

## PROJECT DIRECTORY

**OWNER:** MAPH, LLC  
JAIMEPASCAL@YAHOO.COM.MX

**DESIGNER:** JOSE PONCE  
JSP DESIGN STUDIO  
JPONCE@JSPDESIGNSTUDIO.COM

**STRUCTURAL ENGINEER:** ENVISION ENGINEERING  
ALEX BARAJAS  
ENVISIONSANDIEGO@SBCGLOBAL.NET

**CIVIL ENGINEER:**

**MEP ENGINEER:** PROENGINEERING  
RAMIN PARASI  
RAMIN@PROENGC.COM

**DRY UTILITIES:**

## PROJECT DATA

### PROJECT ADDRESS

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

### ASSESSOR'S PARCEL NUMBER

445-271-23-00

### ZONING

RM-2-5

### LOT SIZE

6,966 SF

### HISTORIC DESIGNATION

NONE

### OVERLAY ZONES

Transit Priority Area (TPA)  
Parking Standards Transit Priority Area (PSTPA)  
Transit Area Overlay Zona (TAOZ)  
Affordable Housing Parking Demand (Yes: Medium)  
San Diego Unified School District  
North Park Community Plan  
Complete Communities Housing Solutions (CCHS) FAR Tier 2: 8.0 FAR  
Complete Communities Mobility Choices (CCMC) Mobility Zone 2  
Residential Tandem Parking Overlay Zone (RTPOZ)  
San Diego International Airport Influence Area (AIA) –Yes, San Diego  
International Airport. Review Area 2

### GOVERNING CODES

2019 CALIFORNIA ADMINISTRATIVE CODE  
2019 CALIFORNIA BUILDING CODE VOLUME 1  
2019 CALIFORNIA BUILDING CODE VOLUME 2  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO REFERRED TO AS CALGREEN)  
2019 CALIFORNIA REFERENCED STANDARDS CODE (HTML)

## DEVELOPMENT INFORMATION

THE PROPOSED DEVELOPMENT IS TO BE SUBMITTED PER THE DEVELOPMENT REGULATIONS OF THE CITY OF SAN DIEGO'S COMPLETE COMMUNITIES PLAN. AFFORDABLE UNITS TO BE ALLOCATED PER STIPULATED RATIO(S).

COMPLETE COMMUNITIES: TIER 2 = 8.0  
MAX AREA ALLOWED: 6,966SF X 8.0 = 55,968SF

## BUILDING DATA

### CONSTRUCTION TYPE

TYPE 1-B

### HEIGHT LIMIT

70'-6-9/16" TO HIGHEST OCCUPABLE FLOOR  
91'-6-1/4" TO TOP OF STRUCTURE

### NUMBER OF STORIES

PROPOSED: 8

### CIRCULATION

NUMBER OF STAIRS: 2 INTERIOR STAIRS  
NUMBER OF ELEVATORS: 2 ELEVATORS

### GROSS FLOOR AREA

PROPOSED: 53,000 SF

### OCCUPANCY

S-2 - PARKING  
R-2 - RESIDENTIAL

### PARKING

REQUIRED SPACES: 0  
PROPOSED SPACES: 19 STANDARD SPACES  
+9 PLATFORM LIFT SPACES

### FLOOR AREA RATIO (FAR)

COMPLETE COMMUNITIES: TIER 2 = 8.0  
MAX AREA ALLOWED: 6,966SF X 8.0 = 55,968SF

### FIRE SPRINKLERS

YES

FIRE SPRINKLERS: NFPA-13  
FIRE ALARM SYSTEM NFPA-72  
STANDPIPE: NFPA-14

## LEGAL DESCRIPTION

LOTS NUMBERED 36 AND 37 IN BLOCK NUMBERED 96 OF UNIVERSITY HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF WHICH SAID MAP IS DULY RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, IN BOOK 8 OF LIS PENDENS, AT PAGE 36, ET. SEQ. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THE PROPOSED IS A PRIVATE HOUSING PROJECT AND IS PRIVATELY FUNDED.

## DEFERRED SUBMITTALS

1. AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13
2. FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA-72, CBC 907.1, 907.2.9 SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE IN ACCORDANCE WITH CBC 907.2.11
3. STANDPIPE SYSTEM IN ACCORDANCE WITH NFPA-14
4. EMERGENCY RESPONDER RADIO COVERAGE

I/WE UNDERSTAND THAT I/WE WILL NOT BE AUTHORIZED ANY INSPECTION OF THE DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS

# CLEVELAND ST. APARTMENTS



## SCOPE OF WORK

BUILDING, ELECTRICAL, MECHANICAL AND PLUMBING PERMITS FOR A NEW 8 STORY RESIDENTIAL BUILDING.

7-STORY RESIDENTIAL (49UNITS) AS PRIVATE HOUSING OVER 1-STORY GARAGE AND 1 SUBTERRANEAN GARAGE

SOURCE OF FUNDING FOR CONSTRUCTION OF PROPOSED HOUSING PROJECT IS PRIVATELY FUNDED.

## EXPRESS PLAN CHECK

THIS PROJECT IS ELECTING TO PARTICIPATE IN THE EXPRESS PLAN CHECK.

## VICINITY MAP



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JPONCE@JSPDESIGNSTUDIO.COM

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## CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description

Project Number jpci01

Date 05/30/2022

Scale As indicated

COVER

# G001

# LEGENDS

## ABBREVIATIONS

ADJ	ADJACENT	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
ALUM	ALUMINUM	MFR	MANUFACTURER
ALT	ALTERNATE	MICRO	MICROWAVE
ARCH	ARCHITECTURAL	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
		MTL	METAL
		MULL	MULLION
BDLG	BUILDING		
BLKG	BLOCKING	N	NORTH
BTVN	BETWEEN	NA	NOT APPLICABLE
		NO	NUMBER
CBC	CALIFORNIA BUILDING CODE	NOM	NOMINAL
CIP	CAST-IN-PLACE CONCRETE	NTS	NOT TO SCALE
C.J.	CONTROL JOINT		
CLG	CEILING		
CLR	CLEAR	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS	OH	OVERHEAD
CTR	CENTER	ORD	OVERFLOW ROOF DRAIN
		PCF	POUNDS PER CUBIC FOOT
DEMO	DEMOLITION	PERF	PERFORATED
DF	DOUGLAS FIR	PLAS	PLASTER
DIA	DIAMETER	PLF	POUNDS PER LINEAR FOOT
DIM	DIMENSION	PLY	PLYWOOD
D.L	DEAD LOAD	PNL	PANEL
DL	DOWN	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
(E)	EAST	PT	PRESSURE TREATED
(E)	EXISTING	PVC	POLYVINYL CHLORIDE
EA	EACH	PVMT	PAVEMENT
EB	EXPANSION BOLT		
EJ	EXPANSION JOINT	R	RISER
ELE	ELECTRICAL	RA	RETURN AIR
ELEV	ELEVATION	RD	ROOF DRAIN
EOS	EDGE OF SLAB	RAD	RADIUS
EQ	EQUAL	REF	REFERENCE
EQUIP	EQUIPMENT	REFR	REFRIGERATOR
EXH	EXHAUST	REQ'D	REQUIRED
EXT	EXTERIOR	REV	REVISION
		RM	ROOM
FAU	FORCED AIR UNIT	RO	ROUGH OPENING
FCU	FAN COIL UNIT		
FD	FLOOR DRAIN	S	SOUTH
FN	FOUNDATION	SC	SOLID CORE
FE	FIRE EXTINGUISHER	SCHED	SCHEDULE
FF	FINISH FLOOR	SECT	SECTION
FFE	FINISH FLOOR ELEVATION	SF	SQUARE FOOT
FFL	FINISH FLOOR LINE	SHWR	SHOWER
FLR	FLOOR	SHT	SHEET
FLUOR	FLUORESCENT	SIM	SIMILAR
FOC	FACE OF CONCRETE	SPECS	SPECIFICATIONS
FOS	FACE OF STUD	SS	STAINLESS STEEL
FP	FIREPLACE	STD	STANDARD
FRMG	FRAMING	STL	STEEL
FT	FEET	STOR	STORAGE
FTG	FOOTING	STRUCT	STRUCTURAL
FUT	FUTURE		
		T	TREAD
G	GAS	TEL	TELEPHONE
GA	GAUGE	THR	THRESHOLD
GAL	GALLON	TOC	TOP OF CONCRETE
GALV	GALVANIZED	THK	THICKNESS
GC	GENERAL CONTRACTOR	TOB	TOP OF BEAM
GEN	GENERAL	TOT	TOP OF SLAB
GFI	GROUND FAULT INTERRUPTER	TOW	TOP OF WALL
GL	GLASS	TV	TELEVISION
GPM	GALLON PER MINUTE	TYP	TYPICAL
GYP BD	GYP SUM BOARD		
		UBC	UNIVERSAL BUILDING CODE
HDR	HEADER	UON	UNLESS OTHERWISE NOTED
HGR	HANGER		
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITION TILE
HP	HIGH PRESSURE	VIF	VERIFY IN FIELD
HT	HEIGHT	VNR	VENER
HTG	HEATING		
HVAC	HEATING/VENTILATION/AIR CONDITIONING	W	WEST
HW	HOT WATER	WC	WATER CLOSET
HYD	HYDRANT	WD	WOOD
		W/D	WASHER/DRYER
ID	INSIDE DIAMETER	W/O	WITHOUT
INCL	INCLUDED/INCLUDING	WP	WATERPROOF
INSUL	INSULATION	WT	WEIGHT
INT	INTERIOR		
LAV	LAVATORY		
LF	LINEAR FOOT		
LL	LIVE LOAD		
LL	LIGHTWEIGHT		

