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PROJECT DIRECTORY

OWNER: SUNRAY PROPERTY INVESTMENTS L L C
5721 MEADOWS DEL MAR
SAN DIEGO, CA 92130

DESIGNER: JSP DESIGN STUDIO
2039 O AVE
NATIONAL CITY, CA
559-970-5773

CONTRACTOR: TBD

TITLE 24 CONSULTANT: LRG ENERGY DESIGN
1207 W. 112TH STREET
LOS ANGELES, CA 90044

:-

VICINITY MAP

No.	Date	Description

Project Number	1907L
Date	07/30/2019
Scale	12" = 1'-0"

COVER

A0.1



Esenada Garage ADU

PROJECT SUMMARY

PROJECT ADDRESS

2169 Ensenada St, Lemon Grove, CA 91945

ASSESSOR'S PARCEL NUMBER

577-021-10-00

ZONING

RESIDENTIAL LOW MEDIUM -RLM

LEGAL DESCRIPTION

TR 1966 BLK 3*LOT 5*

EXISTING RESIDENCE CONSTRUCTED

1947

JURISDICTIONAL AUTHORITIES

CITY OF LEMON GROVE

SETBACKS

FRONT: 25'
SIDE: 5'
REAR: 20'

GOVERNING CODES

2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

OVERLAY ZONES

CONSTRUCTION TYPE

TYPE V-B

FIRE SPRINKLERS

NO

HEIGHT LIMIT

35'

LOT COVERAGE

1500 SF MINIMUM USABLE OPEN SPACE

PARKING

REQUIRED SPACES: 0
PROPOSED SPACES: 0

LOT SIZE

7,100 SF

NUMBER OF STORIES

EXISTING RESIDENCE: 1
PROPOSED: 1

EXISTING ADU: 1
PROPOSED ADU: 1

GROSS FLOOR AREA

EXISTING: 2,128 SF
PROPOSED: 2,128 SF

EXISTING ADU: 0 SF
PROPOSED ADU: 400 SF GARAGE TO BE CONVERTED

FLOOR AREA RATIO (FAR)

FLOOR AREA RATIO:
ALLOWED:

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES CONVERSION OF EXISTING GARAGE SPACE INTO AN ADU STUDIO /1 BATH UNIT.

DEFERRED SUBMITTALS

LEGENDS

ABBREVIATIONS

ADJ	ADJACENT	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
ALUM	ALUMINUM	MFR	MANUFACTURER
ALT	ALTERNATE	MICRO	MICROWAVE
ARCH	ARCHITECTURAL	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
		MTL	METAL
		MULL	MULLION
BLDG	BUILDING	N	NORTH
BLKG	BLOCKING	NA	NOT APPLICABLE
BTVN	BETWEEN	NO	NO
		NOM	NOMINAL
		NTS	NOT TO SCALE
CBC	CALIFORNIA BUILDING CODE		
CIP	CAST-IN-PLACE CONCRETE		
C.J.	CONTROL JOINT		
CLG	CEILING		
CLR	CLEAR	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS	OH	OVERHEAD
CTR	CENTER	ORD	OVERFLOW ROOF DRAIN
DF	DEMOLITION	PCF	POUNDS PER CUBIC FOOT
DIA	DIAMETER	PERF	PERFORATED
DIM	DIMENSION	PLAS	PLASTER
DL	DEAD LOAD	PLF	POUNDS PER LINEAR FEET
DN	DOWN	PLY	PLYWOOD
DWG	DRAWING	PNL	PANEL
		PSF	POUNDS PER SQUARE FOOT
(E)	EAST	PSI	POUNDS PER SQUARE INCH
(E)	EXISTING		
EA	EACH	PT	PRESSURE TREATED
EB	EXPANSION BOLT	PVC	POLYVINYL CHLORIDE
EJ	EXPANSION JOINT	PVMT	PAVEMENT
ELE	ELECTRICAL		
ELEV	ELEVATION	R	RISER
EOS	EDGE OF SLAB	RA	RETURN AIR
EQ	EQUAL	RD	ROOF DRAIN
EQUIP	EQUIPMENT	RAD	RADIUS
EXH	EXHAUST	REF	REFERENCE
EXT	EXTERIOR	REFR	REFRIGERATOR
		REQ'D	REQUIRED
FAU	FORCED AIR UNIT	REV	REVISION
FCU	FAN COIL UNIT	RM	ROOM
FD	FLOOR DRAIN	RO	ROUGH OPENING
FN	FOUNDATION		
FE	FIRE EXTINGUISHER	S	SOUTH
FF	FINISH FLOOR	SC	SOLID CORE
FFE	FINISH FLOOR ELEVATION	SCHED	SCHEDULE
FLR	FINISH FLOOR LINE	SECT	SECTION
FL	FLOOR	SF	SQUARE FOOT
FLUOR	FLUORESCENT	SHWR	SHOWER
FOC	FACE OF CONCRETE	SHT	SHEET
FOS	FACE OF STUD	SIM	SIMILAR
FP	FIREPLACE	SPECS	SPECIFICATIONS
FRMG	FRAMING	SS	STAINLESS STEEL
FT	FEET	STD	STANDARD
FTG	FOOTING	STL	STEEL
FUT	FUTURE	STOR	STORAGE
		STRUCT	STRUCTURAL
G	GAS	T	TREAD
GA	GAUGE	TEL	TELEPHONE
GAL	GALLON	THR	THRESHOLD
GALV	GALVANIZED	TOC	TOP OF CONCRETE
GC	GENERAL CONTRACTOR	THK	THICKNESS
GEN	GENERAL	TOB	TOP OF BEAM
GFI	GROUND FAULT INTERRUPTER	TOT	TOP OF SLAB
GL	GLASS	TOW	TOP OF WALL
GPM	GALLON PER MINUTE	TV	TELEVISION
GYP BD	GYPSPUM BOARD	TYP	TYPICAL
HDR	HEADER	UBC	UNIVERSAL BUILDING CODE
HGR	HANGER	UON	UNLESS OTHERWISE NOTED
HORIZ	HORIZONTAL		
HP	HIGH PRESSURE		
HT	HEIGHT		
HTG	HEATING	VCT	VINYL COMPOSITION TILE
HVAC	HEATING/VENTILATION/AIR CONDITIONING	VIF	VERIFY IN FIELD
HW	HOT WATER	VNR	VENER
HYD	HYDRANT		
		W	WEST
ID	INSIDE DIAMETER	WC	WATER CLOSET
INCL	INCLUDED/INCLUDING	WD	WOOD
INSUL	INSULATION	W/D	WASHER/DRYER
INT	INTERIOR	W/O	WITHOUT
		WP	WATERPROOF
LAV	LAVATORY	WT	WEIGHT
LF	LINEAR FOOT		
LL	LIVE LOAD		
LW	LIGHTWEIGHT		

DRAWING SYMBOL

LEGEND

BL (PLAN)

BUILDING SECTION (ELEVATION)

ELEVATIONS

WALL SECTION

DETAIL CALLOUT

DETAIL CUT (PLAN/SECTION)

RELATED DETAIL CUT BELOW OR ABOVE

ROOM NAME WITH FLOOR FINISH

DOOR TAG

WINDOW TAG

BUILDING SECTION NUMBER

SHEET NUMBER

LEVEL TAGS

ELEVATION

NAME

NAME

ELEVATION

DRAWING TITLE

1 DRAWING NAME SCALE

NORTH ARROWS

ACTUAL WORKING

REVISION TAG

EXISTING WALL

DEMOLISHED WALL

PROPOSED WALL

PROPERTY LINE

SETBACK LINE

ARROW INDICATED SITE DRAINAGE PATTERN

GRID LINE

PROPOSED ADDITION

BUILDING NOTES

GENERAL NOTES

- The specifications, included herewith are an integral part of these contract documents and all conditions mentioned in either shall be executed as though specifically mentioned in both.
- These plans and all new work shall comply with the California Building Standards Code found in the State of California - Title 24 CCR as amended and adopted by the City of Lemon Grove.
- Requirements of codes and regulations shall be considered as minimum. Where contract documents exceed w/o violating code and regulation requirements, contract documents shall take precedence where codes conflict, the more stringent shall apply.
- Contractors/subcontractors shall field verify all locations dimensions and conditions of walls, doors, plumbing and mechanical.
- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.
- Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of Lemon Grove and CFC 308
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1.
- Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of Lemon Grove.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 501.2.
- A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.
- Joints and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. (Section 4.406.1)
- Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content.
- The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with Type X Gypsum Board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- All electronically signed and registered certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of occupancy will not be issued until forms CF2R is reviewed and approved.
- An electronically signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of occupancy will not be issued until CF3R is reviews and approved.
- The structure will be located entirely on native/undisturbed soil.
- Prior to final inspection the licensed Contractor, Architect or Engineer in responsible charge of the overall construction must provide to the Building Department Official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

