""><td>T CH CH R NOT</br></br></br></br></td></td<>	T
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	d: 10								
	Plott∈							AARON PARKER R.C.E. No. 68547	

ROUGH GRADING PLANS FOR: MU-1 RESIDENTIAL CITY OF CHULA VISTA, CALIFORNIA

1. STORM DRAINS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIZES, LOCATIONS, AND TYPE OF SEWER AND DRAINAGE FACILITIES, OR ANY SURFACE IMPROVEMENTS WITHIN FUTURE STREET RIGHTS-OF-WAY SHOWN ON THESE PLANS. SEPARATE APPROVALS AND PERMITS FOR THESE SHALL BE REQUIRED IN

2. WRITTEN PERMISSION SHALL BE OBTAINED FOR ANY OFF-SITE GRADING

3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATIONS. ANYTHING DAMAGED OR DESTROYED SHALL BE

4. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING. AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL

5. ALL FLOWS SHOWN ARE FOR 50 -YEAR STORM, EXCEPT AS NOTED.

NOTED AND HAVE NOT BEEN REVIEWED FOR ADEQUACY BY THE CITY ENGINEERING DEPARTMENT

7. THE OWNER MUST OBTAIN AN EXCAVATION PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (D.O.S.H.) FOR CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER INTO WHICH A PERSON IS REQUIRED TO DESCEND. SAID PERMIT IS

TRUCK OPERATIONS IN AND OUT OF CONSTRUCTION AND STAGING AREAS SHALL BE CONTROLLED AS REQUIRED BY THE CITY. TRUCK AND EQUIPMENT ROUTES IN AND OUT OF THE SITE, SHALL BE APPROVED BY THE CITY PRIOR TO START OF WORK. AT THE END OF THE WORKING DAY, STREETS SHALL BE CLEANED OF DIRT AND CONSTRUCTION DEBRIS TO THE SATISFACTION OF THE CITY

9. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL DUST CONTROL, ANY REQUIREMENTS OF ANY MITIGATION MONITORING PROGRAMS, AND UNIFORM BUILDING CODE (UBC) REQUIREMENTS, WHICH INCLUDE DUST CONTROL MEASURES FOR CONSTRUCTION SITES. DUST REDUCING MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, REGULAR WATERING OF GRADED SURFACES AND RESTRICTION OF ALL CONSTRUCTION VEHICLES AND EQUIPMENT TO TRAVEL ALONG ESTABLISHED AND REGULARLY WATERED ROADWAYS AT SPECIFIED SPEEDS.

> & TYPICAL SECTIONS SHEET

H. OWNER'S CERTIFICATE:

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS. IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE THE ENGINEER OF WORK MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE ENGINEER OF WORK DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS. ALL PLAN CHANGES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

NAME: BALDWIN & SONS

PHONE: (619) 234-4050

ADDRESS: 610 W. ASH STREET, SUITE 1500, SAN DIEGO, CA. 92101

DATE: ______

I. APPLICANT'S NAME:

NAME BALDWIN & SONS

ADDRESS: 610 W. ASH STREET, SUITE 1500, SAN DIEGO, CA. 92101

PHONE NUMBER: (619) 234-4050

J. SOILS ENGINEER'S CERTIFICATE:

I, <u>SHAWN WEEDON</u>, A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA, PRINCIPALLY DOING BUSINESS IN THE FIELD OF APPLIED SOIL MECHANICS, HEREBY VERIFY THAT A SAMPLING AND STUDY OF THE SOIL CONDITIONS PREVALENT WITHIN THIS SITE WAS MADE BY ME OR UNDER MY DIRECTION BETWEEN THE DATES OF AND . ONE COMPLETE COPY OF THE SOILS REPORT COMPILED FROM THIS STUDY, WITH MY RECOMMENDATIONS, HAS BEEN SUBMITTED TO THE OFFICE OF THE CITY ENGINEER.

THESE GRADING PLANS HAVE BEEN REVIEWED BY ME OR UNDER MY DIRECTION AND CONFORM TO THE RECOMMENDATIONS MADE IN THE SOILS REPORT MENTIONED ABOVE.

SIGNED: _____ DATE: _____ DISCIPLINE: _____ EXPIRATION DATE: _____

K. DECLARATION OF RESPONSIBLE CHARGE:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CHULA VISTA AND WATER DISTRICT IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

SB&O INC. 3990 RUFFIN ROAD, SUITE 120 SAN DIEGO, CA. 92123

(858) 560-1141

DATE AARON PARKER, P.E. 68547, EXP.: 9-30-25

L. LEGAL DESCRIPTION

LOT 14 OF CHULA VISTA TRACT NO. 06-05, IN THE CITY OF CHULA VISTA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS PER MAP NO. 15350, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

M. ASSESSOR'S PARCEL NO.

644-311-02

N. CALIFORNIA COORDINATES

VERTICAL DATUM: NAVD 88 HORIZONTAL DATUM: CCS 83; ZONE 6

O. AS BUILTS

THE CONTRACTOR SHALL FURNISH TO THE ENGINEER OF WORK, AS-BUILT PLANS FOR ALL NEW IMPROVEMENTS AND GRADING SHOWN ON THESE PLANS FOR SUBMITTAL TO THE CITY ENGINEER FOR APPROVAL IN ACCORDANCE WITH SECTION 15.04.140 OF THE CHULA VISTA MUNICIPAL CODE

P. TOPOGRAPHICAL SOURCE:



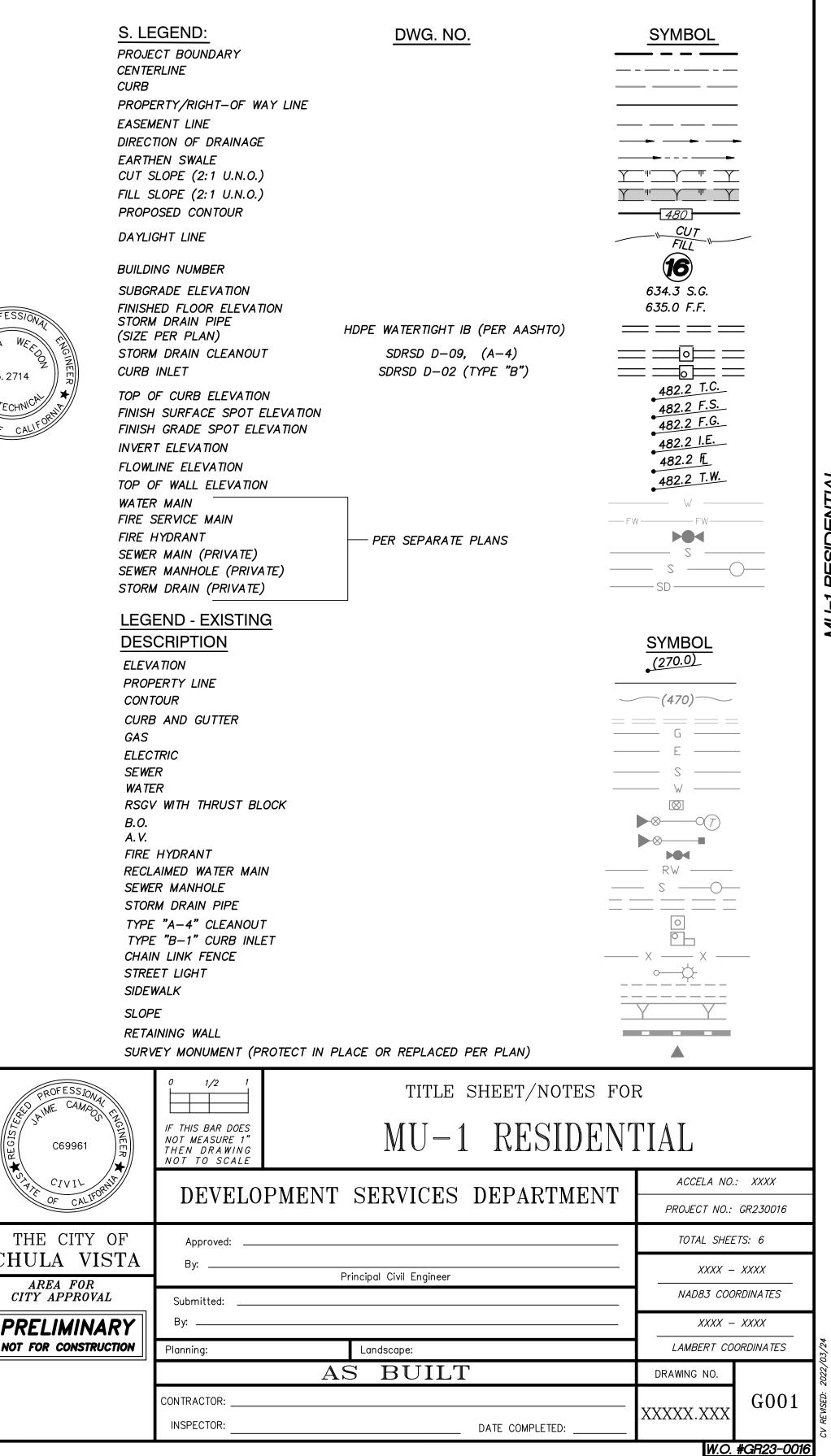


R. WORK TO BE DONE:

THE WORK TO BE DONE CONSISTS OF THE ITEMS INDICATED UNDER THE "LEGEND" SHOWN BELOW. AND IS TO BE DONE IN ACCORDANCE WITH THESE PLANS AND THE FOLLOWING LIST OR PRINTED MATERIALS AS CURRENTLY ADOPTED BY THE CITY OF CHULA VISTA CITY COUNCIL INCLUDING THE FOLLOWING:

- 1. 2012 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK") AND 2012 REGIONAL SUPPLEMENT AMENDMENTS (TO THE GREENBOOK).
- 2. 2012 SAN DIEGO AREA REGIONAL STANDARD DRAWINGS ..
- 3. 2015 CITY OF CHULA VISTA STANDARD SPECIAL PROVISIONS (TO THE GREENBOOK). 4. 2017 DESIGN AND CONSTRUCTION STANDARDS OF THE CITY OF CHULA VISTA.
- 5. PORTION OF THE STATE STANDARD SPECIFICATIONS, STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION. DATED JULA 2010 AND ALL SUBSEQUENT ADDITIONS AND REVISIONS.
- 6. PORTION OF THE STATE STANDARD PLANS, STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, DATED JULY 2010 AND ALL SUBSEQUENT ADDITIONS AND REVISIONS.
- 7. 2014 CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES ("CA-MUTCD") AND ALL SUBSEQUENT ADDITIONS AND REVISIONS. 8. WATER AGENCIES STANDARDS SPECIFICATIONS FOR WATER, RECYCLED WATER AND SEWER

FACILITIES, LATEST EDITION. ALL REFERENCES ARE TO BE MADE PART OF THESE PLANS. ANY CHANGES OR REVISIONS THEREFROM, SHALL BE APPROVED BY THE CITY ENGINEER, OR HIS DESIGNEE, PRIOR TO ANY REQUEST FOR INSPECTION.