## DRAWING SYMBOL

<b>LEGEND</b>	BUILDING SECTION NUMBER	LEVEL TAGS	ELEVATION
BL (PLAN)			
BUILDING SECTION (ELEVATION)		DRAWING TITLE	NAME
ELEVATIONS			
WALL SECTION		SCALE	ELEVATION
DETAIL CALLOUT			
DETAIL CUT (PLAN/SECTION)		NORTH ARROWS	
RELATED DETAIL CUT BELOW OR ABOVE			
ROOM NAME WITH FLOOR FINISH		ACTUAL WORKING	
DOOR TAG		REVISION TAG	
WINDOW TAG			
		EXISTING WALL	
		DEMOLISHED WALL	
		PROPOSED WALL	
		PROPERTY LINE	
		SETBACK LINE	
		ARROW INDICATED SITE DRAINAGE PATTERN	
		GRID LINE	
		PROPOSED ADDITION	

# BUILDING NOTES

## GENERAL NOTES

- The specifications, included herewith are an integral part of these contract documents and all conditions mentioned in either shall be executed as though specifically mentioned in both.
- These plans and all new work shall comply with the California Building Standards Code found in the State of California - Title 24 CCR as amended and adopted by the City of San Diego.
- Requirements of codes and regulations shall be considered as minimum. Where contract documents exceed w/o violating code and regulation requirements, contract documents shall take precedence where codes conflict, the more stringent shall apply.
- Contractors/subcontractors shall field verify all locations dimensions and conditions of walls, doors, plumbing and mechanical.
- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33, Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.
- Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1.
- Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 501.2.
- A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.
- Joints and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. (Section 4.406.1)
- Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content.
- The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with Type X Gypsum Board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- All electronically signed and registered certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of occupancy will not be issued until forms CF2R is reviewed and approved.
- An electronically signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of occupancy will not be issued until CF3R is reviews and approved.
- The structure will be located entirely on native/undisturbed soil.

## GREEN BUILDING CODE

### NOTES

- Carpet and carpet systems shall be compliant with VOC limits. (Section 4.504.3) A letter from the contractor subcontractor and or the building owner certifying what material used complies with the California Green Building Code.
- 80% of the floor area receiving resilient flooring shall comply with one or more of the following:
  - VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
  - Products compliant with CHPS criteria certified under the Greenguard Children & School program.
  - Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
  - Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)
- Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxic Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CALGREEN.
- A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
- Duct openings and other related air distribution component openings shall be covered during construction. (Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Section 4.504.2.1)
- Paints, stains and other coatings shall be compliant with VOC limits set in section Section 4.504.2.2 and Table 4.504.3 of CalGreen.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
  - Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
  - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor.
- All plumbing fixtures and fittings will be water conserving and will comply with the 2016 CGBSC Sec. 4.303.1. Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM). Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM). Provide water closet with a maximum flow of 1.28 gallons per flush (GPF).
- Per 2016 CGBSC Sec 4.303.1.3.2, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 PSI, or the shower shall be designed to allow one shower outlet to be in operation at a time. Handheld showers are considered showerheads.
- Per 2016 CGBSC Sec. 4.303.2, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC.
- Permanent vacuum breakers shall be included with all new hose bibs.
- Per 2016 Green Code Sec. 4.503.1 any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. Cold water connection only.
- Per 2016 Green Code Sec 4.506.1 mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
  - Fans shall be Energy Star compliant and be ducted to terminate outside the building.
  - Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Provide shower heads with a maximum flow of 2.0 gallons per minute (GPM).
- All new residential buildings (Single Family, Duplexes or Townhomes) shall be constructed to include waste piping to discharge grey water from clothes washers to a place where it may be used for outdoor irrigation, in compliance with Section 1602 of the California Plumbing Code.

## STORM WATER REQUIREMENTS

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## CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
JSP Project Number		jpcl01
AHJ Project Number		000000
Date	05/30/2022	
Scale	1/2" = 1'-0"	

## GENERAL NOTES + LEGENDS

**G002**

FAA DETERMINATION LETTER

MUNICIPAL CODE ANALYSIS

ZONING APPLICABLE USES	REQUIREMENT	CALCULATION/REFERENCE DIAGRAM	MUNICIPAL CODE SECTION
	RM-3-9 MULTIPLE DWELLING UNITS	NOT APPLICABLE NOT APPLICABLE	SDMC 131.0507 SDMC 131.0522 TABLE 131-05B

BUILDING AREA FOR SCHOOL FEES



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4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

MUNICIPAL CODE ANALYSIS

G003

2039 O AVE NATIONAL CITY, CA 91950  
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## CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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JSP Project Number	jpcl01
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AHJ Project Number	000000
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Date	05/30/2022
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Scale	
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BUILDING CODE  
ANALYSIS

# G004

# MINIMUM REQUIRED FIRE SEPARATION

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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LEGEND	
2 HOUR	-----
1 HOUR	.....

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### MIXED-OCCUPANCY, MULTISTORY BLDG. CALC.

**CBC 506.2.4 EQUATION 5.3**

ALLOWABLE AREA =  $A_a = (A_t + (NS \times I_f))$

PER TABLE 506.2 AND PER CONSTRUCTION TYPE 1B, ALLOWABLE AREA = UNLIMITED

No.	Date	Description
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JSP Project Number      jpcl01

AHJ Project Number      000000

Date      05/30/2022

Scale

### FIRE SEPARATION DETAILS

# G005



2039 O AVE NATIONAL CITY, CA 91950  
JPONCE@JSPDESIGNSTUDIO.COM

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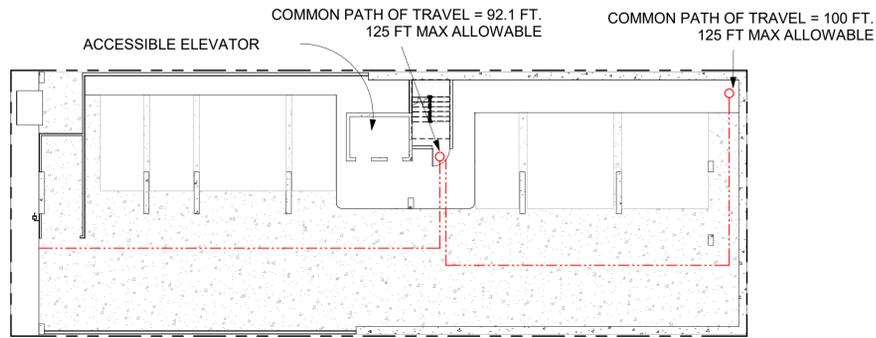
No.	Date	Description
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JSP Project Number	jpc101
AHJ Project Number	000000
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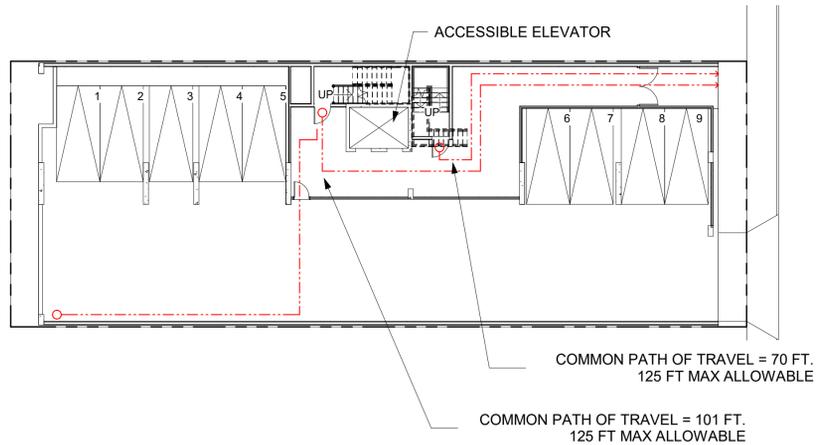
OPENING  
PROTECTION  
DIAGRAM

G006

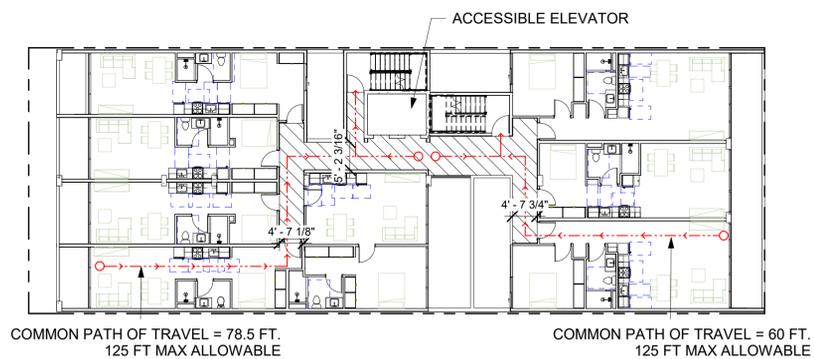
## LEVEL 0 EGRESS PLAN



## LEVEL 1 EGRESS PLAN



## LEVELS 2 EGRESS PLAN



## MEANS OF EGRESS SYSTEM DETAILS

THE MEANS OF EGRESS SYSTEM CONSISTS OF: SINGLE EXIT FROM INDIVIDUAL DWELLING UNITS LEADING TO A CORRIDOR, THEN TO TWO INTERIOR EXIT STAIRWAYS, WHICH LEAD TO EITHER AN EXIT PASSAGEWAY AND EXIT DISCHARGE (STAIR 1) OR DIRECTLY TO AN EXIT DISCHARGE (STAIR 2).