GREEN BUILDING CODE NOTES

- Carpet and carpet systems shall be compliant with VOC limits. (Section 4.504.3) A letter from the contractor subcontractor and/or the building owner certifying what material used complies with the California Green Building Code.
- 80% of the floor area receiving resilient flooring shall comply with one or more of the following:
 - VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 - Products compliant with CHPS criteria certified under the Greenguard Children & School program.
 - Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)
- Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxic Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CALGREEN.
- A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
- Duct openings and other related air distribution component openings shall be covered during construction. (Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Section 4.504.2.1)
- Paints, stains and other coatings shall be compliant with VOC limits set in section Section 4.504.2.2 and Table 4.504.3 of CalGreen.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)"
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
 - Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor.
- All plumbing fixtures and fittings will be water conserving and will comply with the 2019 CGBSC Sec. 4.303.1. Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM). Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM). Provide water closet with a maximum flow of 1.28 gallons per flush (GPF).
- Per 2019 CGBSC Sec 4.303.1.3.2, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 PSI, or the shower shall be designed to allow one shower outlet to be in operation at a time. Handheld showers are considered showerheads.
- Per 2019 CGBSC Sec. 4.303.2, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC.
- Permanent vacuum breakers shall be included with all new hose bibs.
- Per 2019 Green Code Sec. 4.503.1 any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. Cold water connection only.
- Per 2019 Green Code Sec 4.506.1 mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
 - Fans shall be Energy Star compliant and be ducted to terminate outside the building.
 - Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Provide water conserving fixtures, shower heads may not exceed 1.8 gallons per minute of flow. CPC Sections 407, 408, 411, 412.
- All new residential buildings (Single Family, Duplexes or Townhomes) shall be constructed to include waste piping to discharge grey water from clothes washers to a place where it may be used for outdoor irrigation, in compliance with Section 1602 of the California Plumbing Code.
- For additions or improvements to a residence built before 1994, existing "non-compliant" fixtures shall be replaced. Certification of Compliance shall be given to the Building Inspector prior to final permit approval per California SB407.
- Landscape irrigation water use shall have weather or soil-based controllers. CGC Section 4.304.1
- The Contractor shall submit a Construction Waste Management Plan, per Section 4.408.2.
- Moisture content of wood shall not exceed 19% before it is enclosed in construction. The moisture content is to be certified by one of three methods specified. Building materials with visible signs of water damage shall not be used. The moisture content must be determined by the contractor by one of the methods listed in CGC Section 4.505.3.

STORM WATER REQUIREMENTS

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), LEMON GROVE MUNICIPAL STORM WATER PERMIT, THE CITY OF LEMON GROVE LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF LEMON GROVE "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWGMP) FOR POST-CONSTRUCTION BMPS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION. CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES, ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT IF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR, IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPS DAILY AND AS NEEDED, VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA:** TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE LEMON GROVE MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

PROJECT

Esenada Garage ADU

2169 Esenada St, Lemon Grove, CA 91945

JSP Project Number	1907L
AHJ Project Number	000000
Date	07/30/2019
Scale	1/2" = 1'-0"

No.	Date	Description
1	06/29/2022	City Comment Revisions

GENERAL NOTES + LEGENDS

A0.2

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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PROJECT
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2169 Esenada St, Lemon Grove, CA 91945

JSP Project Number	1907L
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Date	07/30/2019
Scale	As indicated

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UPPER FLOOR PLAN - DEMO + PROPOSED

A1.1

SPECIAL PLAN NOTES:

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 20'-0" ABOVE GRADE PER LMMC SEC24.05.030
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
- ENVIRONMENTAL AIR DUCTS 4 EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3- FEET FROM A PROPERTY LINE 4 3- FEET FROM BUILDING OPENINGS.
- THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY AND WARRANTY FOR PROVIDING SAID LAYOUT AND FUNCTION INCLUDING REQUIRED DROPS 4 SOFFITS AS REQUIRED.
- AN ELECTRONICALLY SIGNED 4 REGISTERED INSTALLATION CERTIFICATE(S) /CF2R/ POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF2R IS REVIEWED 4 APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE. SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED 4 APPROVED.
- A SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6- FEET ABOVE THE FLOOR (CRC R307.2).
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE LOW RATE OF FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAIN FROM THE DEVELOPMENT SERVICES DEPARTMENT
- EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
 - CERTIFIED UL GREENGUARD GOLD
 - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE /RFC/ FLOOR SCORE PROGRAM
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 01350
- NEW HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBER BOARD /MDF/ COMPOSITE WOOD PRODUCT USED IN THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN 2019 CAL GREEN TABLE 4.504.5.
- THE FORMALDEHYDE EMISSION VERIFICATION SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST
- THE VOC CONTENT VERIFICATION SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST
- ALL STRUCTURAL EXPOSED MEMBERS SUPPORTING DECK AND ROOF SHALL BE
 - NON-COMBUSTIBLE MATERIAL
 - IGNITION-RESISTANT MATERIAL

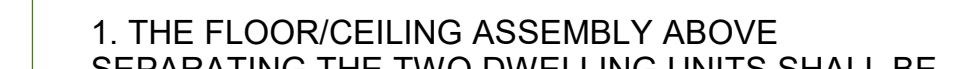


- PER 2019 GREEN CODE, MECH EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING;
 - A - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - B - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACKDRAFT TAMPERS
- ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NO LESS THAN 3' FROM A PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING.
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CGBSC
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM)
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.6 GALLONS PER MINUTE (GPM)
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM) AT 80 P.S.I. OR SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE OUTLET IN OPERATION AT A TIME, HANDHELD SHOWERS AREA CONSIDERED SHOWERHEADS
- PROVIDE WATER CLOSETS WITH A MAXIMUM FLOW OF 1.28 GALLONS PER MINUTE (GPM)
- EXISTING UNIT NOT SPRINKLERED SO COMPANION JUNIOR UNIT, NOT REQUIRED TO BE SPRINKLERED
- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A SPACE HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 66 DEGREES F.
- THE MATERIALS 4 METHODS OF CONSTRUCTION USED FOR THE WHOLE STRUCTURE, INCLUDING ATTACHED A.D.U.S, AND STRUCTURES /PATIO COVERS/ SHALL BE IN ACCORDANCE WITH CRC R337.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
- DRIP EDGE FLASHING USED THAT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
- PROVIDE VAPOR RETARDER FOR ENTIRE AREA OF EX. CONCRETE SLAB (OLD GARAGE SLAB/- NOW CONVERTED TO HABITABLE SPACE PER SEC. R506.2.3
- CONTROL VALVES IN SHOWERS AND BATHTUBS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC SECTIONS 408, 409, 410.

- THE FLOOR/CEILING ASSEMBLY ABOVE SEPARATING THE TWO DWELLING UNITS SHALL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION IN ACCORDANCE WITH SECTION R302.3.
- THE SUPPORTING WALLS, BEAMS, AND POSTS FOR THE ONE-HOUR FIRE-RESISTANCE RATED FLOOR/CEILING ASSEMBLY SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING IN ACCORDANCE WITH R302.3.1.
- PENETRATIONS ON THE ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION (FLOOR/CEILING AND WALL ASSEMBLIES) SHALL COMPLY WITH SECTION R302.4.