. UTILITY NOTIFICATIONS:

1. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORD, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN HEREON, HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UNDERGROUND SERVICE ALERT (PHONE 1-800-422-4133) TWO (2) WORKING DAYS IN ADVANCE OF ANY EXCAVATION FOR THE MARK OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK.

FOR ANY QUESTIONS REGARDING THE MARK OUT OF UNDERGROUND UTILITIES, THE CONTRACTOR SHOULD CONTACT THE RESPECTIVE UTILITY COMPANY:

STREET LIGHT OR SIGNAL LIGHT CONDUIT / CITY OF CHULA VISTA _____ (619) 397-6163 SEWER OR STORM DRAIN / CITY OF CHULA VISTA

VERIFICATION	_ (619) 691-5024
NOTIFICATION	. (619) 397-6000
GAS & ELECTRIC SAN DIEGO GAS & ELECTRIC CO.	1-800-227-2600 / (619) 230-7800
WATER OTAY WATER DISTRICT	. (619) 670-2222
SWEETWATER AUTHORITY	
TELEPHONE PACIFIC BELL	(619) 266-4683
TELEVISION COX CABLE OF SAN DIEGO / CHULA VISTA CABLE	(619) 263-9251 / (619) 476-0177
ULTRONICS & WORLDWIDE SATELLITE	

U. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

(NPDES) STATEMENT:

DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF STATE WATER RESOURCES CONTROL BOARD (SWRCB) (NPDES GENERAL PERMIT NO. GR23-0016, WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. IN ACCORDANCE WITH SAID PERMIT, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND A MONITORING PROGRAM PLAN SHALL BE DEVELOPED AND IMPLEMENTED CONCURRENT WITH THE COMMENCEMENT OF GRADING ACTIVITIES. THE SWPPP SHALL SPECIFY BOTH CONSTRUCTION AND POST-CONSTRUCTION STRUCTURAL AND NON-STRUCTURAL POLLUTION PREVENTION MEASURES. THE SWPPP SHALL ALSO ADDRESS OPERATION AND MAINTENANCE OF POST-CONSTRUCTION POLLUTION PREVENTIONS MEASURES. INCLUDING SHORT-TERM AND LONG-TERM FUNDING SOURCES AND THE PARTY OR PARTIES THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF SAID MEASURES.

A COMPLETE AND ACCURATE NOTICE-OF-INTENT (NOI) WILL BE FILLED WITH THE SWRCB, A COPY OF THE ACKNOWLEDGMENT FROM THE SWRCB THAT A NOI HAS BEEN RECEIVED FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF CHULA VISTA WHEN RECEIVED; FURTHER, A COPY OF THE COMPLETED NOI FROM THE SWRCB SHOWING THE PERMIT NUMBER FOR THIS PROJECT BE FILED WITH THE CITY OF CHULA VISTA WHEN RECEIVED.

IN ADDITION, THE UNDERSIGNED AND SUBSEQUENT OWNER(S) OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT NO. GR23-0016 SHALL COMPLY WITH SPECIAL PROVISIONS REGARDING THE REVOCATION OR CANCELLATION OF NPDES GENERAL PERMIT COVERAGE, AS SET FORTH IN SWRCB ORDER NO. CAS000002, AND ANY SUBSEQUENT AMENDMENTS THERETO AND REISSUANCES THEREOF

OWNER OF LAND:

SIGNATURE OF LAND OWNER. CORPORATE OFFICE, GENERAL PARTNER OR PROPRIETOR:

DATE

TITLE:

PERMIT IDENTIFICATION NUMBER:

V. LANDSCAPE NOTES

- 1. ALL SLOPES 3 FEET IN VERTICAL HEIGHT AND GREATER SHALL BE PLANTED AND IRRIGATED IN ACCORDANCE WITH LANDSCAPE IMPROVEMENT PLANS CONFORMING TO THE CITY OF CHULA VISTA LANDSCAPE MANUAL (MOST RECENT EDITION), GRADING ORDINANCE NO. 1797, THE WATER CONSERVATION ORDINANCE, AND THE SAN DIEGO COUNTY HANDBOOK FOR PUBLIC WORKS CONSTRUCTION. WHENEVER SPECIAL REQUIREMENTS CONFLICT ON ANY MATTER, THE DIRECTOR OF DEVELOPMENT SERVICES OR DESIGNEE SHALL DETERMINE WHICH SPECIAL CONDITION OR CODE SHALL GOVERN. PLANS SHALL BE APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OR DESIGNEE PRIOR TO ISSUANCE OF APPLICABLE CONSTRUCTION AND BUILDING PERMITS
- 2. FINISH GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1 OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1, AS DIRECTED BY THE CITY'S DIRECTOR OF DEVELOPMENT SERVICES.
- 3. PRIOR TO GRADING. CONTRACTOR SHALL FIELD VERIFY EXISTING IRRIGATION SYSTEMS TO DETERMINE WHICH ARE OPERABLE. UNLESS OTHERWISE NOTED ON THESE PLANS, ALL EXISTING IRRIGATION SYSTEMS ARE TO BE PROTECTED IN PLACE AND REMAIN OPERABLE. CONTACT CITY STAFF TWO (2) WEEKS IN ADVANCE OF ANY WORK.

CITY CONTACTS:

SR. LANDSCAPE INSPECTOR - DAVE DEFACCI, (619-409-5432) DDEFACCI@CHULAVISTACA.GOV PARK MANAGER - DANNY SCHRECK (619-921-2626) DSCHRECK@CHULAVISTACA.GOV OPEN SPACE MANAGER - SAM OLUDUNFE (619-397-6006) SOLUDUNFE@CHULAVISTACA.GOV PUBLIC WORKS SUPERINTENDENT - KALANI CAMACHO (619-397-6113) KALANIC@CHULAVISTACA.GOV

4. FOR LANDSCAPE AND IRRIGATION PLANS, SEE SEPARATE SET ASSOCIATED WITH GRADING PERMIT GR23-0016.

W. RCP STORM DRAIN BEVELING NOTES

1. WHERE RADIUS=90 FEET TO 45 FEET, USE 8-FOOT LENGTH OF PIPE BEVELED ONE END.

2. WHERE RADIUS CURVE= 45 FEET TO 22 1/2 FEET, USE 8- FOOT LENGTH OF PIPE BEVELED BOTH

3. WHERE RADIUS CURVE=22 ½ FEET, USE 4-FOOT LENGTH OF PIPE BEVELED BOTH ENDS.

4.CONTRACTOR SHALL PROVIDE LAYOUT SHEET OF BEVELED PIPE PRIOR TO BEGINNING INSTALLATION.

X. HDPE & HP STORM DRAIN INSTALLATION NOTES:

- 1. REFERENCE MANUFACTURER INSTALLATION GUIDE AND SPECIFICATIONS FOR MAXIMUM JOINT DEFLECTION.
- 2. CURVILINER INSTALLATIONS SPECIFIED PER THIS PLAN ARE BASED ON CHAPTER 5 (INSTALLATION) OF THE ADS, INC. DRAINAGE HANDBOOK, AND ASSUME THE USE OF "N-12 WT IP" AND/OR "HP STORM" GASKETED WATERTIGHT COUPLERS, FOR RADII LESS THAN THAT ACHIEVABLE WITH STANDARD JOINT DEFLECTION A SERIES OF PREFABRICATED BENDS SHALL BE UTILIZED.
- 3. ALL CONCRETE STRUCTURES USED WITH HDPE PIPE MUST BE WATERTIGHT.

AS-BUILT

SIGNATURE

PRINTED NAME

AARON PARKER

MY REGISTRATION EXPIRES 9-30-25

4. TRENCH BACKFILL FOR HDPE N-12 PER SDRSD SP-02 WITH FILTER FABRIC FULLY SURROUNDING ROCK ZONE.

5. TRENCH BACKFILL FOR HP PER SDRSD SP-02 WITH ROCK TO PIPE CROWN AND FILTER FABRIC ROCK ZONE.

DATE:

P.E. No.: 68547

DISCIPLINE CIVI

TO VERIFY BOTH HORIZONTAL AND VERTICAL LOCATION PRIOR TO ANY CONSTRUCTION. ANY CONFLICT OR DISCREPANCY SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION, OTHERWISE THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY ADDITIONAL CONSTRUCTION OR RELOCATION COSTS.

ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

WORK BY CALLING THE ENGINEER AT (858) 560-1141.