### 1004 OCCUPANT LOAD (SEE CALC. FOR DETAILS)

FLOOR ZERO	= 25 OCCUPANTS
FIRST FLOOR	= 23 OCCUPANTS
SECOND FLOOR	= 26 OCCUPANTS
THIRD FLOOR	= 26 OCCUPANTS
FOURTH FLOOR	= 26 OCCUPANTS
FIFTH FLOOR	= 26 OCCUPANTS
SIXTH FLOOR	= 26 OCCUPANTS
SEVENTH FLOOR	= 26 OCCUPANTS
EIGHT FLOOR	= 25 OCCUPANTS

### 1005 MEANS OF EGRESS SIZING

1005.3.1 STAIRWAYS = 26 OCCUPANTS X .3 IN PER OCCUPANT = 7.8 = 8  
REFER TO 1009 FOR MIN SIZING OF COMPONENTS

### 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS

#### RESIDENTIAL UNITS

1006.2.1 IN GROUP R-2 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 (3 OCCUPANT MAX PROVIDED < 10 MAX) WHERE THE DWELLING UNIT IS EQUIPPED THROUGH-OUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET (73.5' MAX PROVIDED < 125' MAX)

### MINIMUM NUMBER OF EXITS PER STORY

PER TABLE 1006.3.1 THE MINIMUM NUMBER OF EXITS STORIES PER FOR AN OCCUPANT LOAD OF 26 IS 2.

### 1007 EXIT AND EXIT ACCESS DOORWAY CONFIGURATION

PER 1007.1.1 EXCEPTION 2 WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE SHALL BE NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED. 142' - 3" DIAGONAL BLDG PROVIDED \* .33 = 47' - 4"; SEPARATION DISTANCE (48' - 3" PROVIDED).

### 1008 MEANS OF EGRESS ILLUMINATION

SEE ELECTRICAL DRAWINGS

### 1011 STAIRWAYS

1 PER 1011.2 EXCEPTION 1 STAIRWAY SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES. (36" PROVIDED = 36" MIN REQ)

## MEANS OF EGRESS SYSTEM DETAILS

FLOOR ZERO (25 TOTAL)	UNIT 101 (B OCCUPANCY)	= 4,848 SF. / 200 GROSS = 24.24 OR 25
FIRST FLOOR (23 TOTAL)	PARKING (B OCCUPANCY)	= 4493 SF. / 200 GROSS = 22.47 OR 23
SECOND FLOOR (26 TOTAL)	UNIT 201	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 202	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 203	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 204	594 SF / 200 GROSS = 2.97 OR 3
	UNIT 205	465 SF / 200 GROSS = 2.33 OR 3
	UNIT 206	414 SF / 200 GROSS = 2.07 OR 3
	UNIT 207	414 SF / 200 GROSS = 2.07 OR 3
	UNIT 208	411 SF / 200 GROSS = 2.06 OR 3
THIRD FLOOR (26 TOTAL)	UNIT 301	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 302	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 303	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 304	594 SF / 200 GROSS = 2.97 OR 3
	UNIT 305	465 SF / 200 GROSS = 2.33 OR 3
	UNIT 306	414 SF / 200 GROSS = 2.07 OR 3
	UNIT 307	414 SF / 200 GROSS = 2.07 OR 3
	UNIT 308	411 SF / 200 GROSS = 2.06 OR 3
FOURTH FLOOR (26 TOTAL)	UNIT 401	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 402	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 403	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 404	594 SF / 200 GROSS = 2.97 OR 3
	UNIT 405	465 SF / 200 GROSS = 2.33 OR 3
	UNIT 406	414 SF / 200 GROSS = 2.07 OR 3
	UNIT 407	414 SF / 200 GROSS = 2.07 OR 3
	UNIT 408	411 SF / 200 GROSS = 2.06 OR 3
FIFTH FLOOR (26 TOTAL)	UNIT 501	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 502	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 503	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 504	601 SF / 200 GROSS = 3.01 OR 4
	UNIT 505	621 SF / 200 GROSS = 3.11 OR 4
	UNIT 506	549 SF / 200 GROSS = 2.75 OR 3
	UNIT 507	621 SF / 200 GROSS = 3.11 OR 4
SIXTH FLOOR (26 TOTAL)	UNIT 601	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 602	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 603	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 604	601 SF / 200 GROSS = 3.01 OR 4
	UNIT 605	621 SF / 200 GROSS = 3.11 OR 4
	UNIT 606	549 SF / 200 GROSS = 2.75 OR 3
	UNIT 607	621 SF / 200 GROSS = 3.11 OR 4
SEVENTH FLOOR (26 TOTAL)	UNIT 701	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 702	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 703	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 704	601 SF / 200 GROSS = 3.01 OR 4
	UNIT 705	621 SF / 200 GROSS = 3.11 OR 4
	UNIT 706	549 SF / 200 GROSS = 2.75 OR 3
	UNIT 707	659 SF / 200 GROSS = 3.11 OR 4
EIGHT FLOOR (25 TOTAL)	UNIT 801	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 802	498 SF / 200 GROSS = 2.49 OR 3
	UNIT 803	648 SF / 200 GROSS = 3.24 OR 4
	UNIT 804	601 SF / 200 GROSS = 3.01 OR 4
	ICA	1979 SF / 200 GROSS = 9.90 OR 10

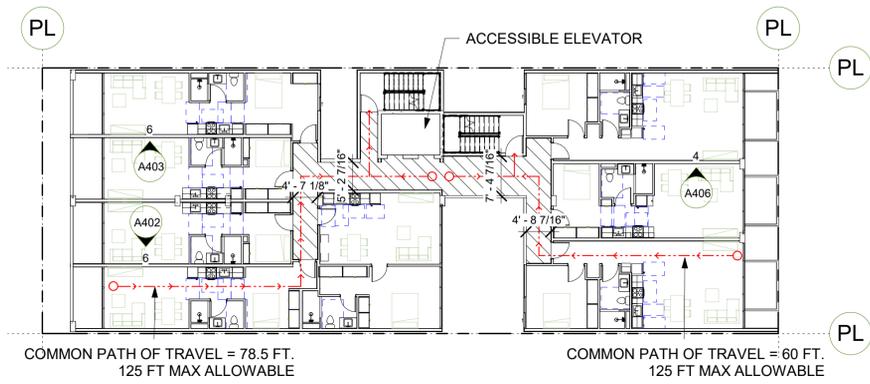
No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpc101
AHJ Project Number	000000
Date	05/30/2022
Scale	1/16" = 1'-0"

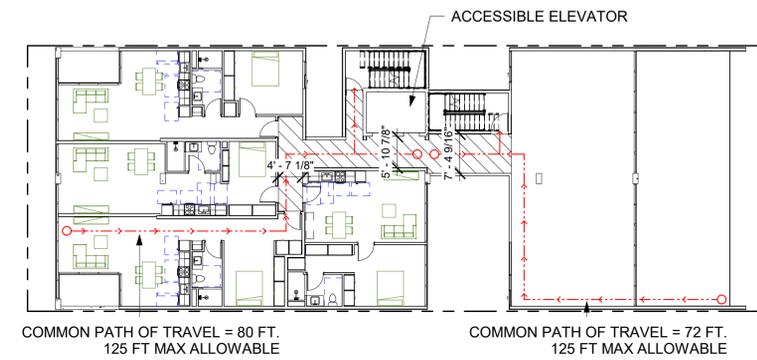
## MEANS OF EGRESS

**G007**

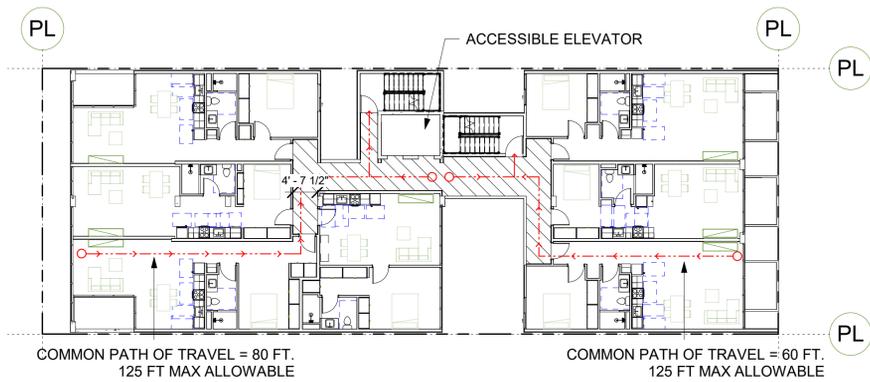
LEVEL 3-4 EGRESS PLAN



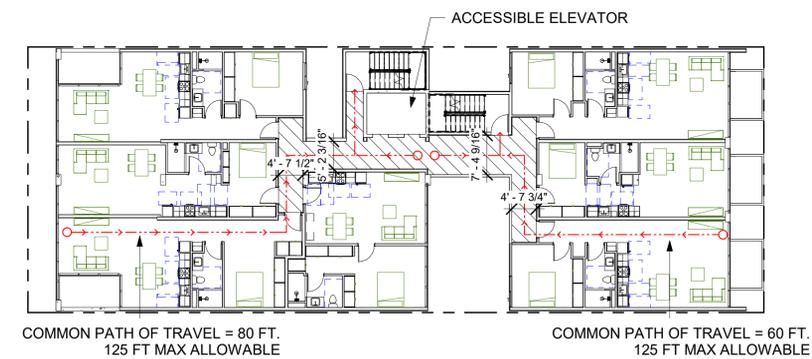
LEVEL 8 EGRESS PLAN



LEVEL 5-6 EGRESS PLAN



LEVELS 7 EGRESS PLAN



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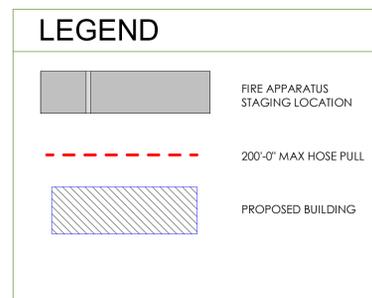
No.	Date	Description
JSP Project Number		jpcl01
AHJ Project Number		000000
Date		05/30/2022
Scale		1/16" = 1'-0"