GENERAL FIRE-RATING NOTES:

- THE FLOOR/CEILING ASSEMBLY ABOVE SEPARATING THE TWO DWELLING UNITS SHALL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION IN ACCORDANCE WITH SECTION R302.3.
- THE SUPPORTING WALLS, BEAMS, AND POSTS FOR THE ONE-HOUR FIRE-RESISTANCE RATED FLOOR/CEILING ASSEMBLY SHALL HAVE AN EQUAL OR GREATER FIRE-RESISTANCE RATING IN ACCORDANCE WITH R302.3.1.
- PENETRATIONS ON THE ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION (FLOOR/CEILING AND WALL ASSEMBLIES) SHALL COMPLY WITH SECTION R302.4.

WALL LEGEND

	2X4 PROPOSED WALL
	2X6 PLUMBING WALL
	2X4 EXISTING WALL

PLAN NOTES:

- PER 2019 GREEN CODE, MECH EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING;
 - A - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
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- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A SPACE HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 66 DEGREES F.
- THE MATERIALS 4 METHODS OF CONSTRUCTION USED FOR THE WHOLE STRUCTURE, INCLUDING ATTACHED A.D.U.S, AND STRUCTURES /PATIO COVERS/ SHALL BE IN ACCORDANCE WITH CRC R337.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
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WALL LEGEND

	2X4 PROPOSED WALL
	2X6 PLUMBING WALL
	2X4 EXISTING WALL

DEMOLITION NOTES:

- THE CONTRACTOR IS TO USE EVERY PRECAUTION TO PREVENT DAMAGE TO ADJOINING AREAS. WHERE APPLICABLE, THE CONTRACTOR IS TO PATCH AND REPAIR DRYWALL, STUCCO OR SIMILAR ADJOINING MATERIAL AFTER DEMOLITION OR REPLACEMENT OF WALLS, WINDOWS OR DOORS.
- THE CONTRACTOR IS TO REFERENCE THE NEW FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT DESIGNER OR OWNER IN AREA OF UNCERTAINTY OR DISCREPANCY.
- THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING THE DESIGNER AND ENGINEER SHALL BE IN WRITING, IMMEDIATELY OF ANY IN NO CASE SHALL DIMENSIONS BE SCALED FROM PLANS, ELEVATIONS, SECTIONS OR DETAILS OF THESE DRAWINGS.



Door Schedule2

Door Tag	Dimensions		Function	Comments
	Width	Height		
101	3' - 0"	6' - 8"	Exterior	
102	2' - 10"	6' - 8"	Interior	

- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)
- EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL
 - SOLID CORE WOOD COMPLYING WITH THE FOLLOWING: - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK - RAISED PANELS MINIMUM 1-1/4 INCHES THICK EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK
 - MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 252 D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1

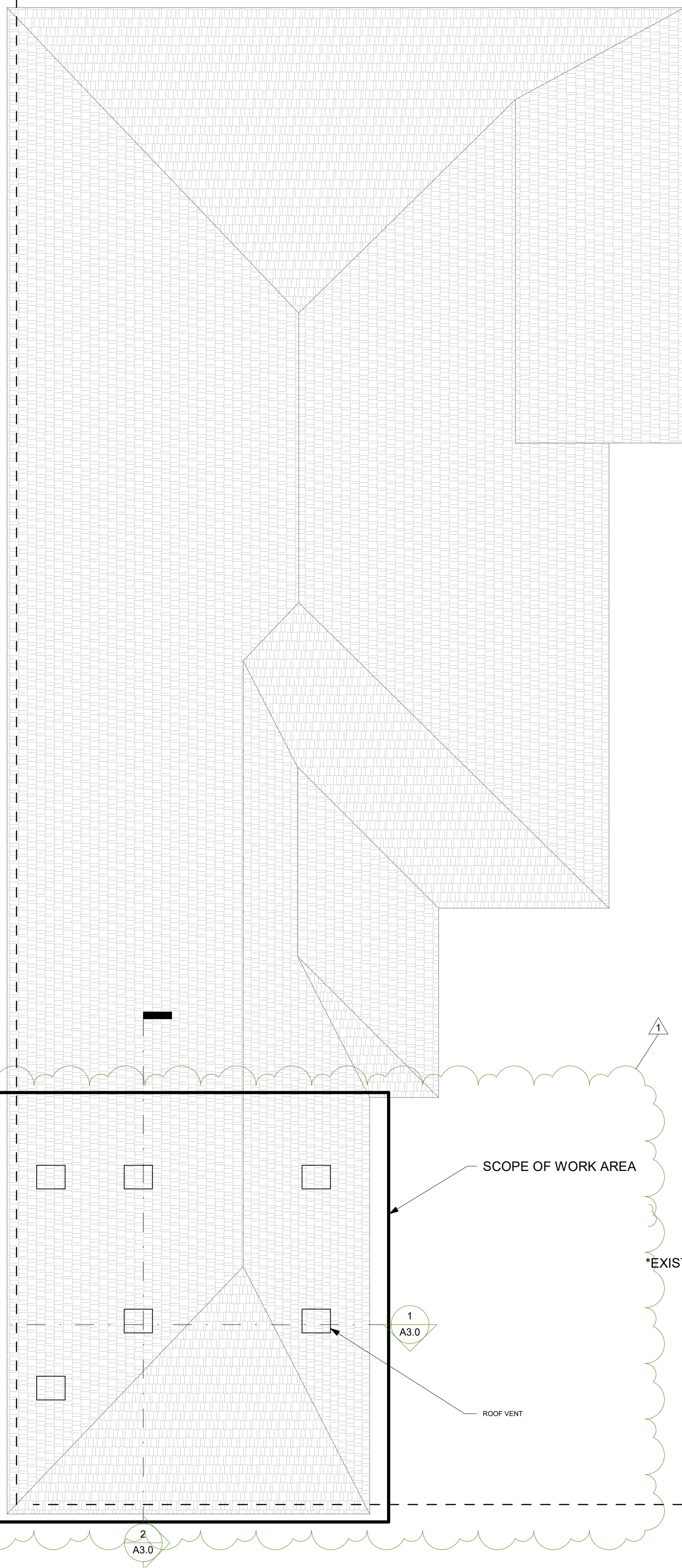


Window Schedule2

Window Tag	Dimensions			Operation	Tempered	Comments
	Width	Height	Sill Height			
1	2' - 0"	4' - 0"	3' - 0"			
2	5' - 0"	5' - 0"	2' - 6"			
3	3' - 0"	1' - 0"	6' - 0"			

- EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)
- MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMA/WDMA/CSA 101/1.S.2/A40
 - MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
 - MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2

U:\My Drive\Beatrice Personal\JSP DESIGN STUDIO\Esenada St\Garage ADU_Beatrice City Comments Revision.rvt



1 ROOF
1/4" = 1'-0"



Address:
2169 Ensenada St, Lemon Grove, CA 91945

1. TOTAL SQUARE FEET OF ATTIC SPACE TO BE VENTILATED
Total Square Feet Of Attic Space To Be Ventilated:
400'
Required Method:
1/150
Calculation:
400 ÷ 150 = 2.67 Sq. Ft. Of Code Required Ventilation

2. CONVERT SQUARE FEET OF CODE-REQUIRED VENTILATION TO SQUARE INCHES
Square Feet Of Code Required Ventilation
2.67
Calculation:
2.67 X 144 = 384.48 Sq. In Of Code Required Ventilation

3. SELECT MATERIAL AND DETERMINE VENTS REQUIRED
Material:
Composition Shingle

PLACEMENT
Square Inches Provided: (6 X 72) = 432 Sq. In
Square Inches Needed: 2.67 X 144 = 384.48 Sq. In
High / Exhaust Vents Needed: 3
Low / Intake Vents Needed: 3
Total Vents Needed: 6

MATERIAL: COMPOSITION SHINGLE
PRODUCT: LOW PROFILE - "TAPERED"

If you live in a Wildland Urban Interface area (WUI), upgrade to our FIREACE® product line. Scan the QR Codes above with your smart phone to learn more.