Y. SPECIAL NOTES:

- 5. ALL FILL AREAS, WHICH ARE FENCED, SHALL REMAIN FENCED. TEMPORARY AND/OR FINAL FENCING SHALL BE PROVIDED AS SHOWN ON THE PLANS.
- 6. ALL APPROVED GEOTEXTILE ENGINEERING FABRIC SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- 7. A 6" MINIMUM THICKNESS BEDDING BLANKET UNDERDRAIN BY A LAYER OF GEOTEXTILE (MIRAFI 700X OR EQUIVALENT) SHALL BE CONSTRUCTED BENEATH ALL RIP RAP. THE BEDDING BLANKET SHALL MEET THE FOLLOWING SPECIFICATIONS:
- a) FRACTION PASSING THE NO. 3/8 IN. STANDARD SIEVE SHALL BE 100% BY WEIGHT. b) ANY SOURCE OF ON-SITE MATERIAL DEEMED SUITABLE BY THE SOILS ENGINEER
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MAINTAINING, RELOCATING, AND OR REMOVAL OF EXISTING UTILITIES.
- 9. THE CONTRACTOR SHALL REPLACE ALL DESTROYED OR DAMAGED SURFACE IMPROVEMENTS WITH IMPROVEMENTS EQUAL OR SUPERIOR
- 10. ALL CONTOURS AND ELEVATIONS SHOW HEREON REPRESENT FINISH GRADE. CONTRACTOR SHALL MAKE THE APPROPRIATE ALLOWANCES FOR PAVEMENT SUBGRADE, PAD UNDERCUT, AND UTILITY TRENCHING.
- 11. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL PROPOSED CHANGES TO THE PLANS MUST BE WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY OF CHULA VISTA.

AA. MITIGATION MONITORING AND REPORTING PROGRAM NOTES:

1. ALL GRADING SHALL BE CONDUCTED IN ACCORDANCE WITH THE MITIGATION MEASURES OUTLINED IN ENVIRONMENTAL IMPACT REPORT (EIR) 02-02 AND THE ADOPTED MITIGATION MONITORING AND REPORTING PROGRAM (MMRP) DATED MAY 2006 TO THE SATISFACTION OF THE CITY ENVIRONMENTAL MITIGATION MONITOR.

THE APPLICANT SHALL IMPLEMENT, TO THE SATISFACTION OF THE DIRECTOR OF PLANNING & BUILDING AND ENVIRONMENTAL REVIEW COORDINATOR, ALL ENVIRONMENTAL IMPACT MITIGATION MEASURES IDENTIFIED IN THE FINAL EIR 02-02 (SCH# 2003091012), THE CANDIDATE CEQA FINDINGS AND THE MMRP FOR THIS PROJECT. (TM CONDITION)

THE APPLICANT SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE OF PLANNING & BUILDING AND ENVIRONMENTAL REVIEW COORDINATOR, ALL CALIFORNIA DEPARTMENT OF FISH AND GAME. THE CALIFORNIA STATE WATER RESOURCES CONTROL BOARD. THE U.S. FISH AND WILDLIFE SERVICE AND THE U.S. ARMY CORPS OF ENGINEERS. PRIOR TO ANY ACTIVITY THAT MAY POTENTIALLY IMPACT BIOLOGICAL RESOURCES, SUCH AS CLEARING & GRUBBING, THE APPLICANT SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS PRESCRIBED IN FINAL EIR 02-02 (SCH#2003091012) AND MMRP. (TM CONDITION)

4. AIR QUALITY:

- THE FOLLOWING MEASURES SHALL BE IMPLEMENTED AS PRACTICAL TO MINIMIZE CONSTRUCTION FMISSIONS
- USE LOW POLLUTANT-EMITTING CONSTRUCTION EQUIPMENT
- C) ELECTRICAL CONSTRUCTION EQUIPMENT SHALL BE USED TO THE EXTENT FEASIBLE. USE CATALYTIC REDUCTION FOR GASOLINE-POWERED EQUIPMENT, AS PRACTICAL.
- USE INJECTION TIMING RETARD FOR DIESEL-POWERED EQUIPMENT WATER THE CONSTRUCTION AREA AT LEASE TWICE DAILY TO MINIMIZE FUGITIVE DUST.
- STABILIZE GRADED AREAS AS QUICKLY AS POSSIBLE TO MINIMIZE FUGITIVE DUST. PAVE PERMANENT ROADS AS QUICKLY AS POSSIBLE TO MINIMIZE DUST USE ELECTRICITY FROM POWER POLES INSTEAD OF TEMPORARY GENERATORS DURING
- BUILDING AS FEASIBLE.
- J) APPLY CHEMICAL STABILIZER OR PAVE THE LAST 100 FEET OF INTERNAL TRAVEL PATH WITHIN A CONSTRUCTION SITE PRIOR TO PUBLIC ROAD ENTRY. K) INSTALL WHEEL WASHERS ADJACENT TO A PAVED APRON PRIOR TO VEHICLE ENTRY ON PUBLIC
- ROADS L) REMOVE ANY VISIBLE TRACK-OUT INTO TRAVELED PUBLIC STREETS WITHIN 30 MINUTES OF OCCURRENCE.
- 5. CULTURAL RESOURCES:

A QUALIFIED ARCHAEOLOGICAL MONITOR SHALL BE ON-SITE DURING INITIAL GRADING OF SITE. IF HISTORIC ARCHAEOLOGICAL MATERIAL IS ENCOUNTERED DURING GRADING, ALL GRADING IN THE VICINITY AS DETERMINED AND DEFINED BY THE ARCHAEOLOGIST SHALL STOP AND IT'S IMPORTANCE SHALL BE EVALUATED, AND SUITABLE MITIGATION MEASURE SHALL BE DEVELOPED AND IMPLEMENTED, IF NECESSARY. CULTURAL MATERIAL COLLECTED SHALL BE PERMANENTLY CURATED AT AN APPROPRIATE REPOSITORY, SUCH AS THE SAN DIEGO ARCHAEOLOGICAL CENTER.

6. PALEONTOLOGICAL RESOURCES:

A) A PALEONTOLOGICAL MONITOR SHALL BE ON-SITE AT ALL TIMES DURING THE ORIGINAL CUTTING OF PREVIOUSLY UNDISTURBED SEDIMENTS OF HIGHLY SENSITIVE GEOLOGICAL FORMATIONS (I.E., OTAY, SWEETWATER AND SAN DIEGO FORMATIONS) TO INSPECT CUTS CONTAINED FOSSILS. THE PALEONTOLOGICAL MONITOR SHALL WORK UNDER THE DIRECTION OF A QUALIFIED PALEONTOLOGIST. THE MONITOR SHALL BE ON-SITE ON AT LEAST A HALF-TIME BASIS DURING THE ORIGINAL CUTS IN DEPOSITS WITH A MODERATE RESOURCE SENSITIVITY (I.E., TERRACE DEPOSITS) (A QUALIFIED PALEONTOLOGICAL MONITOR IS DEFINED AS AN INDIVIDUAL WHO HAS EXPERIENCE IN THE COLLECTION AND SALVAGE OF FOSSIL MATERIALS). IN THE EVENT THAT FOSSILS ARE DISCOVERED IN UNKNOWN SENSITIVE FORMATIONS, IT MAY BE NECESSARY TO INCREASE THE PER-DAY FIELD MONITORING TIME. CONVERSELY, IF FOSSILS ARE NOT DISCOVERED, THE MONITORING SHOULD BE REDUCED.

B) WHEN FOSSILS ARE DISCOVERED, THE PALEONTOLOGIST (OR PALEONTOLOGICAL MONITOR) SHALL RECOVER THEM. IN INSTANCES WHERE RECOVERY REQUIRES AN EXTENDED SALVAGE TIME, THE PALEONTOLOGIST(OR PALEONTOLOGICAL MONITOR) SHALL BE ALLOWED TO TEMPORARILY DIRECT, DIVERT, OR HALT GRADING TO ALLOW RECOVERY OF FOSSIL REMAINS IN A TIMELY MANNER. WHERE DEEMED APPROPRIATE BY THE PALEONTOLOGIST (OR PALEONTOLOGICAL MONITOR), A SCREEN-WASHING OPERATION FOR SMALL FOSSIL REMAINS SHALL BE SET UP. C) PREPARED FOSSILS, ALONG WITH COPIES OF ALL PERTINENT FIELD NOTES, PHOTOGRAPHS. AND MAPS, SHALL BE DEPOSITED (WITH THE APPLICANT'S PERMISSION) IN A SCIENTIFIC INSTITUTION WITH PALEONTOLOGICAL COLLECTIONS. A FINAL SUMMARY REPORT SHALL BE COMPLETED WHICH OUTLINES THE RESULTS OF THE MITIGATION PROGRAM. THIS REPORT SHALL INCLUDE DISCUSSION OF THE METHODS USED, STRATIGRAPHY EXPOSED, FOSSILS COLLECTED, SIGNIFICANCE OF RECOVERED FOSSILS.



		011				AARON PARKER	DATE
REFERENCE DRAWINGS	REVIS	IONS	By	Date	App'd	REVISIONS	
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1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES SHOWN HEREON AND BALANCING THE EARTHWORK ONSITE. IF DISCREPANCIES ARISE, THE ENGINEER OF WORK SHALL PROVIDE AREAS OF ADJUSTMENT TO THE CONTRACTOR. WHERE TRENCHES ARE WITHIN EASEMENTS, STREETS, OR 10' OF ANY BUILDING, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF WORK BY A QUALIFIED SOILS ENGINEER WHICH INDICATE THAT THE TRENCH BACKFILL WAS COMPACTED UNDER THE OBSERVATION OF THE SOILS ENGINEER AND IN

2. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY

3. THE PALEONTOLOGICAL MONITOR SHALL BE PRESENT DURING THE GRADING OF THE PLIOCENE SAN DIEGO FORMATION (TSD) ON THE SITE. THE MONITOR SHALL HAVE THE AUTHORITY TO TEMPORARY DIRECT, DIVERT, OR HALT GRADING TO ALLOW RECOVERY OF FOSSIL REMAINS.

4. THE CONTRACTOR SHALL UNCOVER ALL UTILITIES THAT MAYBE JOINED, CROSSED, OR PARALLELED

MINIMIZE SIMULTANEOUS OPERATION OF MULTIPLE CONSTRUCTION EQUIPMENT UNITS.