MEANS OF EGRESS

C:\Shared drives\4350 Cleveland\Revit Model\4350 Cleveland Design JP.rvt

## FIRE ACCESS PLAN NOTES

- CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC/CBC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THESE CODES.
- BUILDING ADDRESS NUMBER(S) LOCATION(S) SHALL BE VISIBLE AND LEGIBLE FROM THE STREET/ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACES SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3
- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4
- AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S). SEE FPB POLICY A-14-1.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. CFC 912.2.1
- ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
- ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
- ALL RED CURB/NO PARKING SIGN AREAS HAVE BEEN SHOWN WITH A KEY INDICATOR. ALL REQUIRED ACCESS ROADWAYS SHALL NOT PROVIDE LESS THAN THE REQUIRED/APPROVED WIDTH AND/OR BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE INADEQUATE WIDTH HAS NOT PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEN SUCH ACCESS SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.
- THE LOCATION(S) OF AN APPROVED "KNOX" KEY BOX ARE SHOWN ON THE FAP AND FOLLOW THE SAN DIEGO FIRE DEPARTMENT FPB POLICY K-15-2
- AN APPROVED VEHICLE STROBE DETECTOR SYSTEM AND/OR KNOX KEYSWITCH OVERRIDE SHALL BE PROVIDED FOR ALL VEHICLE ENTRY AND/OR EMERGENCY VEHICLE ENTRY POINTS TO THE PROJECT SITE; LOCATIONS TO BE APPROVED BY FIRE ACCESS REVIEWER. CFC SECTION 506
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. CFC SEC. 906
- STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A10BC) AS FOLLOWS:
  - AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
  - IN EVERY STORAGE AND CONSTRUCTION SHED.
  - ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS. CFC 3315
- PROVIDE STAIRWAY IDENTIFICATION SIGNS PER CFC 1023.9-1023.9.1
- CFC 504.3 - NEW BUILDINGS FOUR OR MORE STORIES ABOVE GRADE PLANE EXCEPT THOSE WITH A ROOF SLOPE GREATER THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL SHALL BE PROVIDED WITH A STAIRWAY TO THE ROOF IN ACCORDANCE WITH 1011.12. SUCH A STAIRWAY SHALL BE MARKED AT STREET AND FLOOR LEVELS WITH A SIGN INDICATING THAT THE STAIRWAY CONTINUES TO THE ROOF.
- EXTERIOR DOORS AND OPENINGS REQUIRED BY CFC/CBC SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL. CFC SEC. 504
- A CLASS I (OR I AND II OR III) STANDPIPE OUTLET CONNECTION IS REQUIRED IN OCC. OF OR MORE STORIES AT EVERY FLOOR-LEVEL CONNECTION OF EVERY REQUIRED STAIRWAY ABOVE OR BELOW GRADE. OUTLETS AT STAIRWAYS SHALL BE LOCATED WITHIN AN EXIT ENCLOSURE OR, IN THE CASE OF PRESSURIZED ENCLOSURES, WITHIN THE VESTIBULE OR EXTERIOR BALCONY, GIVING ACCESS TO THE STAIRWAY. THERE SHALL BE AT LEAST 1 OUTLET ABOVE THE ROOF LINE WHEN THE ROOF HAS A SLOPE OF LESS THAN 4/12 UNITS HORIZONTAL. IN BUILDINGS WHERE MORE THAN 1 STANDPIPE IS PROVIDED, THE STANDPIPES SHALL BE INTERCONNECTED. CFC 905.
- EVERY BUILDING FOUR STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STANDPIPE FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 3313.1. STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. CFC 3313.1.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- DECORATIVE MATERIALS SHALL BE PROVIDED AND/OR MAINTAINED IN A FLAME-RETARDANT CONDITION. CFC SEC. 804
- ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
- FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.



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Date	05/30/2022	
Scale		As indicated

## FIRE ACCESS PLAN

**G008**

2039 O AVE NATIONAL CITY, CA 91950  
JPONCE@JSPDESIGNSTUDIO.COM

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Scale	
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### ACCESSIBILITY DETAILS

# G009





2019 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

Table with 4 columns: Y, N/A, RESPON. PARTY, and content area for CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL.

Table with 4 columns: Y, N/A, RESPON. PARTY, and content area for 5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND.

Table with 4 columns: Y, N/A, RESPON. PARTY, and content area for 5.106.4 BICYCLE PARKING and 5.106.5.3.3 TABLE 5.106.5.3.3.

Table with 4 columns: Y, N/A, RESPON. PARTY, and content area for 5.106.12 SHADE TREES [DSA-SS], 5.106.12.1 Surface parking areas, and 5.106.12.2 Landscape areas.

Table with 4 columns: Y, N/A, RESPON. PARTY, and content area for 5.106.12.3 Hardscape areas and 5.106.12.4 Landscaping areas.

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Table with 3 columns: No., Date, Description. Includes JSP Project Number jpc01 and AHJ Project Number 000000.

CAL GREEN NOTES

G012



# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

## NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	

**5.504.4 FINISH MATERIAL POLLUTANT CONTROL.** Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

**5.504.4.1 Adhesives, sealants and caulks.** Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCQMMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with Section 94507.

Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
<b>SPECIALTY APPLICATIONS</b>	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
<b>SUBSTRATE SPECIFIC APPLICATIONS</b>	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, [www.arb.ca.gov/DRDB/SC/CURHTMLR1168.PDF](http://www.arb.ca.gov/DRDB/SC/CURHTMLR1168.PDF).

Less Water and Less Exempt Compounds in Grams per Liter	
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
<b>SEALANT PRIMERS</b>	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

**5.504.4.3 Paints and coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

**5.504.4.3.1 Aerosol Paints and coatings.** Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
<b>SPECIALTY COATINGS</b>	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS <sup>1</sup>	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
<b>SHELLACS:</b>	
CLEAR	730
OPAQUE	550
<b>SPECIALTY PRIMERS, SEALERS &amp; UNDERCOATERS</b>	
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2006. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

**5.504.4.3.2 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification
- Field verification of on-site product containers

**5.504.4.4 Carpet Systems.** All carpet installed in the building interior shall meet at least one of the testing and product requirements:

- Carpet and Rug Institute's Green Label Plus Program.
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350).
- NSF/ANSI 140 at the Gold level or higher.
- Scientific Certifications Systems Sustainable Choice; or
- Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria listed in the CHPS High Performance Product Database.

**5.504.4.4.1 Carpet cushion.** All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

**5.504.4.4.2 Carpet adhesive.** All carpet adhesive shall meet the requirements of Table 5.504.4.1.

**5.504.4.5 Composite wood products.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CFR 93120 et seq.). Those materials not exempt under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

**5.504.4.5.3 Documentation.** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see 17 CFR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 SS standards.
- Other methods acceptable to the enforcing agency.

Y	N/A	RESPON. PARTY
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MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD <sup>2</sup>	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93129.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

**5.504.4.6 Resilient flooring systems.** For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

- Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program;
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010;
- Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria and listed in the CHPS High Performance Product Database; or
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools Program).

**5.504.4.6.1 Verification of compliance.** Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

**5.504.5.3 Filters.** In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

**Exceptions:** Existing mechanical equipment.

**5.504.5.3.1 Labeling.** Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

**5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.** Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

**SECTION 5.505 INDOOR MOISTURE CONTROL**

**5.505.1 INDOOR MOISTURE CONTROL.** Buildings shall meet or exceed the provisions of California Building Code, CBC, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

**SECTION 5.506 INDOOR AIR QUALITY**

**5.506.1 OUTSIDE AIR DELIVERY.** For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the *California Energy Code*, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CBC, Title 8.

**5.506.2 CARBON DIOXIDE (CO<sub>2</sub>) MONITORING.** For buildings or additions equipped with demand control ventilation, CO<sub>2</sub> sensors and ventilation controls shall be specified and installed in accordance with the requirements of the *California Energy Code*, Section 120(c)(4).

**SECTION 5.507 ENVIRONMENTAL COMFORT**

**5.507.4 ACOUSTICAL CONTROL.** Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

**Exception:** Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

**Exception: [DSA-SS]** For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

**5.507.4.1 Exterior noise transmission, prescriptive method.** Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

- Within the 65 CNEL noise contour of an airport.
- Exceptions:**
- Le<sup>w</sup> or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICLZ) plans.
  - Le<sup>w</sup> or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.

- Within the 65 CNEL or Le<sup>w</sup> noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

**5.507.4.1.1 Noise exposure where noise contours are not readily available.** Buildings exposed to a noise level of 65 dB L<sub>eq</sub> - 1hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

**5.507.4.2 Performance Method.** For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1hr) of 50 dBA in occupied areas during any hour of operation.

**5.507.4.2.1 Site Features.** Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

**5.507.4.2.2 Documentation of Compliance.** An acoustical analysis documenting complying interior soundlevels shall be prepared by personnel approved by the architect or engineer of record.

**5.507.4.3 Interior sound transmission.** Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

**Note:** Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: [www.tootbase.org/PDF/CaseStudies/stc\\_jcc\\_ratings.pdf](http://www.tootbase.org/PDF/CaseStudies/stc_jcc_ratings.pdf).

**SECTION 5.508 OUTDOOR AIR QUALITY**

**5.508.1 Ozone depletion and greenhouse gas reductions.** Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

**5.508.1.1 Chlorofluorocarbons (CFCs).** Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.

**5.508.1.2 Halons.** Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

**5.508.2 Supermarket refrigerant leak reduction.** New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

**Exception:** Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonzone-depleting refrigerants that include ammonia, carbon dioxide (CO<sub>2</sub>), and potentially other refrigerants.