REQUIRED VENTILATION FOR ATTICS

1. TOTAL SQUARE FEET OF ATTIC SPACE TO BE VENTILATED
Total Square Feet Of Attic Space To Be Ventilated:
400'
Required Method:
1/150
Calculation:
400 ÷ 150 = 2.67 Sq. Ft. Of Code Required Ventilation

2. CONVERT SQUARE FEET OF CODE-REQUIRED VENTILATION TO SQUARE INCHES
Square Feet Of Code Required Ventilation
2.67
Calculation:
2.67 X 144 = 384.48 Sq. In Of Code Required Ventilation

3. SELECT MATERIAL AND DETERMINE VENTS REQUIRED
Material:
Composition Shingle

PLACEMENT
Square Inches Provided: (6 X 72) = 432 Sq. In
Square Inches Needed: 2.67 X 144 = 384.48 Sq. In
High / Exhaust Vents Needed: 3
Low / Intake Vents Needed: 3
Total Vents Needed: 6

- NOTES**
- ROOF MATERIAL: GAF LIBERTY™ SBS SELF-ADHERING CAP SHEET, WHITE, ESR-1274 - CLASS "A" UL FIRE RATING, 20 YR 3-TAB ASPHALT SHINGLES, COLOR TO MATCH MAIN HOUSE.
 - ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING.
 - PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS IN FLASHING TO BE SOLDERED AND SEALED WITH MASTIC.
 - THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 35'-0" ABOVE GRADE (17.24.040).
 - THE NET FREE VENT AREA OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. REDUCTION OF TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQ VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALT, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR CLASS II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. A MIN OF 1" CLEARANCE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.
 - NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACES BETWEEN INSULATION AND ROOF SHEATHING.
 - UNVENTED ATTICS & UNVENTED ENCLOSED RAFTER ASSEMBLIES (SEC. 145.1203) ARE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.
 - NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY.
 - EITHER ITEMS A, B, OR C OF THIS SECTION 145.1203(B)(3) SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHEATHING. NO INSULATION SHALL BE REQ. WHEN ROOF TILES, WOOD SHINGLES, WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTEN AND NO CONTINUOUS UNDERLAYMENT IS INSTALLED. A CONTINUOUS LAYER SHALL BE CONSIDERED TO EXIST IF SHEATHING, ROOFING PAPER OR ANY CONTINUOUS LAYER IS USED WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.
 - AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.
 - AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHEATHING, RIGID BOARD OR SHEET INSULATION W/ AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION. WHERE PERFORMED INSULATION BOARD IS USED AS THE AIR-IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONTINUOUS LAYER.
 - ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MAXIMUM OPENINGS. SECTION R806.1

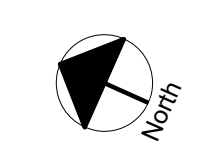
Esenada Garage ADU
 2169 Ensenada St, Lemon Grove, CA 91945

No.	Date	Description
1	06/29/2022	City Comment Revisions

JSP Project Number 1907L
 AHJ Project Number 000000
 Date 07/30/2019
 Scale 1/4" = 1'-0"

ROOF PLAN

A1.2



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

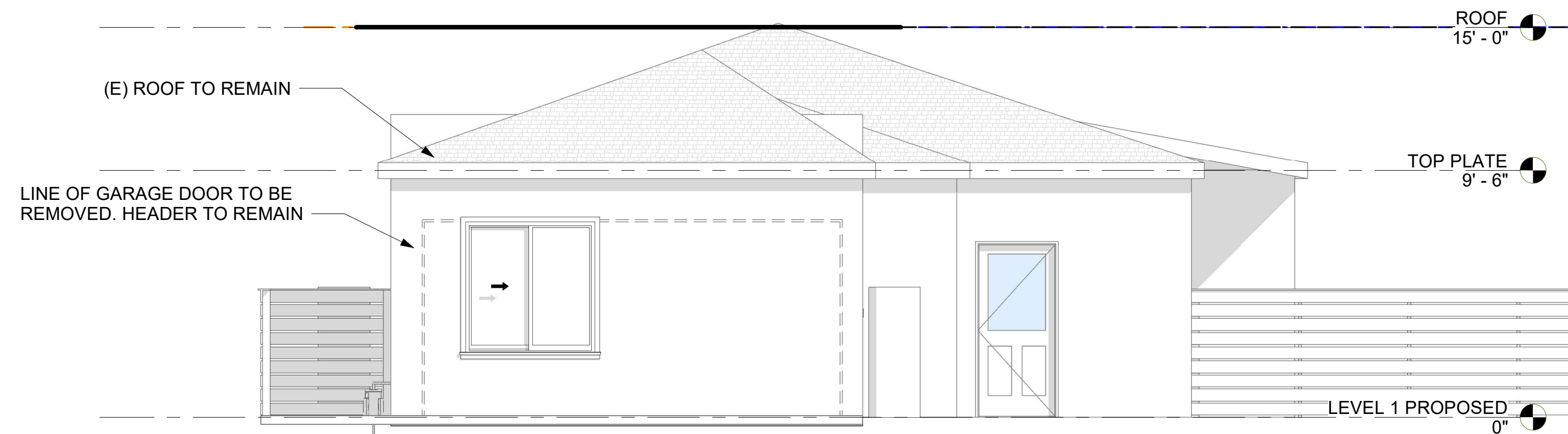
PROJECT

**Esenada Garage
ADU**

2169 Ensenada St, Lemon Grove,
CA 91945

JSP Project Number	1907L
AHJ Project Number	000000
Date	07/30/2019
Scale	1/4" = 1'-0"

No.	Date	Description
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1 SOUTH ELEVATION - PROPOSED2
1/4" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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PROJECT

**Esenada Garage
ADU**

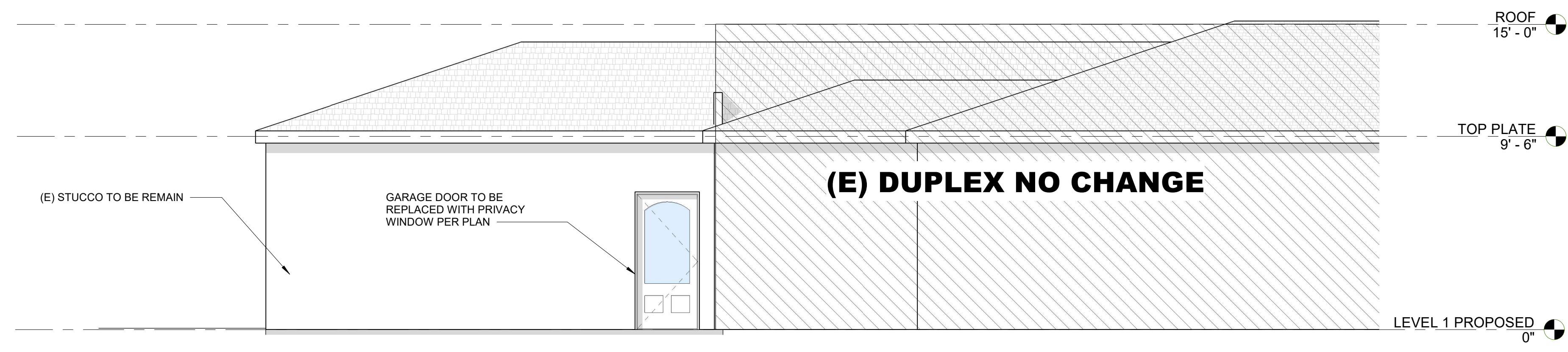
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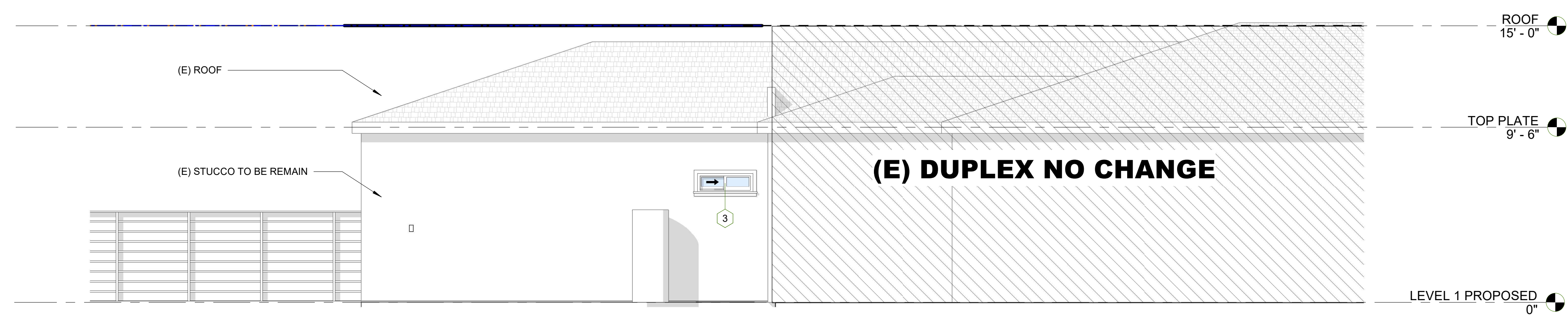
No.	Date	Description
1	06/29/2022	City Comment Revisions