BIOLOGICAL RESOURCES: A) A BIOLOGIST, AS DEFINED BY CVMC 17.35.030 SHALL BE REQUIRED TO INSPECT ALL LAND DEVELOPMENT OR CLEARING AND GRUBBING SITES PRIOR TO WORK OCCURING IN AREAS OF SENSITIVE BIOLOGICAL RESOURCES, AS DEFINED BY CVMC 17.35.030 TO ENSURE COMPLIANCE WITH THE PERMIT ISSUED PURSUANT TO THIS CHAPTER. THE BIOLOGIST SHALL IDENTIFY AREAS TO BE PROTECTED WITH APPROPRIATE STAKING AND FENCING. ENSURE THAT THESE SENSITIVE BIOLOGICAL RESOURCES, AS DEFINED BY CVMC 17.35.030 ARE CORRECTLY IDENTIFIED ON THE GRADING OR CLEARING AND GRUBBING PLAN, AND INSPECT THE STAKING AND FENCING AFTER INSTALLATION TO ENSURE INSTALLATION ACCORDING TO PLAN. IN ADDITION, THE BIOLOGIST SHALL CONDUCT AN INSPECTION AFTER THE WORK IS COMPLETED. PRIOR TO THE RELEASE OF THE BOND AND SURETY, THE BIOLOGIST SHALL PROVIDE A WRITTEN STETEMENT THAT HIS/HER PROFESSIONAL OPINION ALL WORK WAS CONDUCTED AS AUTHORIZED UNDER THE PERMIT IN ACCORDANCE WITH APPROVED PLANS AND REVISIONS THERETO. B) A QUALIFIED BIOLOGIST SHALL BE ON-SITE TO MONITOR ALL VEGETATION CLEARING AND PERIODICALLY THEREAFTER TO ENSURE IMPLEMENTATION OF APROPRIATE RESOURCE PROTECTION

AA. MITIGATION MONITORING AND REPORTING PROGRAM NOTES (CONT):

MFASURFS. C) DEWATERING SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD REGULATIONS OF THE RWQCB. A PERMIT TO DISCHARGE WATER FROM DEWATERING ACTIVITIES WILL BE REQUIRED. THIS WILL MINIMIZE EROSION, SILTATION, AND POLLUTION WITHIN SENSITIVE COMMUNITIES. D) DURING CONSTRUCTION, MATERIALS STOCKPILES SHALL BE PLACED SUCH THAT THEY CAUSE MINIMAL INTERFERENCE WITH ON-SITE DRAINAGE PATERNS. THIS WILL PROTECT SENSITIVE

VEGETATION FROM BEING INUNDATED WITH SEDIMENT-LADEN RUNOFF. E) MATERIALS STOCKPILE SHALL BE COVERED WHEN NOT IN USE. THIS WILL PREVENT FLY-OFF THAT COULD DAMAGE NEARBY SENSITIVE VEGETATION COMMUNITIES. F) GRADED AREA SHALL BE PERIODICALLY WATERED TO MINIMIZE DUST AFFECTING ADJACENT VEGETATION.

G) NOISE IMPACTS ADJACENT TO THE PRESERVE LANDS SHALL BE MINIMIZED. BERMS OR WALLS SHALL BE CONSTRUCTED ADJACENT TO COMMERCIAL AREAS AND ANY OTHER USE THAT MAY INTRODUCE NOISES THAT COULD IMPACT OR INTERFERE WITH WILDLIFE UTILIZATION OF THE PRESERVE. CONSTRUCTION ACTIVITIES SHALL INCLUDE NOISE REDUCTION

MEASURES OR BE CONDUCTED OUTSIDE THE BREEDING SEASON OF SENSITIVE BIRD SPECIES. BASED ON CURRENT INFORMATION. THESE CONDITIONS WOULD BE LIMITED TO AREAS WITHIN 500 FEET OF WOLF CANYON. WHEN CLEARING, GRUBBING ACTIVITIES OCCUR DURING THE BREEDING SEASON FOR COASTAL CALIFORNIA GNATCATCHER (FEBRUARY 15 TO AUGUST 15, ANNUALLY) OR RAPTORS (JANUARY 15 TO JULY 31, ANNUALLY), NESTING BIRD SURVEYS SHALL BE CONDUCTED BY A QUALIFIED BIOLOGIST TO IDENTIFY ACTIVE NEST LOCATIONS. CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED SUCH THAT NOISE LEVELS RELATED TO THOSE ACTIVITIES ARE BELOW 60 LEQ AT THE LOCATION OF THE ACTIVE NEST SITE.

MONUMENT PRESERVATION CERTIFICATION

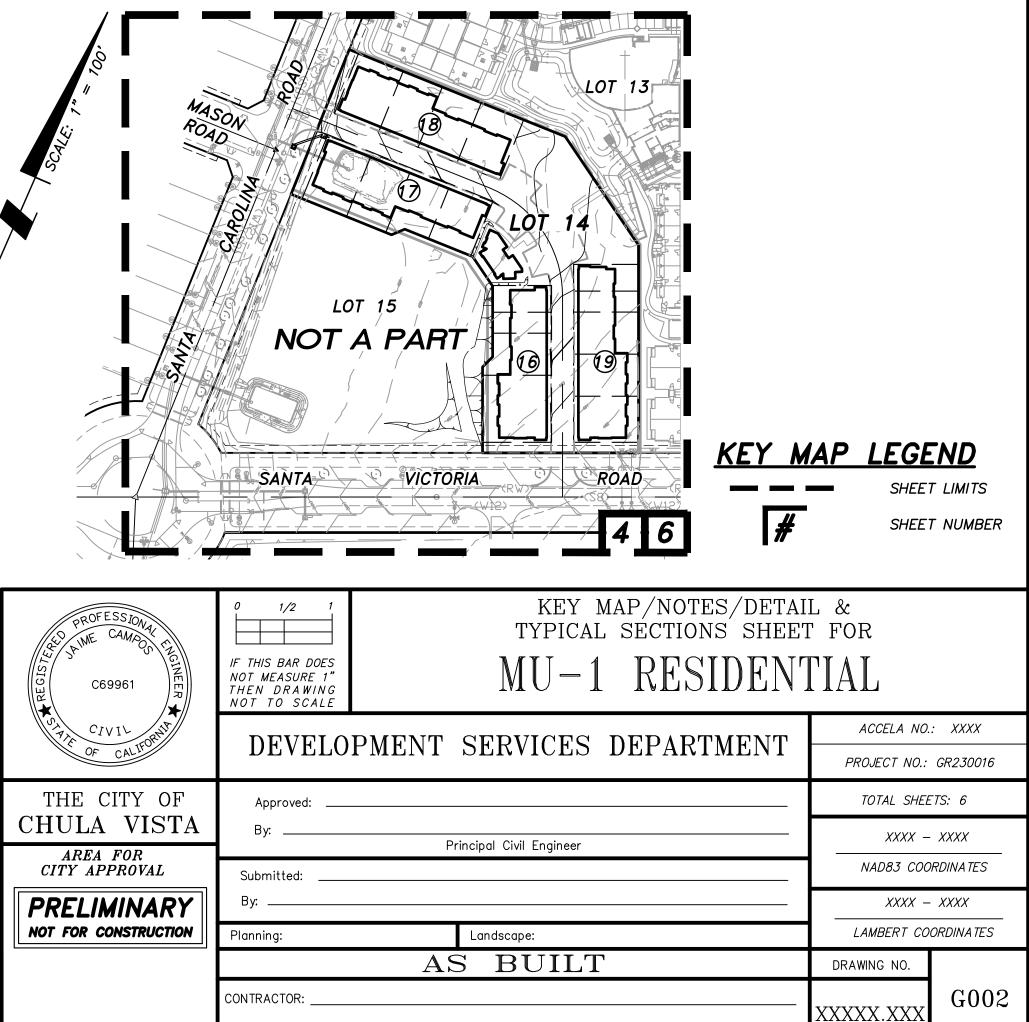
THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS AND/OR BENCHMARKS DESTROYED BY CONSTRUCTION. PRIOR TO PERMIT ISSUANCE, THE PERMITTEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, IF APPLICABLE. (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA).

ANY BENCHMARKS OR HORIZONTAL CONTROL MONUMENTS DESTROYED SHALL BE RE-ESTABLISHED IN ACCORDANCE WITH CITY OF CHULA VISTA SUBDIVISION MANUAL SECTION 2-302.3 AND SECTION 2-302.1(8), RESPECTIVELY.

I HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE AND DETERMINED THAT:

- INO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK
- SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE
- LI SURVEY MONUMENTS HAVE BEEN FOUND WITHIN THE LIMITS OF WORK AND HAVE BEEN TIED OUT AND A PRE-CONSTRUCTION CORNER RECORD OR RECORD OF SURVEY HAS BEEN FILED. ANY MONUMENTS DESTROYED BY CONSTRUCTION WILL BE REPLACED AND A POST-CONSTRUCTION CORNER RECORD WILL BE FILED AND A COPY OF THE RECORDED DOCUMENT WILL BE DELIVERED TO THE CITY OF CHULAVISTA.
- SURVEY MONUMENTS HAVE BEEN FOUND AND TIED OUT AND ARE OF THE CHARACTER AND LOCATION AS DESCRIBED IN AN EXISTING PUBLIC RECORD, WILL BE DESTROYED AND REPLACED, AND A POST CONSTRUCTION CORNER RECORD OR RECORD OF SURVEY WILL BE FILED.
- SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED (NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
- CITY OF CHULA VISTA HORIZONTAL AND/OR VERTICAL CONTROL MONUMENT(S) WERE FOUND WITHIN THE LIMITS OF WORK AND THE CITY OF CHULA VISTA FIELD SURVEY SECTION HAS BEEN NOTIFIED.
- COTHER AGENCY SURVEY MONUMENT(S) WERE FOUND WITHIN THE LIMITS OF WORK, AND THE AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY OF CHULA VISTA.