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**5.508.2.1 Refrigerant piping.** Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

**5.508.2.1.1 Threaded pipe.** Threaded connections are permitted at the compressor rack.

**5.508.2.1.2 Copper pipe.** Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

**5.508.2.1.2.1 Anchorage.** One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mills.

**5.508.2.1.3 Flared tubing connections.** Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

**Exception:** Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.

**5.508.2.1.4 Elbows.** Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.

**5.508.2.2 Valves.** Valves and fittings shall comply with the *California Mechanical Code* and as follows.

**5.508.2.2.1 Pressure relief valves.** For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

**5.508.2.2.1.1 Pressure detection.** A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

**5.508.2.2.2 Access valves.** Only Schrader access valves with a brass or steel body are permitted for use.

**5.508.2.2.2.1 Valve caps.** For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

**5.508.2.2.2.2 Seal caps.** If designed for it, the cap shall have a neoprene O-ring in place.

**5.508.2.2.2.1 Chain tethers.** Chain tethers to fit over the stem are required for valves designed to have seal caps.

**Exception:** Valves with seal caps that are not removed from the valve during stem operation.

**5.508.2.3 Refrigerated service cases.** Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel, or be coated to prevent corrosion from these substances.

**5.508.2.3.1 Coil coating.** Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency.

**5.508.2.4 Refrigerant receivers.** Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.

**5.508.2.5 Pressure testing.** The system shall be pressure tested during installation prior to evacuation and charging.

**5.508.2.5.1 Minimum pressure.** The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

**5.508.2.5.2 Leaks.** Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.

**5.508.2.5.3 Allowable pressure change.** The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

**5.508.2.6 Evacuation.** The system shall be evacuated after pressure testing and prior to charging.

**5.508.2.6.1 First vacuum.** Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes.

**5.508.2.6.2 Second vacuum.** Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes.

**5.508.2.6.3 Third vacuum.** Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

### CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

**702 QUALIFICATIONS**

**702.1 INSTALLER TRAINING.** HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Un-certified persons under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

**702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

**Notes:**

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

**[BSC-CG]** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

**Note:** Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

**703 VERIFICATIONS**

**703.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

## CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
JSP Project Number		jpcl01
AHJ Project Number		000000
Date	05/30/2022	
Scale		

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## CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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JSP Project Number	jpcl01
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AHJ Project Number	000000
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Date	05/30/2022
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Scale	
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LANDSCAPE AREAS

# L-01

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APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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JSP Project Number	jpcl01
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AHJ Project Number	000000
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Date	05/30/2022
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Scale	
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**LANDSCAPE NOTES /  
IRRIGATION PLAN**

**L-02**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

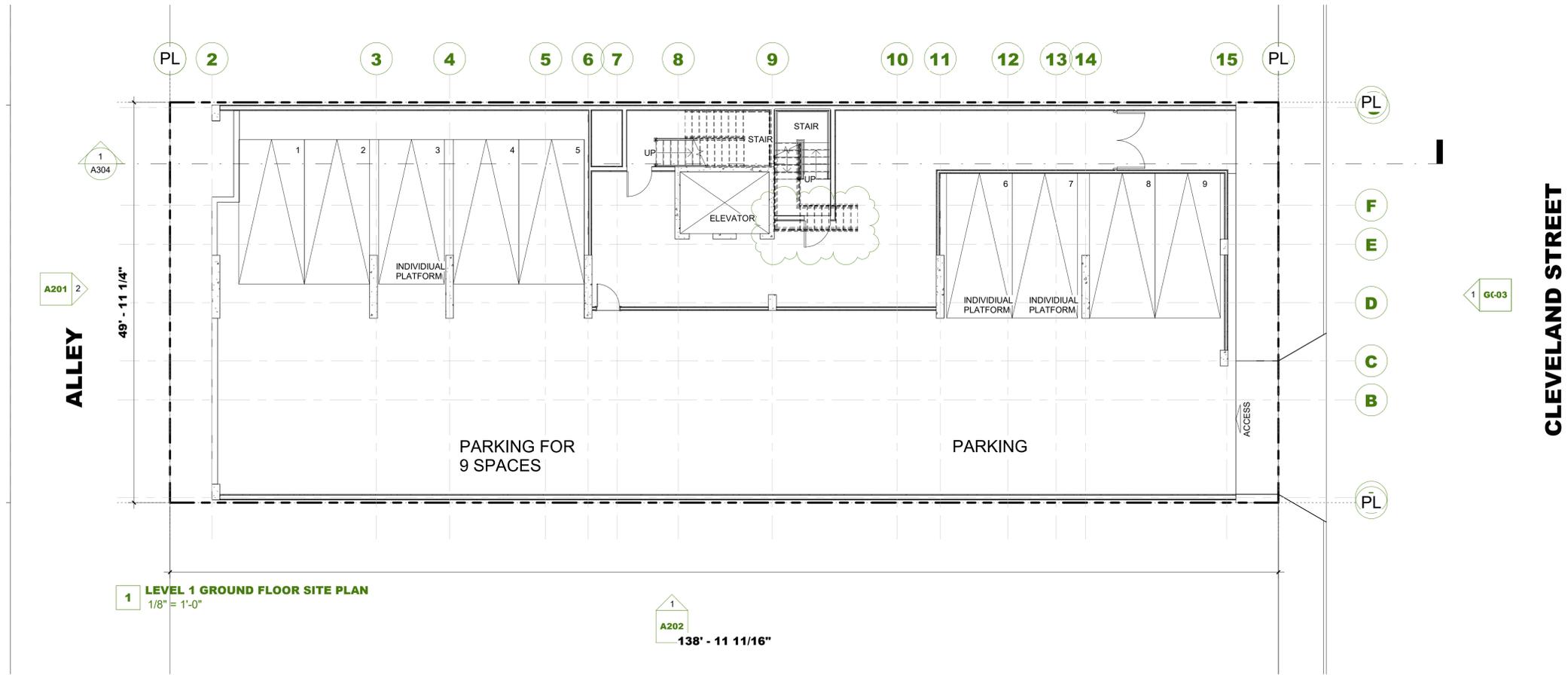
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

SITE PLAN

**A001**



**1 LEVEL 1 GROUND FLOOR SITE PLAN**  
1/8" = 1'-0"

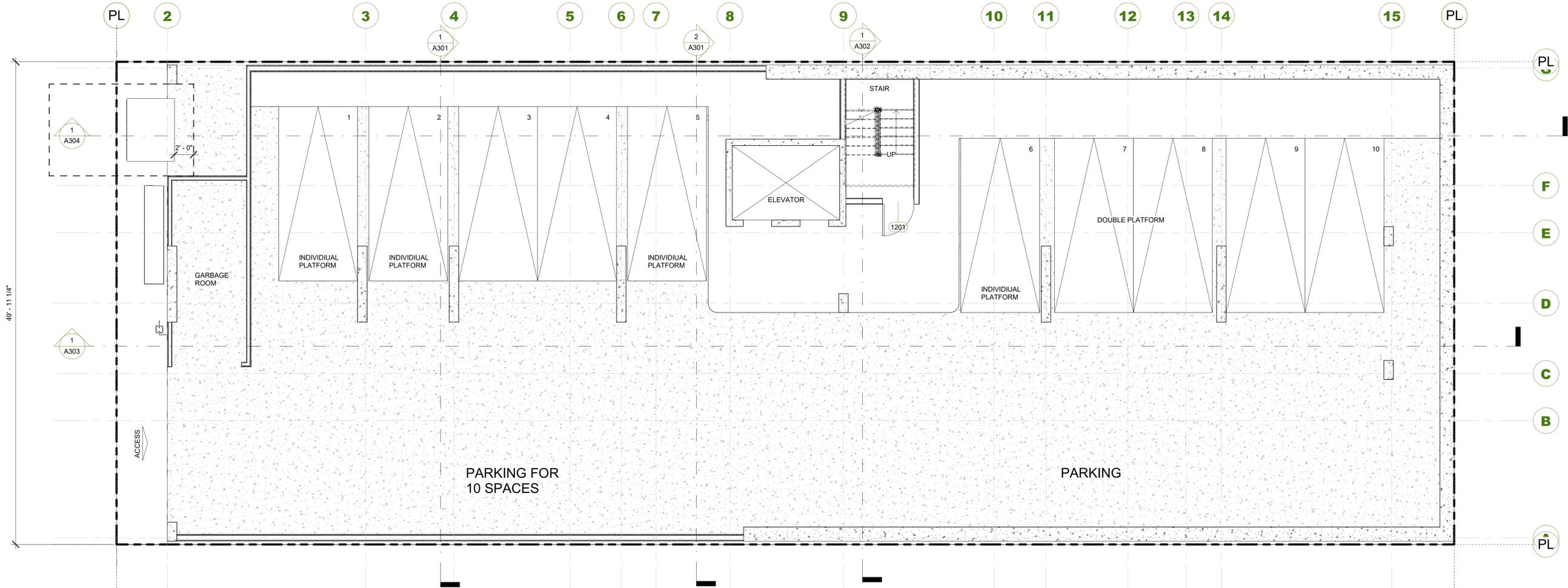
**1**  
A202  
138' - 11 11/16"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 LEVEL 0 GARAGE**  
3/16" = 1'-0"