NOTES

1. PROPOSED STRUCTURE REPAIRS, EXTERIOR FINISHES, ROOF MATERIALS, ROOF OVERHANG, WINDOW TREATMENTS TO MATCH EXISTING PER MMC SECTION 17.24.060.B.3



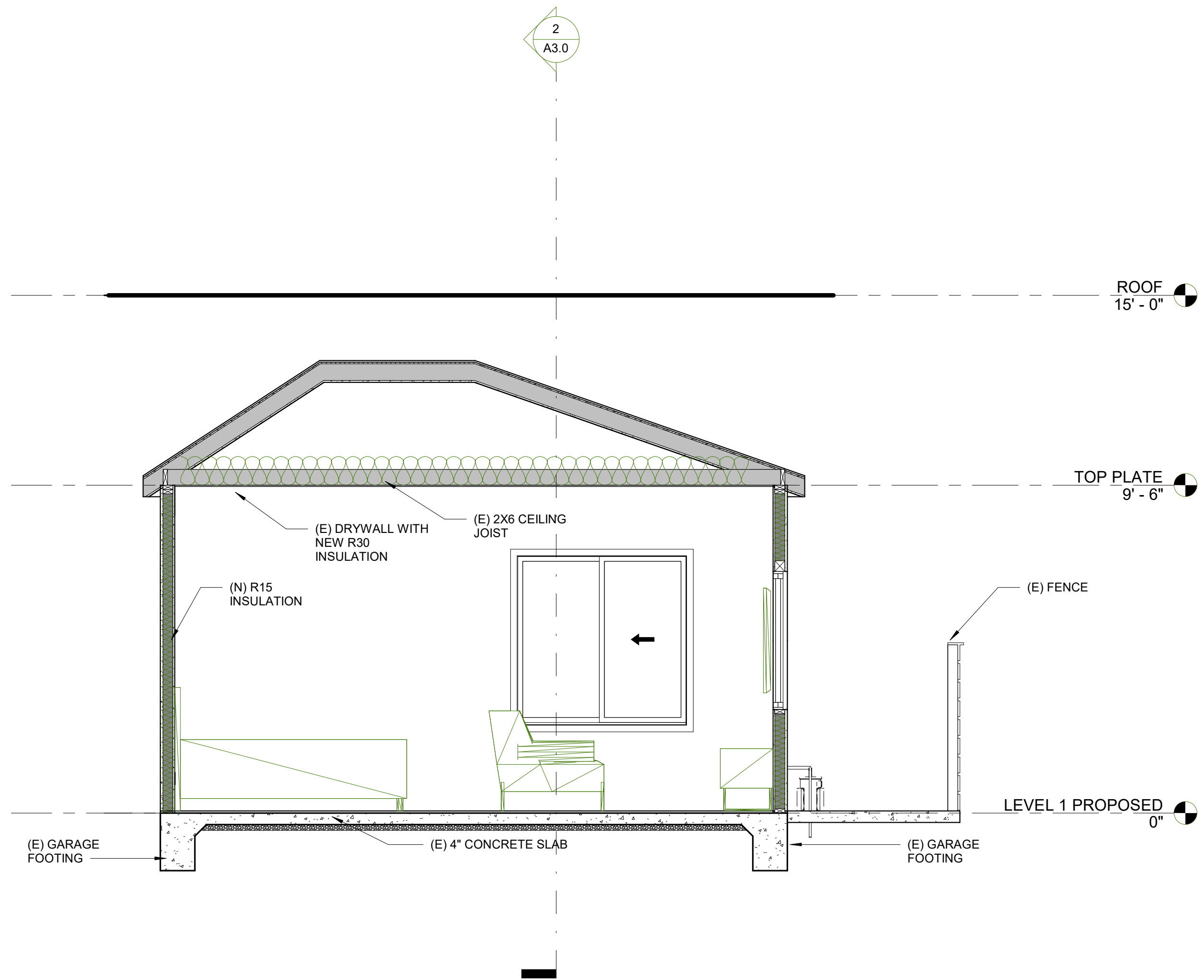
2 EAST ELEVATION - DEMO
1/4" = 1'-0"



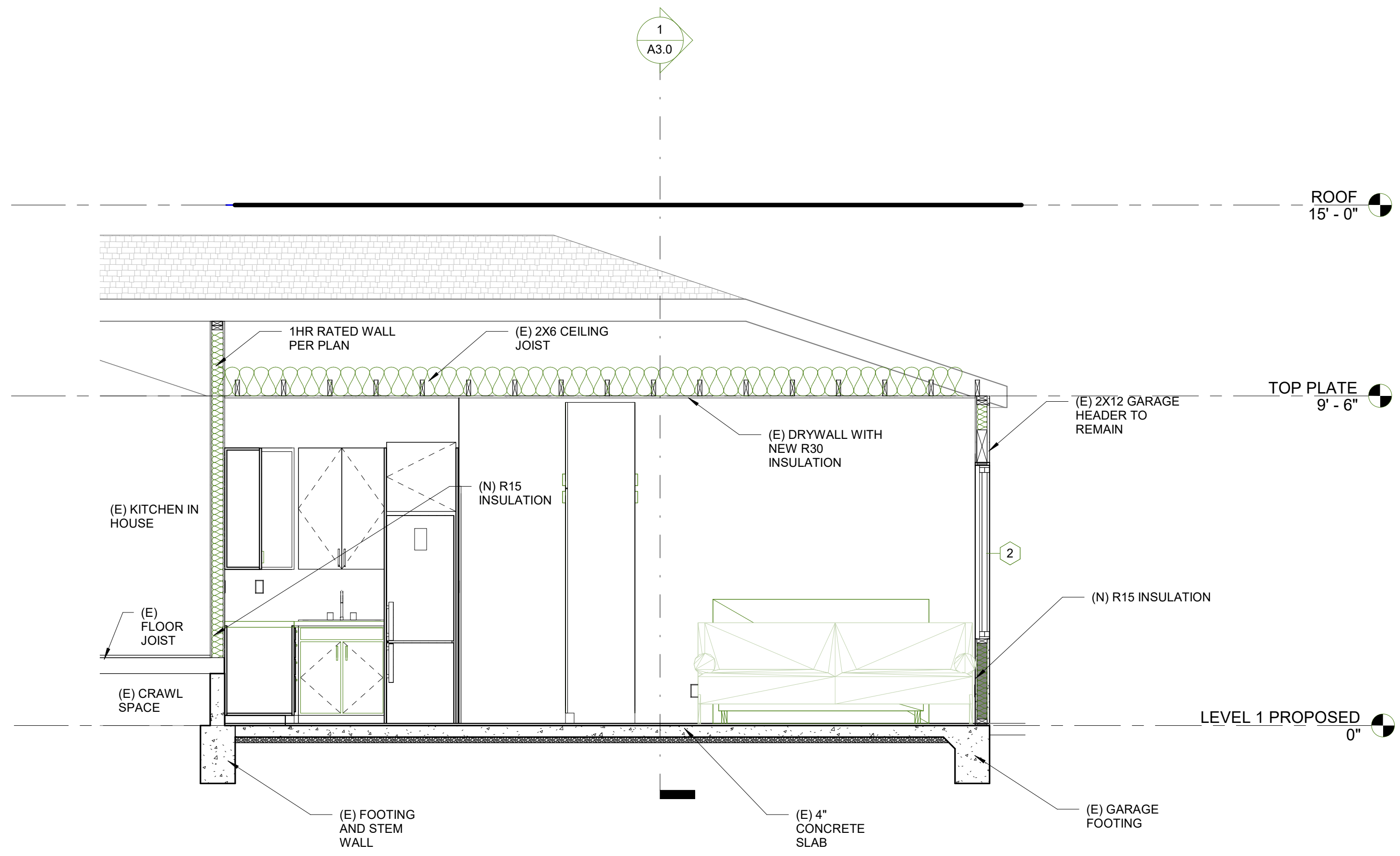
1 EAST ELEVATION - PROPOSED1
1/4" = 1'-0"