MICHAEL S. BUTCHER	<u>6922</u> P.L.S.	DATE	No.6922
PRE-CONSTRUCTION CON	RNER RECORD OR RECO		VA No.6922
NAME	P.L.S.	DATE	
POST-CONSTRUCTION CO	DRNER RECORD OR REC		
NAME	P.L.S.	DATE	



DATE COMPLETED:

W.O. #GR23-0016

Ву	Date	App'd	REVISIONS	By	Date	App'd	Designed By:	Drawn By:	Checked By:
							P.R.S., A.P., C.F.	SB&O	P.R.S., A.P.
							Plans Prepared Under Supervision Of:		Date:
							AARON PARKER		 69547
							AARUN PARKER		R.C.F. No. 68547

4.3.8

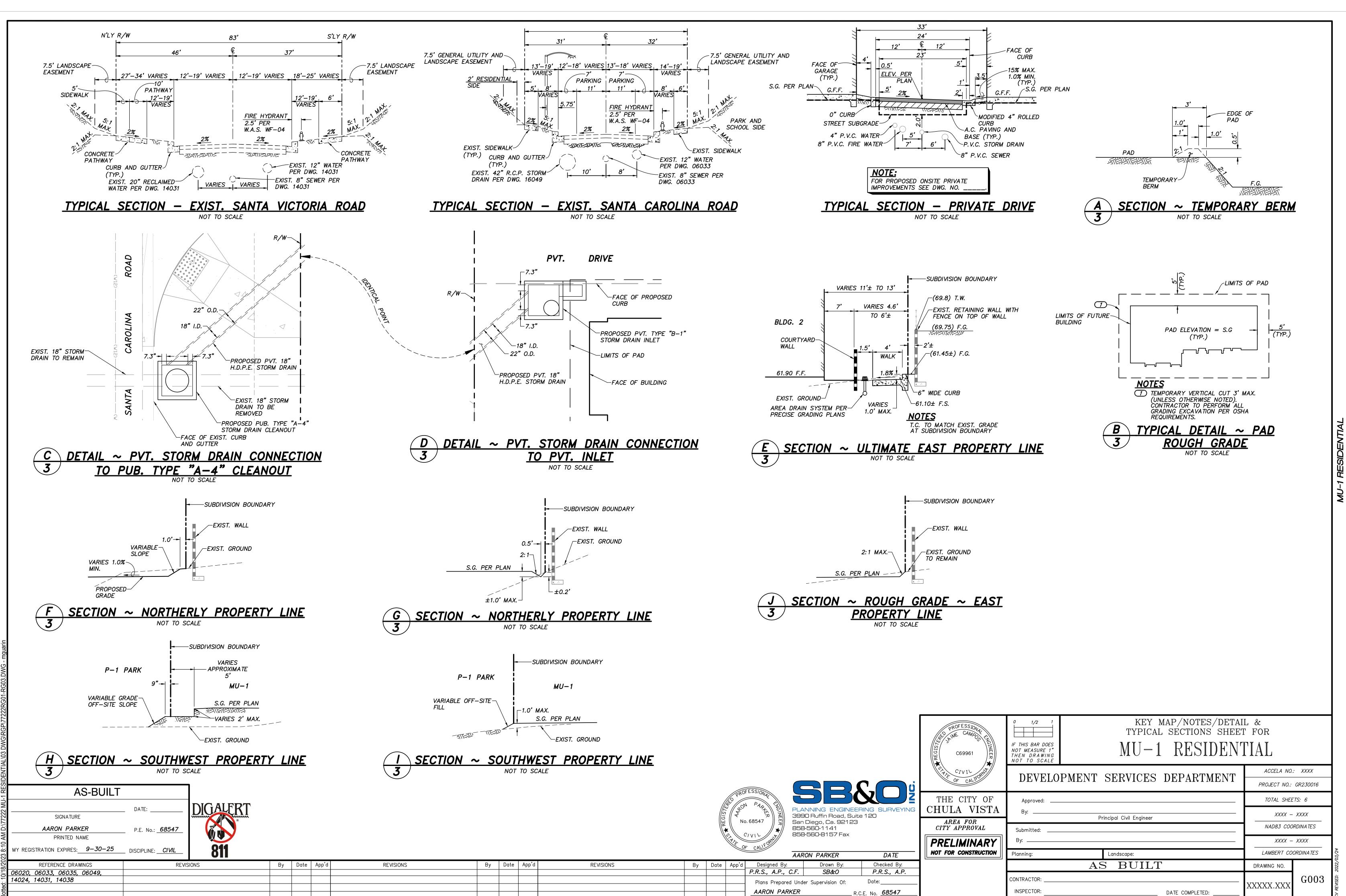
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SOURCE CONTROL BMP CHECKL	IST	FORM	1-4A
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAP BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST	TER 4 AND APPI	ENDIX E OF THE	
SOURCE CONTROL REQUIREMENTS		APPLIED?	
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	X YES	□ NO	□ N/A
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	X YES		
4.2.3 PROTECTION OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ONS RUNOFFS, AND WIND DISPERSAL	YES	□ NO	X N/A
4.2.4 PROJECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ONS RUNOFFS, AND WIND DISPERSAL	YES	NO	X N/A
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ONS, RUNOFF, AND WIND DISPERSION	SAL 🗙 YES	NO	□ N/A
4.2.6 BMPS BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	X YES		N/A
SC-A ON-SITE STORM DRAIN INLETS	X YES	NO NO	□ N/A
SC-B INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	🗌 YES	🗌 NO	X N/A
SC-C NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	X YES	NO NO	□ N/A
SC-D LANDSCAPE/OUTDOOR PESTICIDE USE	X YES	NO NO	□ N/A
SC-E POOLS, SPAS, POUND, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	X YES	NO	□ N/A
SC-F FOOD SERVICE	X YES	NO NO	□ N/A
SC-G REFUSE AREAS	X YES	🗌 NO	□ N/A
SC-H INDUSTRIAL PROCESSES	🔲 YES	NO	X N/A
SC-I OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	🔲 YES	🗌 NO	X N/A
SC-J VEHICLE / EQUIPMENT CLEANING	🔲 YES	🔲 NO	X N/A
SC-K VEHICLE / EQUIPMENT REPAIR AND MAINTENANCE	YES	□ NO	X N/A
SC-L FUEL DISPENSING AREA	YES	□ NO	X N/A
SC-M LOADING DOCKS	YES	□ NO	X N/A
SC-N FIRE SPRINKLER TEST WATER	X YES	NO NO	□ N/A
SC-O MISCELLANEOUS DRAIN OR WASH WATER	X YES	□ NO	□ N/A
SC-P PLAZAS, SIDEWALKS, AND PARKING LOTS	X YES	□ NO	□ N/A
SC-Q SC-6A: LARGE TRASH GENERATING FACILITIES	YES	□ NO	X N/A
SC-R SC-6B: ANIMAL FACILITIES	YES	□ NO	X N/A
SC-S SC-6C: PLANTS NURSERIES AND GARDEN CENTERS	YES	□ NO	X N/A

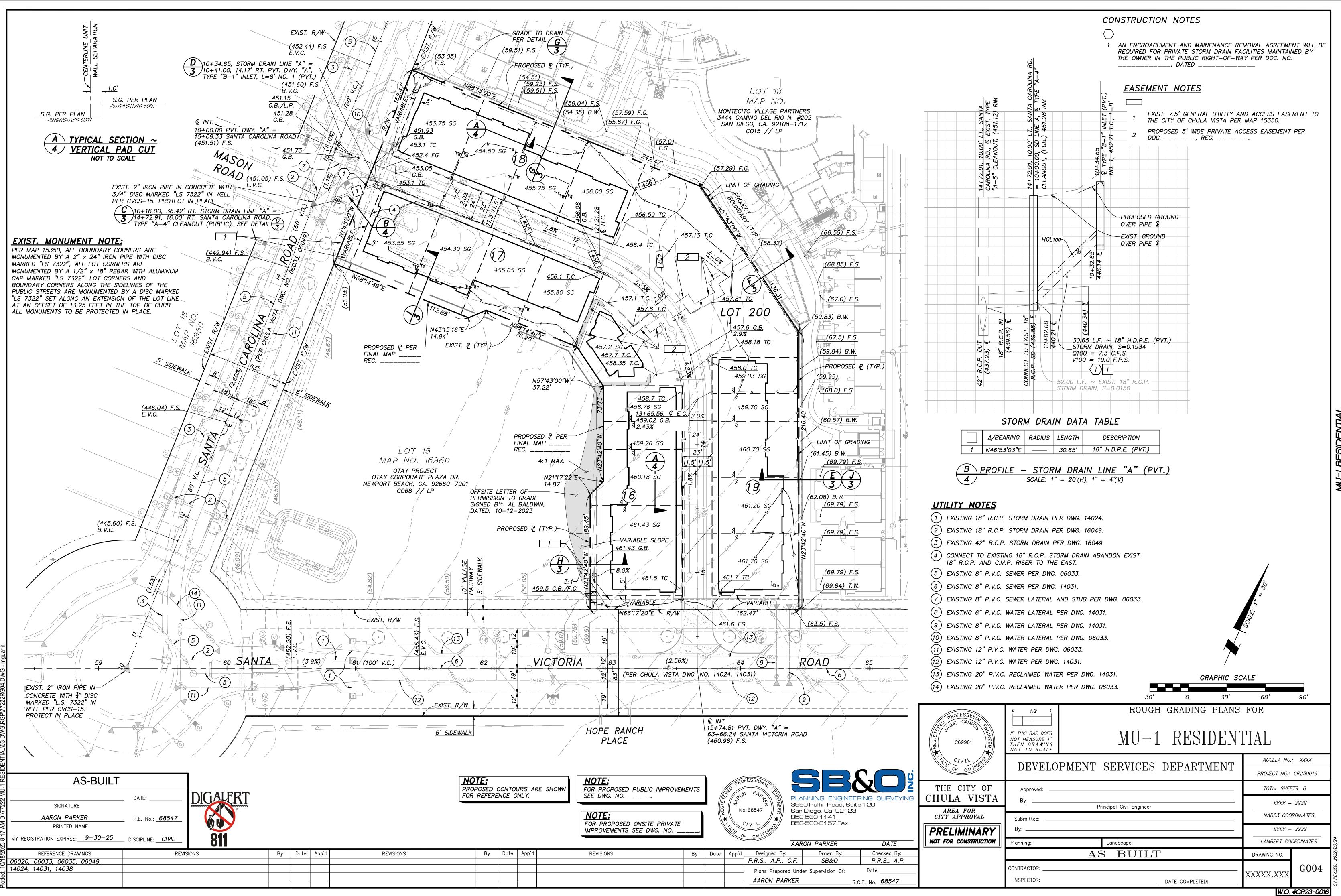
SITE DESIGN BMP CHECKLIST	Γ FORM 1- 5A							
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST								
SITE DESIGN REQUIREMENTS	APPLIED?							
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGICAL FEATURES	YES NO XN/A							
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	YES NO NA							
4.3.3 MINIMIZE IMPERVIOUS AREA	YES NO N/A							
4.3.4 MINIMIZE SOIL COMPACTION	YES NO N/A							
4.3.5 IMPERVIOUS AREA DISPERSION	YES NO N/A							
4.3.6 RUNOFF COLLECTION	YES NO N/A							
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	YES NO N/A							
4.3.8 HARVESTING AND USING PRECIPITATION	YES NO N/A							