No.	Date	Description

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**STREET LEVEL GARAGE**

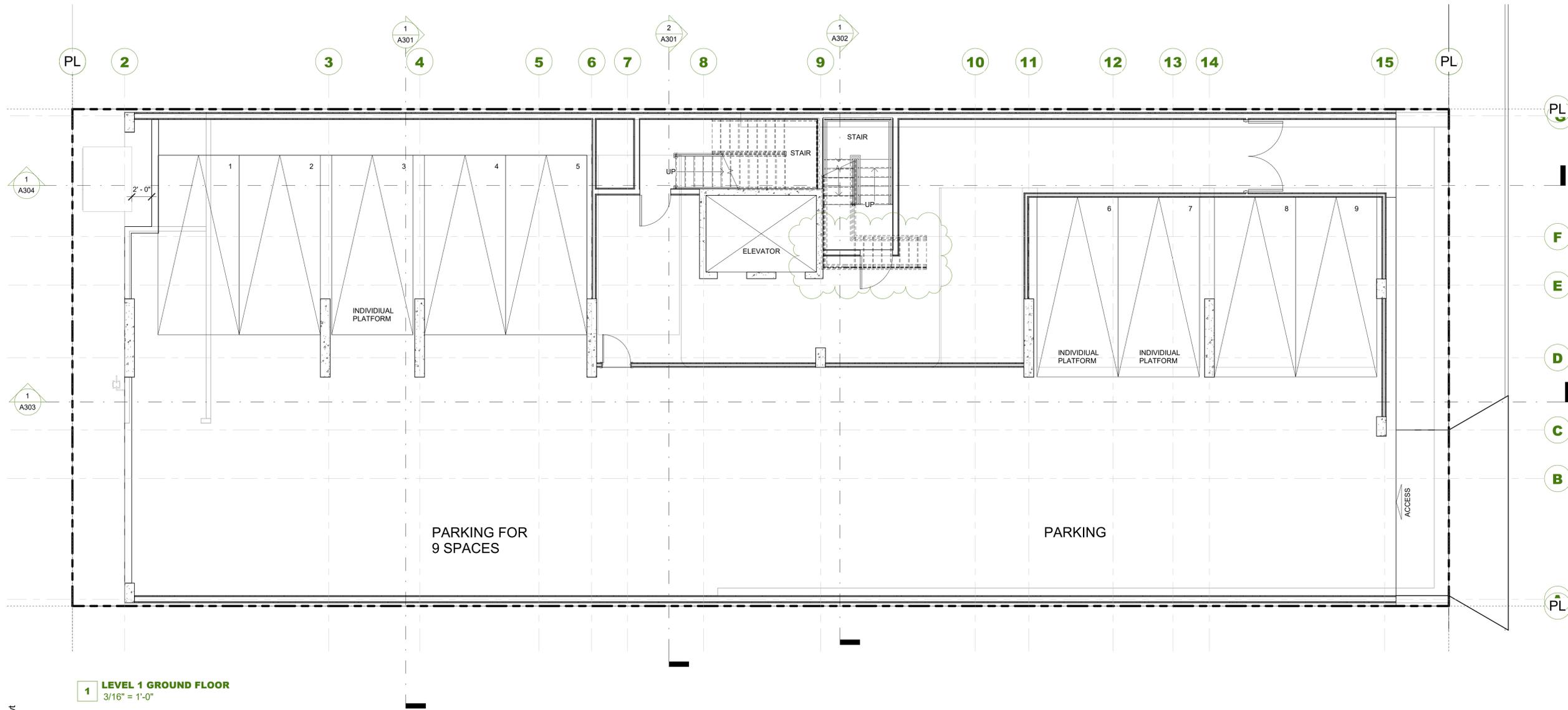
**A100**

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**CLEVELAND ST. APARTMENTS**

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SAN DIEGO, CA 92103



**1 LEVEL 1 GROUND FLOOR**  
3/16" = 1'-0"

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpc101
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**CLEVELAND STREET ENTRY**

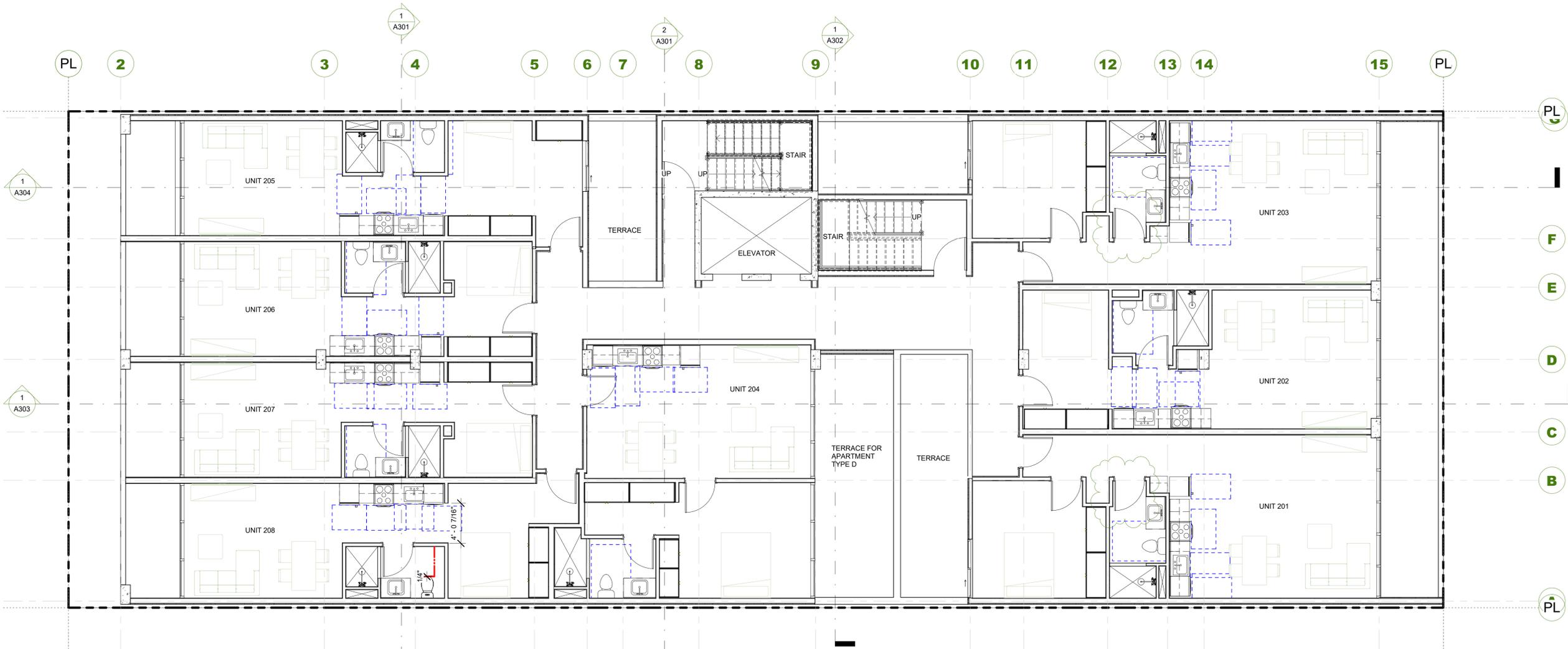
**A101**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 LEVEL 2 APARTMENTS**  
3/16" = 1'-0"

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**LEVEL 2 APARTMENTS**

**A102**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

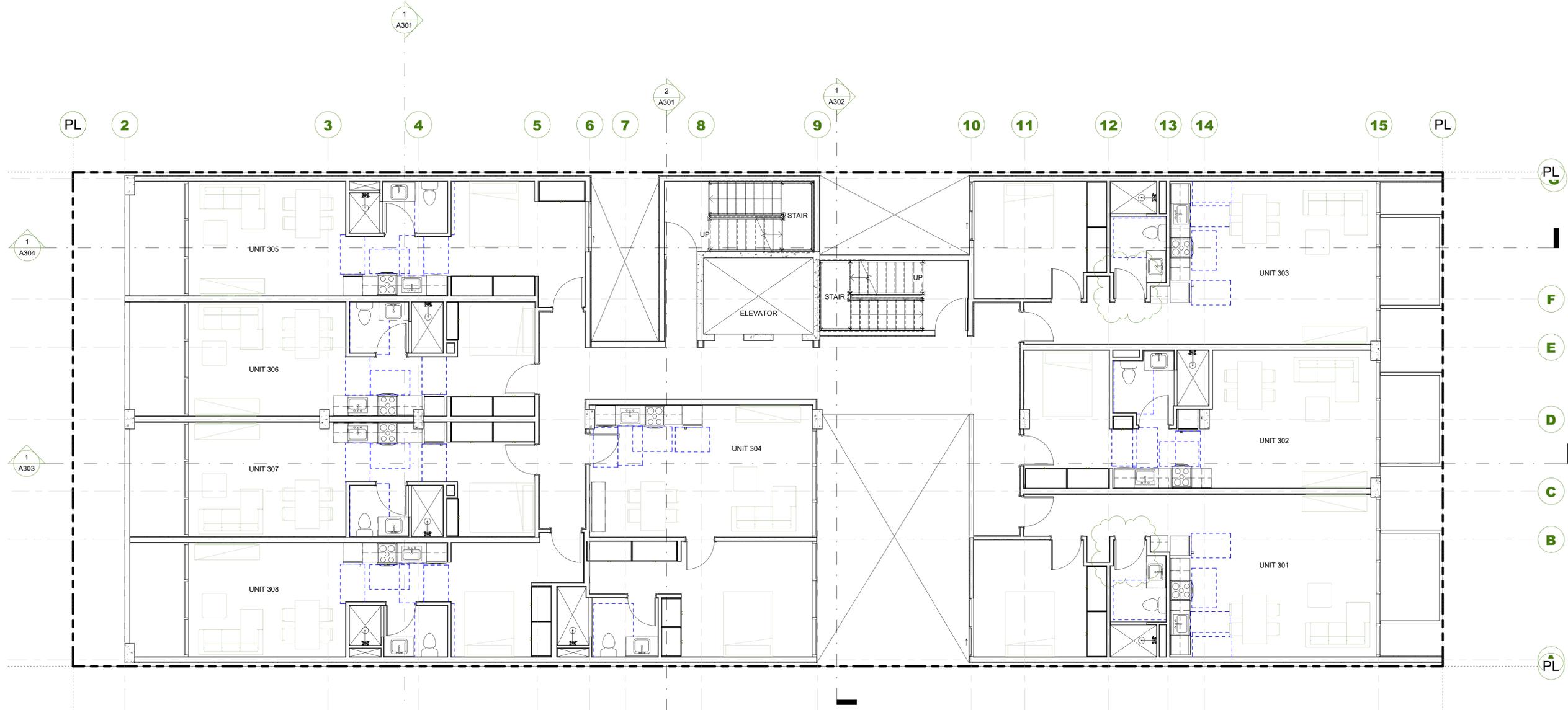
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**LEVEL 3 APARTMENTS**