ELEVATIONS - EAST

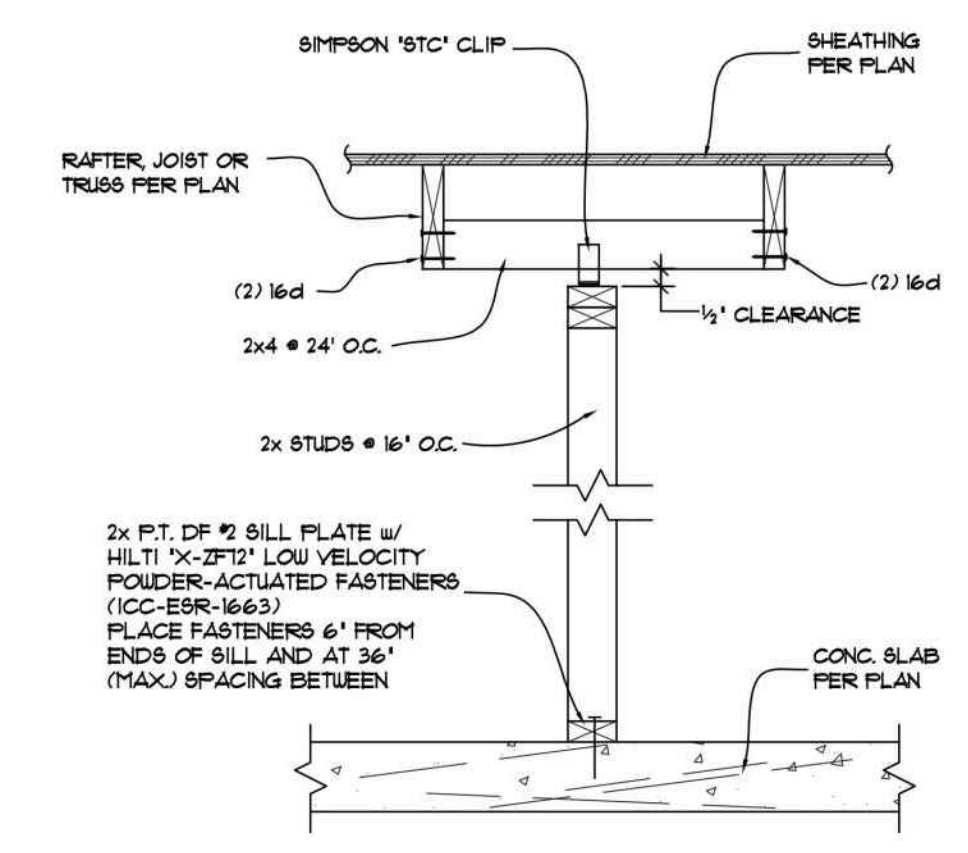
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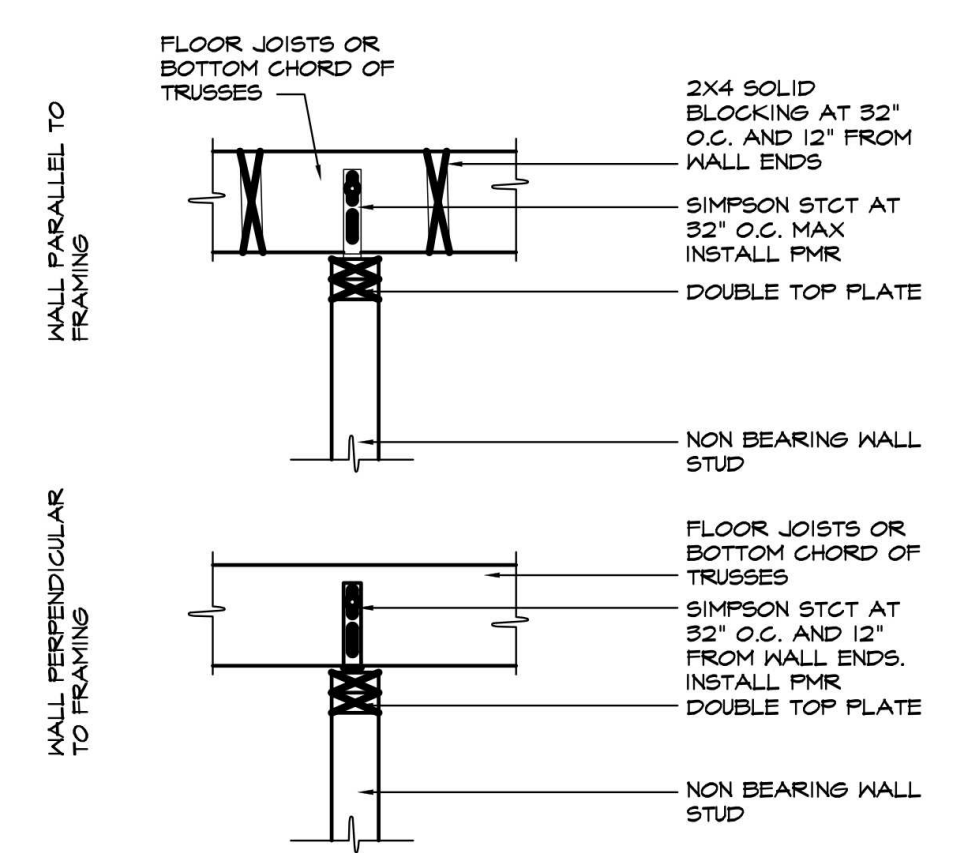
1 Section 1
3/8" = 1'-0"



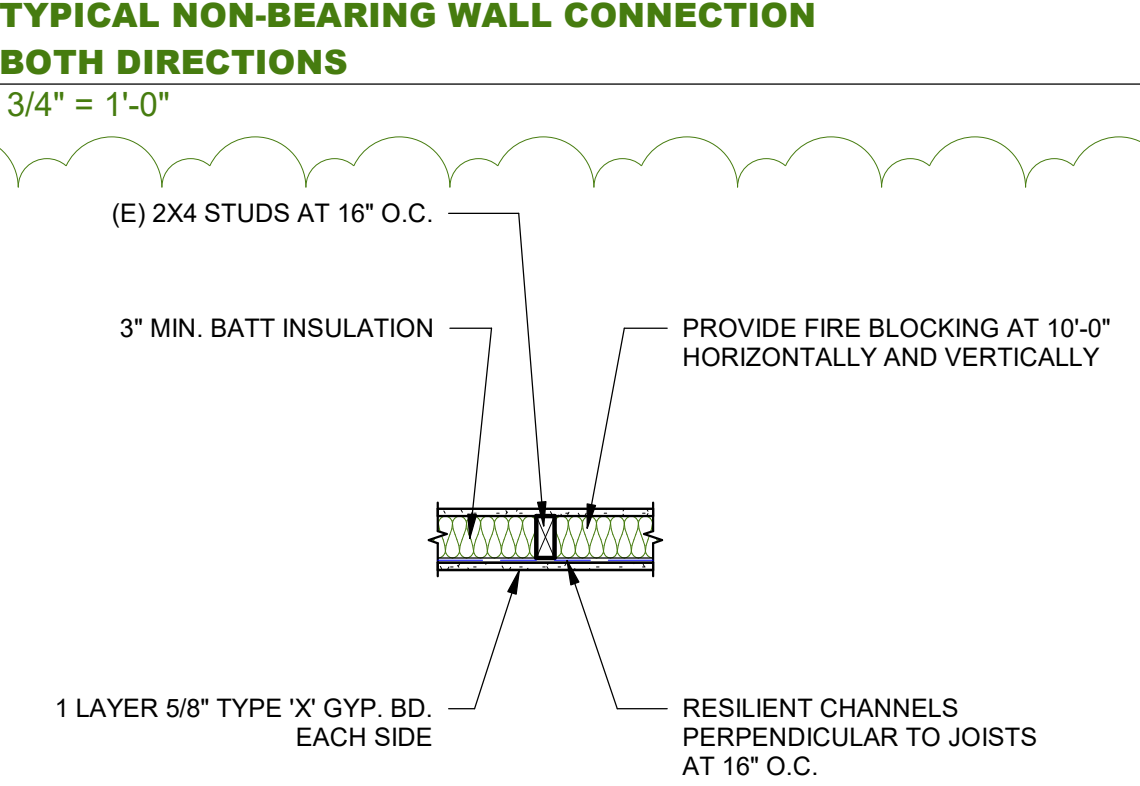
2 Section 2
3/8" = 1'-0"