BB. SHEET MAP: 1'' = 100'

INSPECTOR:



W.O. #GR23-0016



EROSION CONTROL NOTES:

- THE EROSION CONTROL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION AND MODIFICATION OF THE EROSION CONTROL DEVICES DURING THE RAINY SEASON. THE CONTRACTOR, PERMITTEE OR OWNER SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF THE EROSION CONTROL DEVICES DURING THE RAINY SEASON. IN THE EVENT O FAILURE OR REFUSAL TO PROPERLY MAINTAIN SAID DEVICES, THE CITY ENGINEER OR MITIGATION MONITOR MAY CAUSE EMERGENCY MAINTENANCE WORK TO BE DONE TO PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY, THE COST (INCLUDING AN INITIAL MOBILIZATION AMOUNT) OF WHICH SHALL BE CHARGED TO THE OWNER.
- SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER AND MITIGATION MONITOR.
- TEMPORARY EROSION CONTROL DEVICES, WHICH INTERFERE WITH THE WORK, SHALL BE RELOCATED OR MODIFIED AS THE WORK PROGRESSES. AS RECOMMENDED BY THE ENGINEER OF WORK AND AS APPROVED BY THE CITY ENGINEER AND MITIGATION MONITOR.
- 4. ALL REMOVABLE PROTECTION DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40 PERCENT. AFTER EACH RAINSTORM EXCEEDING 1/4 INCH IN A 12-HOUR PERIOD, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS AND DESILTING BASINS AND BASINS SHALL BE PUMPED DRY AS DEEMED NECESSARY BY THE CITY ENGINEER AND MITIGATION MONITOR.
- 5. PLANTING SHALL BE INSTALLED, FULLY GERMINATED, AND SHALL EFFECTIVELY COVER THE REQUIRED SLOPES PRIOR TO FINAL APPROVAL. THE PLANTING MIX SHALL BE APPROVED, BY THE DIRECTOR OF DEVELOPMENT SERVICES OR DESIGNEE, PRIOR TO INSTALLATION. SPRINKLER SYSTEMS ARE REQUIRED ON ALL SLOPES THREE FEET IN VERTICAL HEIGHT OR GREATER.
- 6. A 12 INCH HIGH BY 3 FEET WIDE BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS. CONCENTRATED WATER SHALL NOT BE CARRIED CLOSER THAN 10 FEET FROM THE TOP OF SLOPES.
- SILT BASINS, TRAPS, OR SANDBAGS SHALL BE PROVIDED AT EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
- 8. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPE, THE CONTRACTOR SHALL INSURE THAT WATER DRAINING TO THE SUMPS IS DIRECTED INTO THE INLET. AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. SANDBAGS OR DIKES.
- 9. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREETS DUE TO CONSTRUCTION ACTIVITY.
- 10. THE CONTRACTOR SHALL CHECK AND MAINTAIN LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- 1. <u>HYDROSEED NOTES</u>
 - A. ALL SLOPES 3 FEET IN VERTICAL HEIGHT OR GREATER AND PADS STEEPER THAN 2% SHALL BE HYDROSEEDED WITH THE FOLLOWING IRRIGATED SEED MIX, MULCH AND BINDING AGENT:

BOTANICAL NAME	COMMON NAME	% PURITY	% GERMINATION	APPLICATION RATES	MIX COMPONENTS	NOTES

- B. IRRIGATION METHODS ARE REQUIRED FOR ALL AREAS HYDROSEEDED BETWEEN MARCH 1ST AND NOVEMBER 1ST AS NEEDED. IMMEDIATELY FOLLOWING HYDROSEED APPLICATION, AND FOR A PERIOD OF TIME OF NO LESS THAN 90 DAYS, ADEQUATE SOIL MOISTURE SHALL BE MAINTAINED IN THE UPPER ONE-HALF INCH OF SOIL TO ASSURE MAXIMUM RATES OF SEED GERMINATION AND PLANT ESTABLISHMENT. IRRIGATION SHALL BE MAINTAINED BEYOND THE 90 DAYS WHEN DEEMED NECESSARY BY THE CITY OF CHULA VISTA PUBLIC WORKS OPERATIONS, OPEN SPACE SECTION.
- C. IRRIGATION SYSTEMS ARE NOT REQUIRED FOR AREAS HYDROSEEDED ON (OR WITHIN ONE WEEK OF) NOVEMBER 1ST; HOWEVER, TEMPORARY WATERING (BY HAND OR TRUCK) IS REQUIRED UNTIL PLANTING IS ESTABLISHED IF RAINFALL IS NOT PRESENT.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STATEMENT

STSTEM (HTDES) STATEMENT	
DEVELOPMENT THIS PROJECT SHALL COMPLY WITH A STATE WATER RESOURCES CONTROL BOARD (SWRCB, NO. CASOOOO2, WASTE DISCHARGE REQUIREMENTS F WATER RUNOFF ASSOCIATED WITH CONSTRUCTION AC WITH SAID PERMIT, A STORM WATER POLLUTION PRE AND A MONITORING PROGRAM PLAN SHALL BE DEVE CONCURRENT WITH THE COMMENCEMENT OF GRADING SHALL SPECIFY CONSTRUCTION AND STRUCTURAL AN POLLUTION PREVENTION MEASURES. A COMPLETE AND ACCURATE NOTICE-OF-INTENT (N THE SWRCB. A COPY OF THE ACKNOWLEDGMENT FRO NOI HAS BEEN RECEIVED FOR THIS PROJECT SHALL OF CHULA VISTA WHEN RECEIVED; FURTHER, A COP' FROM THE SWRCB SHOWING THE WASTE DISCHARGE (WDID) FOR THIS PROJECT SHALL BE FILED WITH THE WHEN RECEIVED.) (NPDES GENERAL PERMIT FOR DISCHARGES OF STORM CTIVITY. IN ACCORDANCE VENTION PLAN (SWPPP) CLOPED AND IMPLEMENTED G ACTIVITIES. THE SWPPP ND NON-STRUCTURAL FOI) WILL BE FILED WITH DM THE SWRCB THAT A BE FILED WITH THE CITY Y OF THE COMPLETED NOI IDENTIFICATION NUMBER E CITY OF CHULA VISTA
IN ADDITION, THE UNDERSIGNED AND SUBSEQUENT OF OF THE PROPERTY COVERED BY THIS GRADING PERM COMPLY WITH SPECIAL PROVISIONS REGARDING THE CANCELLATION OF NPDES GENERAL PERMIT COVERAD SWRCB ORDER NO. CASOOOOO2, AND ANY SUBSEQUE AND REISSUANCES THEREOF.	MIT NO. PG-972 SHALL REVOCATION OR GE, AS SET FORTH IN
OWNER OF LAND	
SIGNATURE OF LAND OWNER, CORPORATE OFFICE, GENERAL PARTNER, OR PROPRIETOR	DATE
PRINTED NAME OF ABOVE PERSON	
PERMIT IDENTIFICATION NUMBER	
AS-BUILT	

DATE:

P.E. No.: 68547



LEGEND DESCRIPTION

- , CONCRETE WASHOUT
- , MATERIAL STORAGE AREA
- SANITARY FACILITIES
- * WASTE STORAGE AREA
- * SOIL STOCKPILE
- * LANDSCAPE STOCKPILE
- * EROSION CONTROL STOCKPIL
- MATERIAL STOCKPILE
- * FUELING AREA
- * VEHICLE MAINTENANCE
- VEHICLE PARKING
- EQUIPMENT STORAGE
- HAZARDOUS MATERIAL STORA
- CLEANUP MATERIALS
- CONSTRUCTION TRAILER

 \star contractor is to upda (THIS EXHIBIT) TO REFLEC

NOTICE

RE-DISTURBED FOR AT LEAST 14 DAYS.

EROSION CONTROL FOR INACTIVE AREAS OF CONSTRUCTION

CONTRACTOR SHALL PROVIDE SOIL STABILIZATION BMPS TO ANY AREAS OF CONSTRUCTION THAT HAVE BEEN DISTURBED (INCLUDING FLAT-GRADED AREAS) AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS. SOME OF THE SOIL STABILIZATION BMPS THAT CAN BE UTILIZED, AND CAN BE USED IN CONJUNCTION WITH EACH OTHER. OR USED WITH OTHER SOIL STABILIZATION AND SEDIMENT CONTROL BMPS TO REDUCE EROSION AND SEDIMENT AND POLLUTION TRANSPORT ARE:

- PRESERVATION OF EXIST. VEGETATION (EC-2) - HYDRAULIC MULCH
- HYDROSEEDING
- SOIL BINDERS - STRAW MULCH
- GEOTEXTILES AND MATS
- WOOD MULCH - COMPOST BLANKETS

LANDSCAPE NOTES

1. ALL SLOPES 3 FEET IN VERTICAL HEIGHT AND GREATER SHALL BE PLANTED AND IRRIGATED IN ACCORDANCE WITH LANDSCAPE IMPROVEMENT PLANS CONFORMING TO THE CITY OF CHULA VISTA LANDSCAPE MANUAL (MOST RECENT EDITION), GRADING ORDINANCE 1797, THE WATER CONSERVATION ORDINANCE, AND THE SAN DIEGO COUNTY HANDBOOK FOR PUBLIC WORKS CONSTRUCTION. WHENEVER SPECIAL REQUIREMENTS CONFLICT ON ANY MATTER, THE DIRECTOR OF DEVELOPMENT SERVICES OR DESIGNEE SHALL DETERMINE WHICH SPECIAL CONDITION OR CODE SHALL GOVERN. PLANS SHALL BE APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OR DESIGNEE PRIOR TO ISSUANCE OF APPLICABLE CONSTRUCTION AND BUILDING PERMITS. 2. FINISH GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1 OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PADS OR OTHER RELATIVELY LEVEL AREAS SHALL BE PLANTED AS DIRECTED BY THE CITY'S DIRECTOR OF

- DEVELOPMENT SERVICES.
- PARKS SUPERVISOR, (619) 397–6145. ALL SLOPES THREE FEET IN VERTICAL HEIGHT OR GREATER.