**A103**



**1 LEVEL 3 APARTMENTS**  
3/16" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**LEVEL 4 APARTMENTS**

**A104**



**1 LEVEL 4 APARTMENTS**  
3/16" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

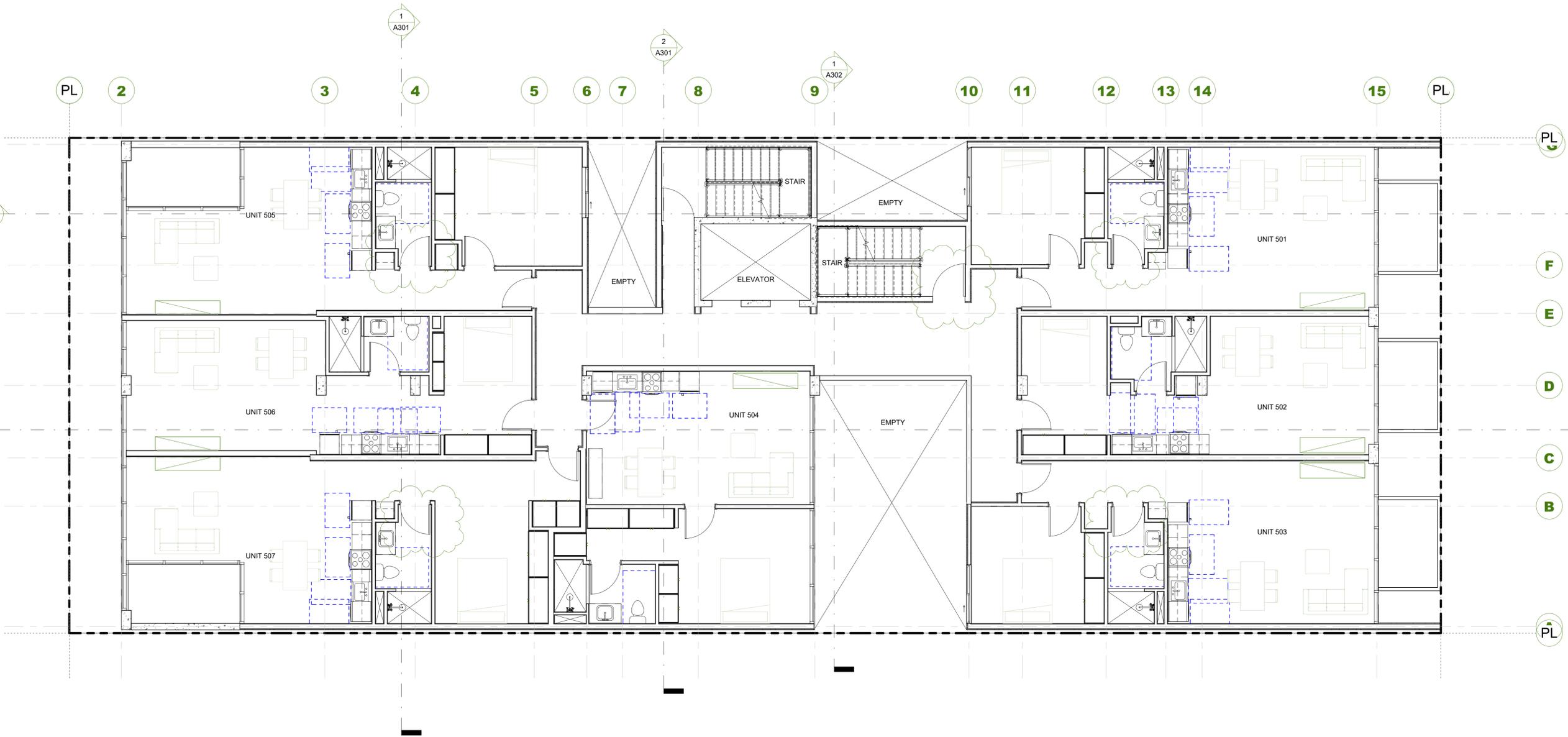
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**LEVEL 5 APARTMENTS**

**A105**



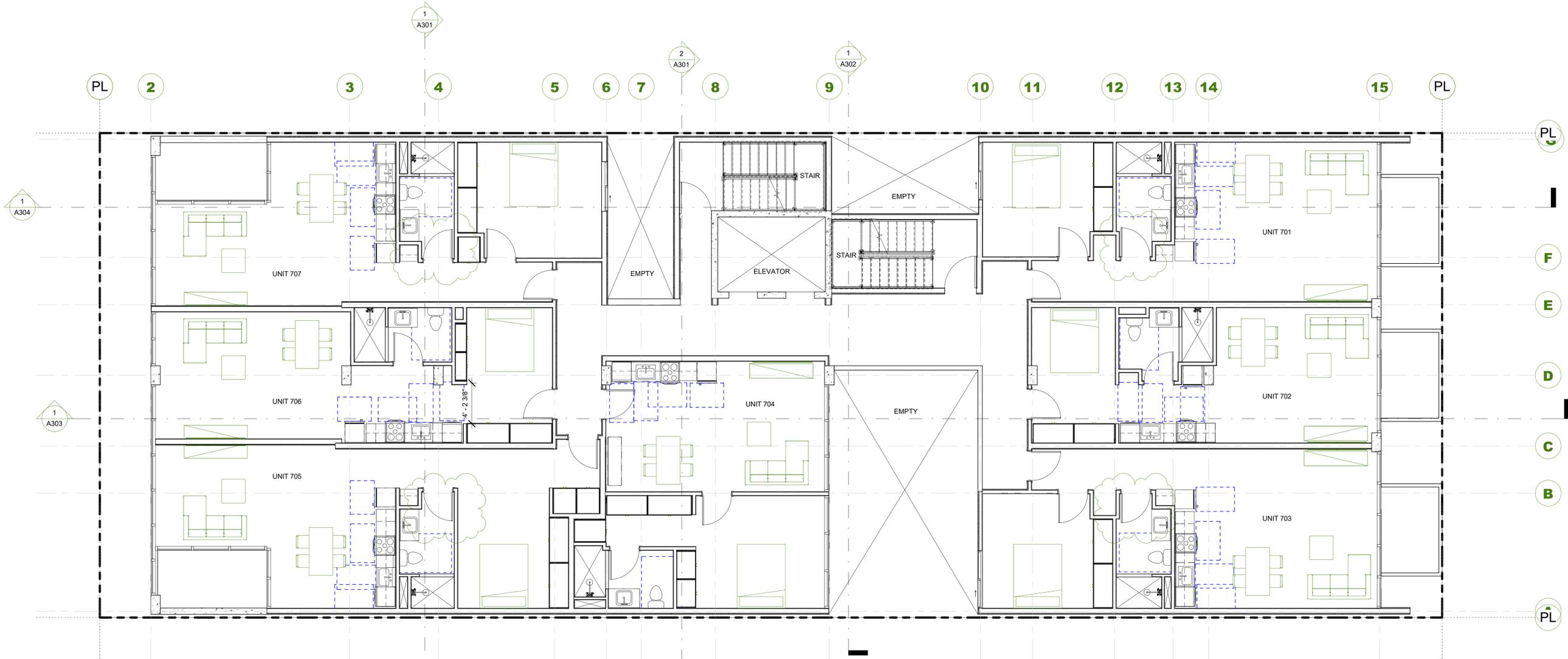
**1 LEVEL 5 APARTMENTS**  
3/16" = 1'-0"

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 LEVEL 7 APARTMENTS**  
3/16" = 1'-0"

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No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**LEVEL 6 APARTMENTS**

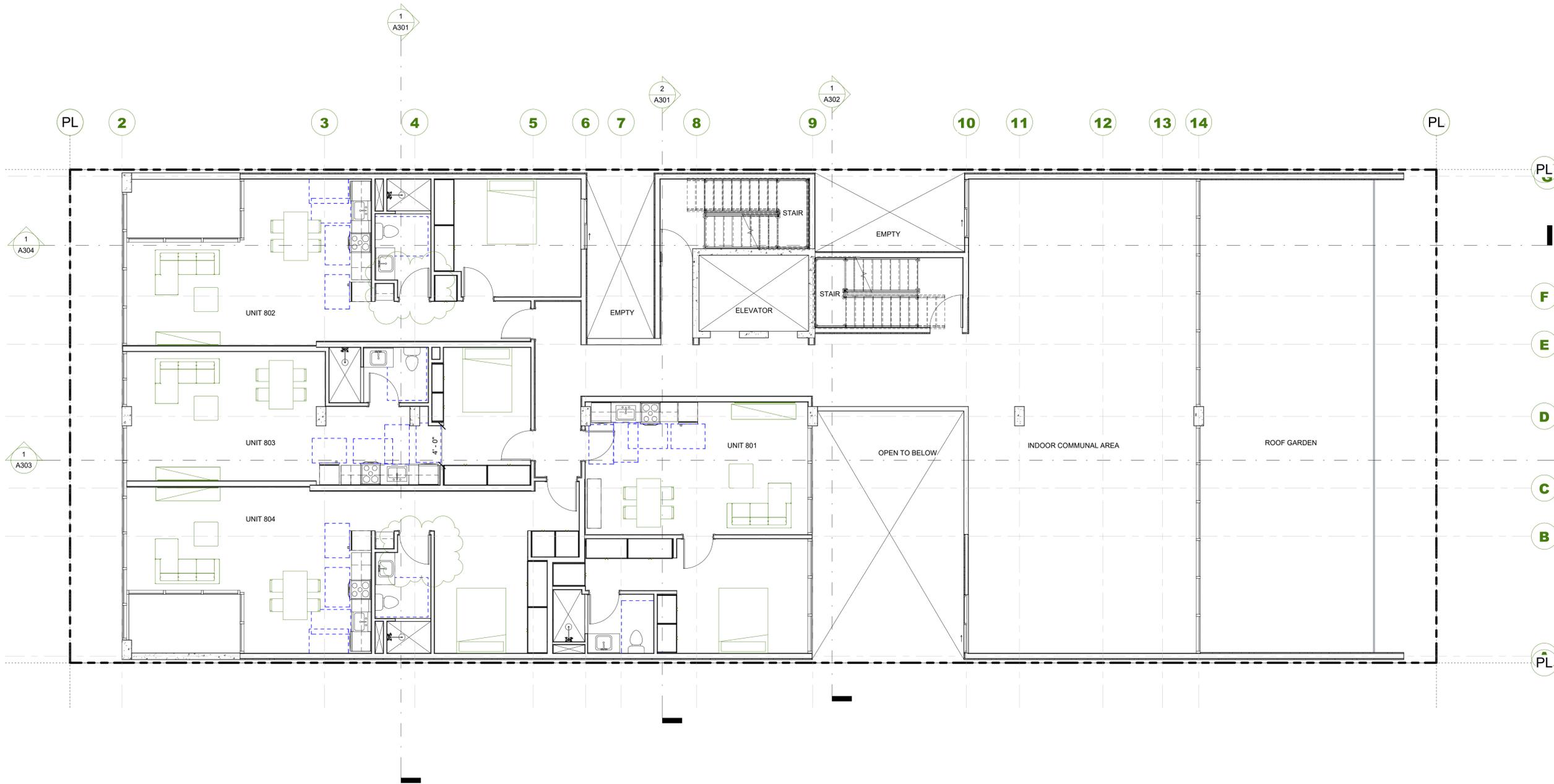
**A106**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 LEVEL 8 APARTMENTS**  
3/16" = 1'-0"