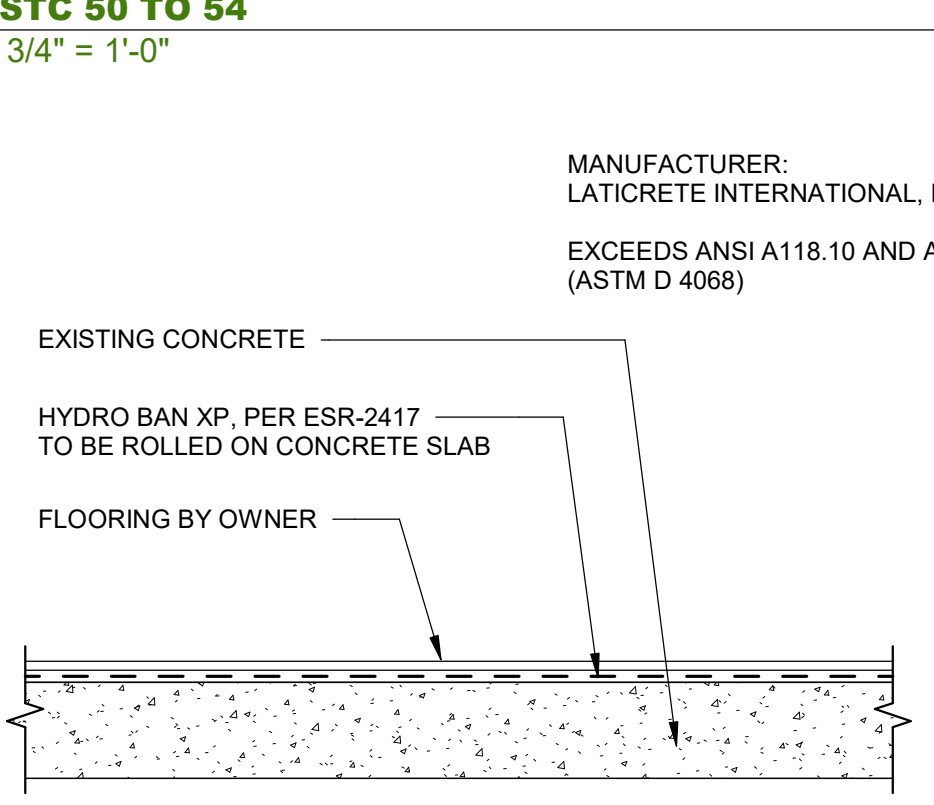
3 TYPICAL NON-BEARING WALL CONNECTION
3/4" = 1'-0"



4 TYPICAL NON-BEARING WALL CONNECTION
BOTH DIRECTIONS
3/4" = 1'-0"



5 INTERIOR WALL ASSEMBLY DETAIL - 1 HOUR
STC 50 TO 54
3/4" = 1'-0"



6 CONCRETE SLAB VAPOR RETARDER
1 1/2" = 1'-0"

NOTES

1. ALL ANCHORS BOLTS SHALL BE 5/8" DIAMETER AND HAVE A MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE (UNO) AND NOT SPACED MORE THAN 6 FEET APART
2. 3"x3"x0.229" PLATE WASHERS SHALL BE USED ON EACH SILL PLATE ANCHOR BOLT
3. FOR STANDARD CUT WASHERS PLACED BETWEEN PLATE WASHER AND NUT, HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM 3/16" LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH
4. PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE WITH ONE BOLT LOCATED MAXIMUM 12" AND MINIMUM 7 BOLT DIAMETERS FROM EACH END OF EACH SECTION.
5. BOLTS LOCATED IN THE MIDDLE THIRD OF THE SILL PLATE WIDTH
6. FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL OR COPPER
7. NO LPG PIPING ASSEMBLIES ALLOWED IN OR BENEATH SLABS WITHIN THE STRUCTURE

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ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

PROJECT

Ensenada Garage ADU

2169 Ensenada St, Lemon Grove, CA 91945

JSP Project Number	1907L
AHJ Project Number	000000
Date	07/30/2019
Scale	As indicated

No.	Date	Description
1	06/29/2022	City Comment Revisions

BUILDING SECTIONS

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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PROJECT

**Esenada Garage
ADU**

2169 Ensenada St, Lemon Grove,
CA 91945

JSP Project Number	1907L
AHJ Project Number	000000
Date	07/30/2019
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ELECTRICAL PLAN