PRINTED NAME MY REGISTRATION EXPIRES: 9-30-25 DISCIPLINE: CIVIL

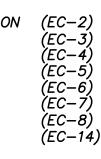
SIGNATURE

AARON PARKER

8/21	REFERENCE DRAWINGS	REVISIONS	By	Date	App'd	REVISIONS
1	06020, 06033, 06035, 06049,					
	14024, 14031, 14038					
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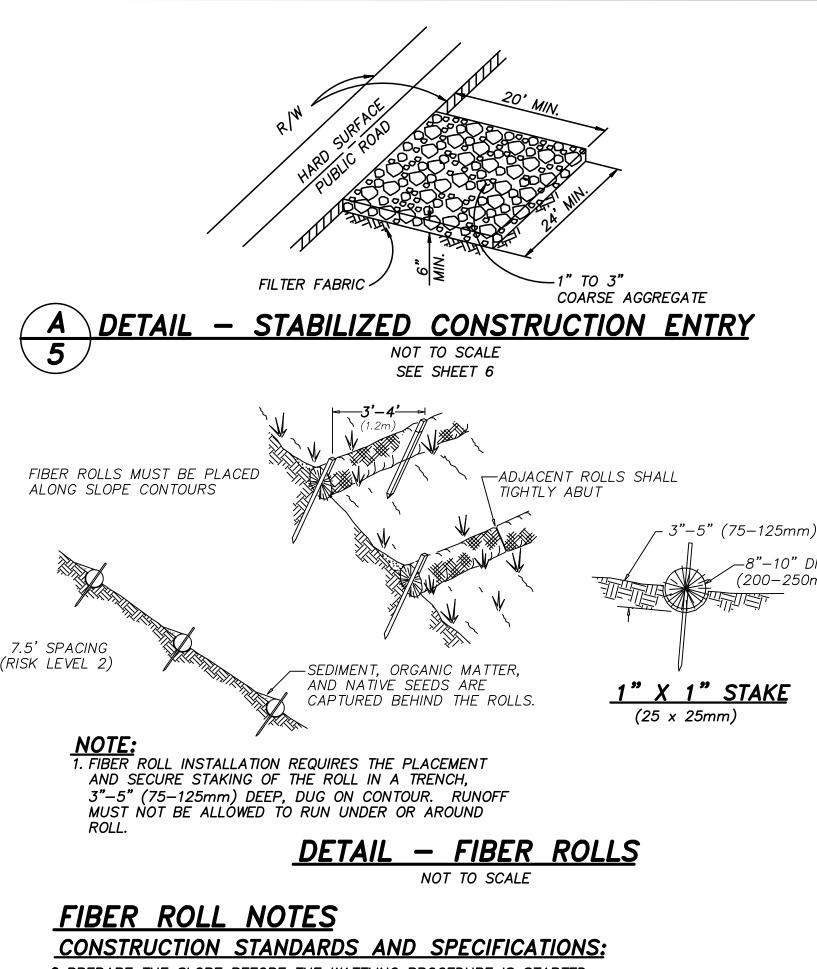
LEGEND DESCRIPTION	<u>C.A.S.Q.A.</u> STANDARD	SYMBOL
EARTH SWALE		$\rightarrow \rightarrow \rightarrow$
DIRECTION OF DRAINAGE		- _
STABILIZED SLOPES WITH SOIL BINDER	EC-5	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
STABILIZED CONSTRUCTION ENTRY	TC-1	
SILT FENCE	SE-1	x
GRAVEL BAGS (SINGLE ROW)		
INLET PROTECTION	SE-10	
WIND EROSION	WE—1	400
FIBER ROLL	SE-5	-0000000000000-
STORM DRAIN		SD
STORM DRAIN CLEANOUT		SD
AREA DRAIN		o
CONCRETE WASHOUT	WM-8	CW
MATERIAL STORAGE AREA	WM—1	MS
SANITARY FACILITIES	WM-9	TF
WASTE STORAGE AREA	WM-5	T
SOIL STOCKPILE	WM-3	SS
LANDSCAPE STOCKPILE	WM-3	LS
EROSION CONTROL STOCKPILE	WM-1	EC
MATERIAL STOCKPILE	WM—1	MS
FUELING AREA	WS-9	FA
VEHICLE MAINTENANCE	NS-10	VM
VEHICLE PARKING		VP
EQUIPMENT STORAGE		ES
HAZARDOUS MATERIAL STORAGE	WM-6	HM
CLEANUP MATERIALS		СМ
CONSTRUCTION TRAILER		\ge
CONTRACTOR IS TO UPDATE S.W. (THIS EXHIBIT) TO REFLECT ACTU		

EFFECTIVE SOIL COVER MUST BE EMPLOYED FOR INACTIVE AREAS WHICH INCLUDES ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED PADS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE



3. PRIOR TO GRADING, CONTRACTOR SHALL FIELD VERIFY EXISTING IRRIGATION SYSTEMS TO DETERMINE WHICH ARE OPERABLE, UNLESS OTHERWISE NOTED ON THESE PLANS, ALL EXISTING IRRIGATION SYSTEMS ARE TO BE PROTECTED IN PLACE AND REMAIN OPERABLE. CONTACT THE FOLLOWING TWO (2) WORKING DAYS IN ADVANCE OF ANY WORK. CITY LANDSCAPING COORDINATION CONTACTS: PUBLIC RIGHT-OF-WAY AND OPEN SPACE – DAVE DEFACCI, SENIOR LANDSCAPE INSPECTOR, (619) 409–5432; PARKS – HUGO MARTINEZ,

4. EFFECTIVE PLANTING SHALL BE INSTALLED, FULLY GERMINATED, AND SHALL EFFECTIVELY COVER THE REQUIRED SLOPES PRIOR TO FINAL APPROVAL. THE PLANTING MIX SHALL BE APPROVED, BY THE DIRECTOR OF DEVELOPMENT SERVICES OR DESIGNEE, PRIOR TO INSTALLATION. SPRINKLER SYSTEMS ARE REQUIRED ON



- PREPARE THE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. • SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
- DIG SMALL TRENCHES ACROSS THE SLOPE ON CONTOUR, TO PLACE ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE ROLL 2/3 OF IT. THICKNESS BECAUSE THE GROUND WILL SETTLE.
- IT IS CRITICAL THAT ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO TH SLOPE CONTOUR. • START BUILDING TRENCHES AND INSTALL ROLL FROM THE BOTTOM OF THE SLOPE AND WORK UP.
- CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF 3-12 FEET APART. DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES
- LAY THE ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL, MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE. • USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WILLOW
- OR WOODEN STAKES. • DRIVE THE STAKE THROUGH PREPARED HOLE INTO SOIL. LEAVE ONLY 1 OR 2 INCHES OF STAKE EXPOSED ABOVE ROLL.
- IF USING WILLOW STAKES REFER TO LIVE STAKING B.M.P.
- INSTALL STAKES AT LEAST EVERY 4 FEET APART THROUGH THE WATTLE. ADDITIONAL STAKES MAY DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSIVE OR VERY STEEP SLOPES. INSPECTION AND MAINTENANCE:
- INSPECT THE FIBER ROLLS AND THE SLOPES AFTER SIGNIFICANT STORMS, MAKE SURE THE ROLLS A IN CONTACT WITH THE SOIL.
- REPAIR ANY RILLS OR GULLYS PROMPTLY. • RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.
- REMOVE FIBER ROLL NETTING FROM SITE AFTER USE AND/OR FIBER ROLLS SHALL BE MADE WITH BIODEGRADABLE NETTING SUCH AS JUTE TO AVOID ANIMÁL ENTRAPMENT.





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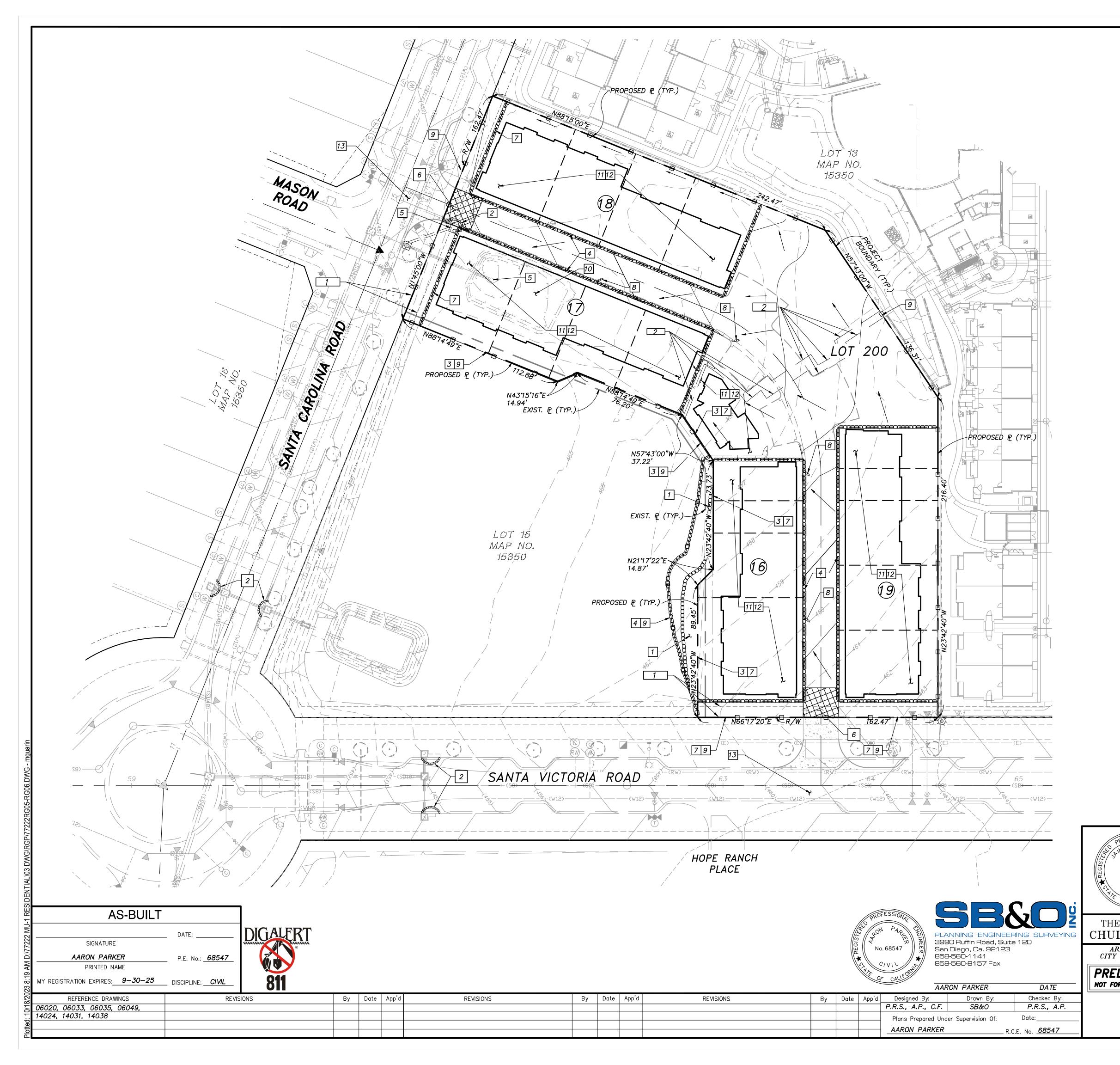
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							AAR	ON PARKER	DATE	NOT FOR
By	Date	App'd	REVISIONS	By	Date	App'd	Designed By:	Drawn By:	Checked By:	
							P.R.S., A.P., C.F.	SB&O	P.R.S., A.P.	
							Plans Prepared Und	er Supervision Of:	Date:	
							AARON PARKER		 	
							AARON FARRER		_ R.C.E. No. <u>68547</u>	

	I Set posts and excavate a 4"x4" III Backfill and compact the trench upslope along the line excavated soil.
	Attach the filter fabric to I the posts and extend it I Extension of fabric and into the trench. Wire into the trench.
<u>'Y</u>	
	Filter Fabric
	CONSTRUCTION OF A SILT FENCE
	<u>SILT FENCE NOTES:</u> 1. POSTS FOR SILT FENCES SHALL BE EITHER 4-INCH-DIAMETER WOOD OR
75–125mm) —8"–10" DIA. (200–250mm) 迎受卫	EQUIVALENT WITH A MINIMUM LENGTH OF 5 FEET. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). 2" DIA. WOOD OR EQUIVALENT MAY BE USED PROVIDED POST SPACING DOES NOT EXCEED 4'. 2. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER. 3. THE FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POST, AND 8 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT
STAKE	EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES. 4. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.
	DETAIL – TYPICAL SILT FENCE NOT TO SCALE
	HYDROSEED PROCEDURES
	4.4–1 SEED MIXES SHALL BE SPECIFIED BY THE PURE LIVE SEED OF EACH SPECIES. 4.4–2 FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 POUNDS PER ACRE EXCEPT WHEN USED IN CONJUNCTION WITH STRAW MULCH, WHEN IT SHALL BE APPLIED AT A MINIMUM RATE OF 400 POUNDS PER ACRE.
	4.4–3 A WETTING AGENT CONSISTING OF 95 PERCENT ALKYL POLYETHYLENE GLYCOL ETHER SHALL BE APPLIED AS PER "MANUFACTURERS" RECOMMENDATIONS. 4.4–4 EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT–IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE
ICH SHOULD OIL IS	SLURRY MIX SHALL BE DYED GREEN. THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY.
2/3 OF ITS	INTERIM BINDER NOTE
ALLEL TO THE WORK UP.	GRADED, DISTURB OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AND INTERIM BINDER/TACKIFIER AS NEEDED
S. E NO GAPS	BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST—EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.
THE WILLOW	HYDROSEED NOTES
F STAKE	1. ALL SLOPES 3 FEET IN VERTICAL HEIGHT OR GREATER AND PADS STEEPER THAN 2% SHALL BE HYDROSEEDED WITH THE FOLLOWING IRRIGATED SEED MIX, MULCH AND BINDING AGENT:
TAKES MAY BE EP SLOPES.	<u>SPECIES:</u> BROMUS MOLLIS FESTUCA MEGALURA POUNDS/ACRE 12
HE ROLLS ARE	<u>HYDROSEED COMPONENTS</u> 2000 LBS CELLULOSE FIBRE MULCH 140 LBS M—BINDER TRIPLE 15 200 LBS FERTILIZER
ADE WITH	NOTE: PRIOR TO HYDROSEEDING, MIX SHALL BE REVIEWED AND APPROVED BY THE DIRECTOR OF BUILDING AND PARK CONSTRUCTION AND THE ENVIRONMENTAL REVIEW
	 COORDINATOR. IRRIGATION METHODS ARE REQUIRED FOR ALL AREAS HYDROSEEDED BETWEEN MARCH FIRST AND NOVEMBER FIRST AS NEEDED. IMMEDIATELY FOLLOWING HYDROSEED APPLICATION, AND FOR A PERIOD OF TIME OF NO LESS THAN 90 DAYS, ADEQUATE SOIL MOISTURE SHALL BE MAINTAINED IN THE UPPER 1/2 INCH OF SOIL TO ASSURE MAXIMUM RATES OF SEED GERMINATION AND PLANT ESTABLISHMENT. IRRIGATION SHALL BE MAINTAINED BEYOND THE 90 DAYS WHEN DEEMED NECESSARY BY THE CITY OF CHULA VISTA PUBLIC WORKS OPERATIONS, OPEN SPACE SECTION. IRRIGATION SYSTEMS ARE NOT REQUIRED FOR AREAS HYDROSEEDED ON (OR WITHIN ONE WEEK OF) NOVEMBER FIRST; HOWEVER, TEMPORARY WATERING (BY HAND OR TRUCK) IS REQUIRED UNTIL PLANTING IS ESTABLISHED IF RAINFALL IS NOT PRESENT. NON—IRRIGATED HYDROSEED MIX IS ACCEPTABLE (SEE INTERIM BINDER NOTE).
PROFESSION CAMPY	© 1/2 1 EROSION CONTROL TITLE SHEET FOR
LUGINEE C69961	IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING MU-1 RESIDENTIAL

OF CALIFORNIT	DEVELOPMENT SERVICES DEPARTMENT	ACCELA NO.: XXXX			
OF CALIFO	DEVELOPMENT SERVICES DEPARTMENT	PROJECT NO.:	GR230016		
CITY OF	Approved:	TOTAL SHEE	TTS: 6		
LA VISTA EA FOR	By: Principal Civil Engineer	XXXX - XXXX			
APPROVAL	Submitted:	NAD83 COC	RDINATES		
	Ву:	XXXX – XXXX LAMBERT COORDINATES			
CONSTRUCTION	Planning: Landscape:				
	AS BUILT	DRAWING NO.			
	CONTRACTOR:	3737373737	G005		
	INSPECTOR: DATE COMPLETED:	XXXXX.XXX			
		W.O.	#GR23-0016		

NOT TO SCALE



<u>C(</u>	DNSTRUCTION NOTES		
DE	<u>SCRIPTION</u>	CASQA	<u>STANDARD</u>
1	STABILIZE ALL SLOPES GREATER THAN 3' IN HEIGHT.		EC-4
2	PROVIDE INLET PROTECTION (TYP.).		SE-10
3	A BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROCESS. CONCENTRATED WATER SHALL BE CARRIED NOT CLOSER THAN 10 FEET FROM THE TOP OF SLOPES SEE A 3		
4	INSTALL GRAVEL BAGS OR FIBER ROLLS.	SE–	5, SE—6
5	DISCHARGE LOCATION.		
6	INSTALL STABILIZED CONSTRUCTION ENTRY. $\bigcirc \bigcirc \bigcirc$		TC-1
7	MAINTAIN DRAINAGE AWAY FROM TOP OF SLOPES.		SE-8
8	SINGLE ROW GRAVEL BAGS. DO NOT ENCROACH INTO TRAVELED WAY.		
9	INSTALL SILT FENCE AT TOE OF SLOPES/LIMITS OF WORK		SE—1
10	EXISTING DESILT BASIN PER DWG. NO. 14024-11. PROTECT IN PLACE.		
11	PAD STABILIZATION.	EC—3 TH	IROUGH EC-8
12	WIND EROSION.		WE—1
13	STREET SWEEPING.		SC-7

EASEMENT NOTES

- EXIST. 7.5' GENERAL UTILITY AND ACCESS EASEMENT TO THE CITY OF CHULA VISTA PER MAP 15350.
- 2 PROPOSED 5' WIDE PRIVATE ACCESS EASEMENT PER DOC. _____, REC. _____.

						/			
				GRAPHIC SCALE					
			30'	0	30'	60'	90'		
PROFESSION AC FRIENDER	0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING NOT TO SCALE			rontrol p RESIDE					
CIVIL OF CALIFORNY	DEVELOPME	OPMENT SERVICES DEPARTMENT					ACCELA NO.: XXXX PROJECT NO.: GR230016		
e city of LA VISTA	Approved: By:					TOTAL SHEE XXXX –			
REA FOR APPROVAL	Submitted:	Principal Civil Engineer				NAD83 COO			
APPROVAL Submitted: NAD83 COORD Submitted: By: XXXX - X Planning: Landscape: LAMBERT COORD									
		AS BUIL	Γ			DRAWING NO.			
	CONTRACTOR: INSPECTOR:		DAT	E COMPLETED:		XXXXX.XXX	G006		

W.O. #GR23-0016