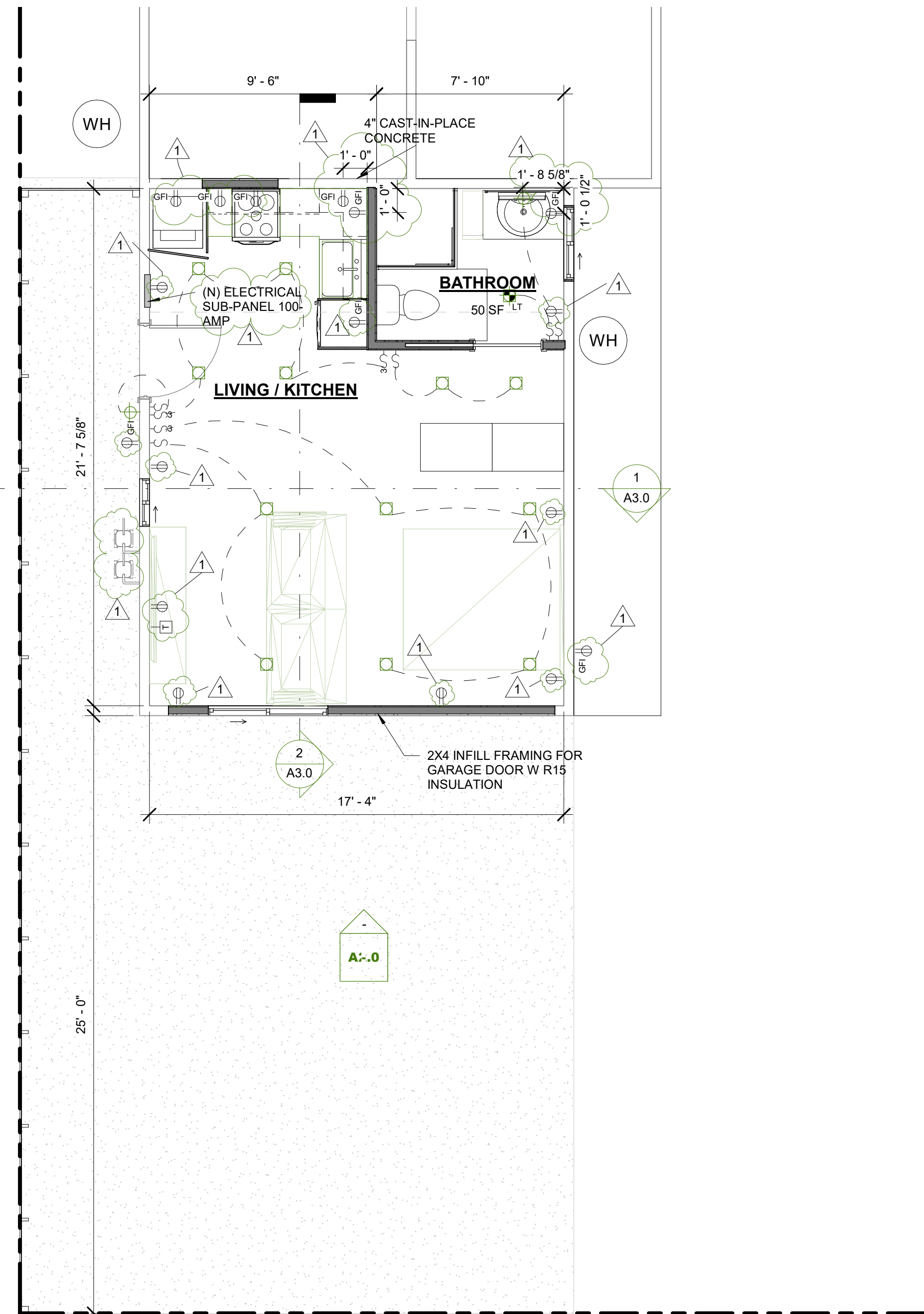
E1.0

RECEPTACLE TYPE	MODEL/CATALOG NUMBER	MANUFACTURER	COUNT	UL LISTED	COMPLIANCE
TAMPER RESISTANT	TR1107 DECORATOR DUPLEX RECEPTACLE	EATON	7	UL498	<ul style="list-style-type: none"> 2017 NEC ARTICLE 406.12 CULUS LISTED TO UL498, FILE NO. E15058 UL CERTIFIED TO CSA C22.2, NO. 42 NOM/ANSI CERTIFIED
WEATHER RESISTANT	TWR270	EATON	2	UL498	<ul style="list-style-type: none"> CULUS LISTED TO UL498, FILE NO. E15058; NOM CERTIFIED
ARC-FAULT (AFCI) PROTECTION	BRL215CAF	EATON	REFER TO NOTE BELOW.	UL1699	<ul style="list-style-type: none"> FEDERAL SPECIFICATIONS CLASSIFICATION W-C375
GFCI PROTECTED	TWRSGF15FW	EATON	10	UL498	<ul style="list-style-type: none"> CULUS LISTED TO UL498; NOM CERTIFIED

REFER TO CEC 2019 210.12 (A) 1-6 FOR LOCATION OF AFCI.

SPECIFICATIONS FOR ELECTRICAL DEVICES

1/2" = 1'-0"



1 LEVEL 1 PROPOSED ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL/MECHANICAL NOTES

- WALKTHROUGH W/ OWNER, CONTRACTOR, ELECTRICIAN, AND DESIGNER TO BE PERFORMED AFTER/DURING FRAMING, BEFORE INSTALLATION OF ELECTRICAL, TO CONFIRM FINAL LAYOUT.
- ALL RECEPTACLE LOCATIONS SHALL BE GFCI PROTECTED. NEW/ADDITIONAL OUTLETS SHALL HAVE A DEDICATED 20-AMP CIRCUIT (CEC 210.8 AND 210.11) RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS TO BE WEATHER RESISTANT.
- ALL RECESSED CAN LIGHTS INSTALLED IN CEILINGS WITH INSULATION TO BE TYPE IC AND WITH AIR-TIGHT RATED TRIM/HOUSING.
- ALL OUTLETS IN LIVING AND HALLS ARE TO BE ARC FAULT CIRCUIT PROTECTED PER NEC ARTICLE 210.12(B).
- OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR MUST BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY ONE THESE: PHOTOCONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS (SECTION 504 CMC). LIGHTING IN BATHROOMS TO HAVE ONE HIGH EFFICACY LUMINAIRE AND ALL LOW EFFICACY LIGHTING MUST BE CONTROLLED BY VACANCY SENSORS. OTHER ROOMS: ALL LUMINARIES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
- ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC).
- BATHROOM ENCLOSURES SHALL BE EQUIPPED WITH PANASONIC QUIET WHISPER FV-09VKL-3 EXHAUST FANS OR COMPARABLE. 80 CFM RATING. UL #E78414.
- PER 2019 GREEN CODE SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- KITCHENS: ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
- WATER HEATER:
 - MAKE.
 - MODEL.
 - NO. OF GALLONS.
 - TANK CAPACITY.
- THE INSTALLATION OF SMOKE ALARMS, SMOKE DETECTORS, AND CARBON MONOXIDE ALARMS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4. & R315.
- ALL SMOKE DETECTORS/CARBON MONOXIDE ALARMS TO REMAIN IN EXISTING AREAS.
- WHOLE-BUILDING VENTILATION SYSTEM WITH MINIMUM 64 CFM TO BE INSTALLED TO ACHIEVE INDOOR AIR QUALITY (IAQ). SEE TITLE 24 REPORT, 2019 RESIDENTIAL COMPLIANCE MANUAL SEC. 4.6 FOR NEW CONSTRUCTION OR ADDITIONS GREATER THAN 1,000 SF.
- ALL RECEPTACLE OUTLET LOCATIONS MUST COMPLY WITH CEC ARTICLE 210.52. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE. THIS ALLOWS FOR A MAXIMUM OF 12 FEET BETWEEN RECEPTACLES ON THE SAME WALL.
- PER CEC ARTICLE 210.11(C)1, THERE SHALL BE A MINIMUM OF (2) SMALL APPLIANCE BRANCH CIRCUITS WITHIN THE LOCATIONS SPECIFIED IN ARTICLE 210.52(B), I.E., KITCHEN AND DINING AREAS.
- PER CEC ARTICLE 210.11(C)3, BATHROOM CIRCUITING SHALL BE EITHER:
 - A 20-AMP CIRCUIT DEDICATED TO EACH BATHROOM, OR
 - AT LEAST ONE 20-AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- ALL INSTALLED LUMINARIES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH ES TABLE 150.0-A.
 - LUMINARIES MUST HAVE A LABEL CERTIFIED FOR AIRTIGHT CONSTRUCTION.
 - LIGHT SOURCES THAT ARE NOT MARKED "JA8-2019-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINARIES. ES 150.0 (K).

ELECTRICAL LEGEND

- CATV
- DUPLEX RECEPTACLE OUTLET
- GROUND FAULT INT. OUTLET
- 3-WAY ELECTRICAL SWITCH
- DIMMABLE ELECTRICAL SWITCH
- SINGLE POLE ELECTRICAL SWITCH
- WALL SCONCE
- FLUORESCENT LIGHT
- 4" RECESSED FIXTURE
- PENDANT
- RECESSED EXHAUST FAN WITH COMPACT FLUORESCENT LIGHT
- CARBON MONOXIDE ALARM, WIRED WITH BATTERY BACKUP
- SMOKE DETECTOR; WIRED WITH BATTERY BACKUP
- UNDER CABINET LED BAR LIGHT
- HIGH/LOW WALL AIR RETURN REGISTER
- HIGH/LOW WALL AIR SUPPLY REGISTER
- FLOOR/CEILING AIR REGISTER
- CEILING FAN W/ LIGHT

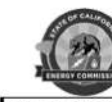




2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions may apply. (Original 08/2019)

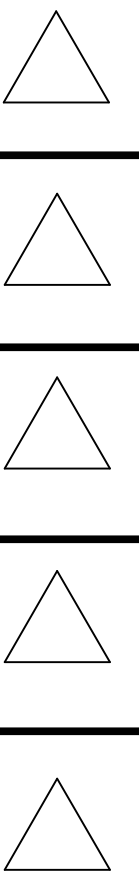
Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Fireplaces, Space Conditioning, Water Heating, and Plumbing System Measures, and Ducts and Fans Measures.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearances, Liquid Line Drains, Storage Tank Insulation, Water Piping, Solar Water-heating System Piping, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Ducts and Fans Measures, and Solar Ready Buildings.

REVISION / DATE



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems, Lighting Measures, and Solar Ready Buildings.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, Residential Garages, Interior Common Areas, Solar Ready Buildings, and Solar Ready Buildings.

PROJECT: GARAGE CONVERSION TO ADU
SITE ADDRESS: 2169 ENSENADA STREET
LEMON GROVE, CA 91945
OWNER: SUNRAY PROPERTY INVESTMENTS LLC

DATE 3/14/2022

SCALE

SHEET T-2

OF SHEETS