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

**LEVEL 7 APARTMENTS**

**A107**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

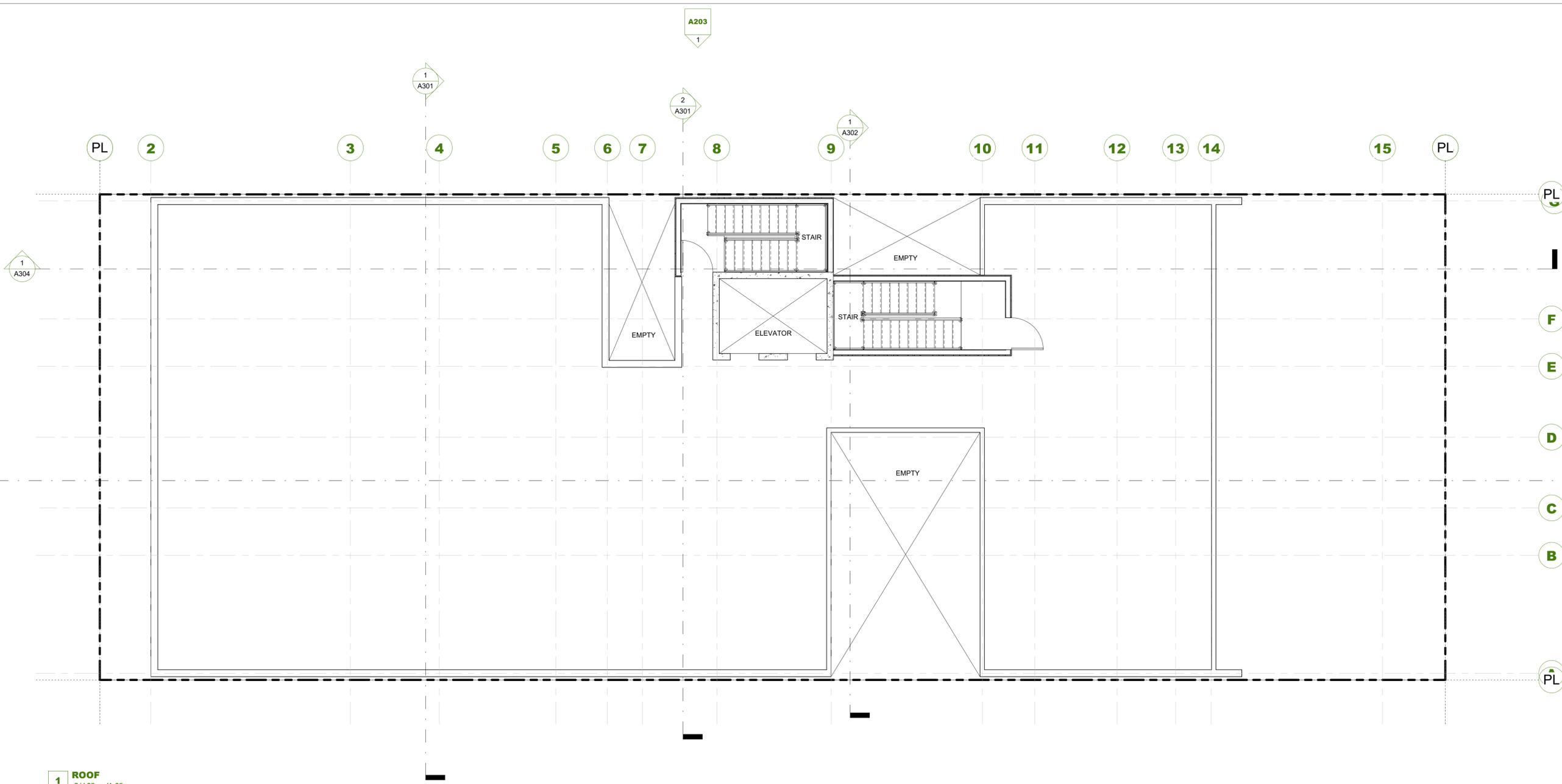
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	3/16" = 1'-0"

ROOF

**A108**



**1 ROOF**  
3/16" = 1'-0"

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**CLEVELAND ST. APARTMENTS**

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SAN DIEGO, CA 92103

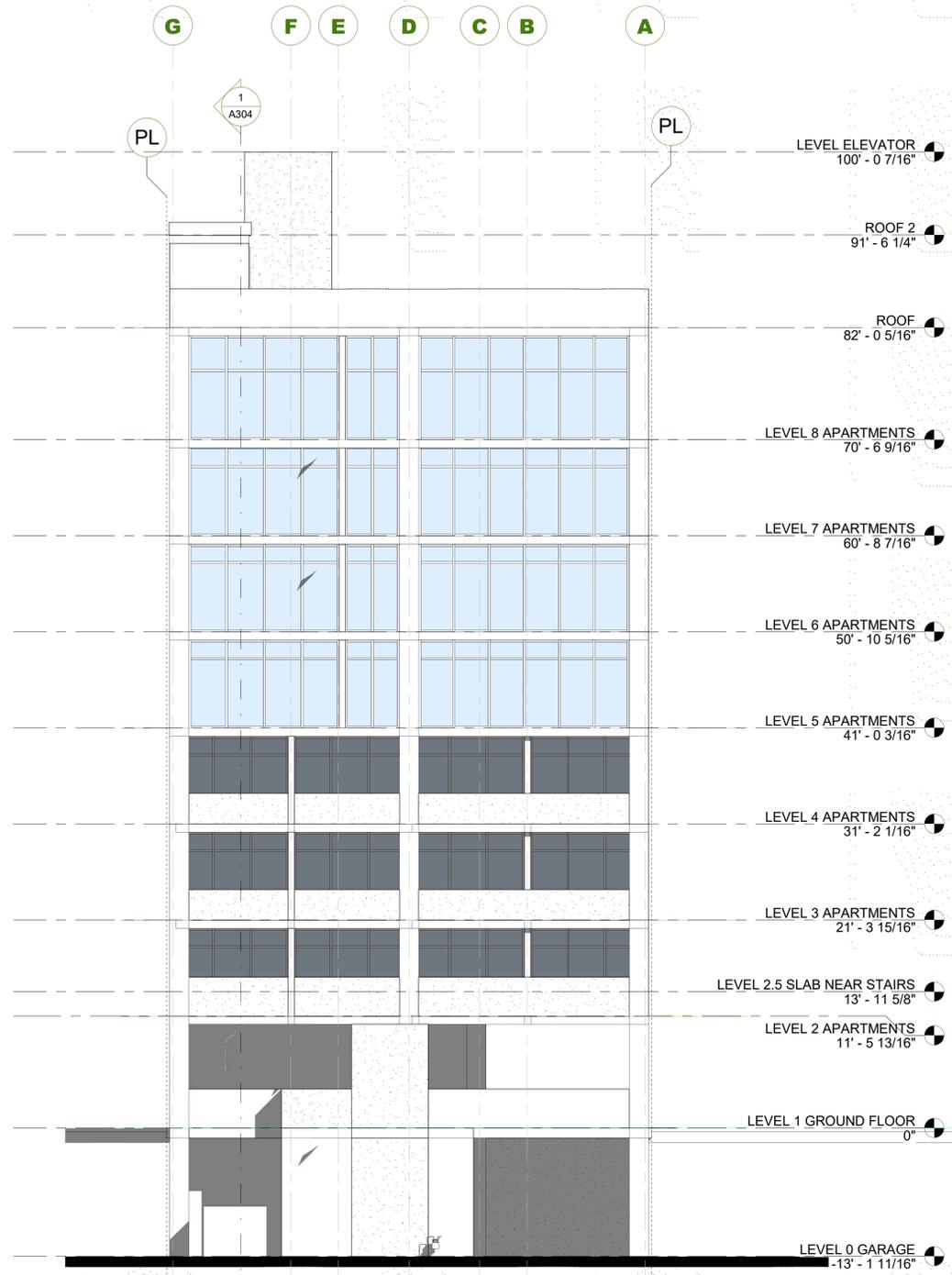
No.	Date	Description
JSP Project Number		jpcl01
AHJ Project Number		000000
Date		05/30/2022
Scale		1/8" = 1'-0"

**ELEVATIONS - NORTH AND SOUTH**

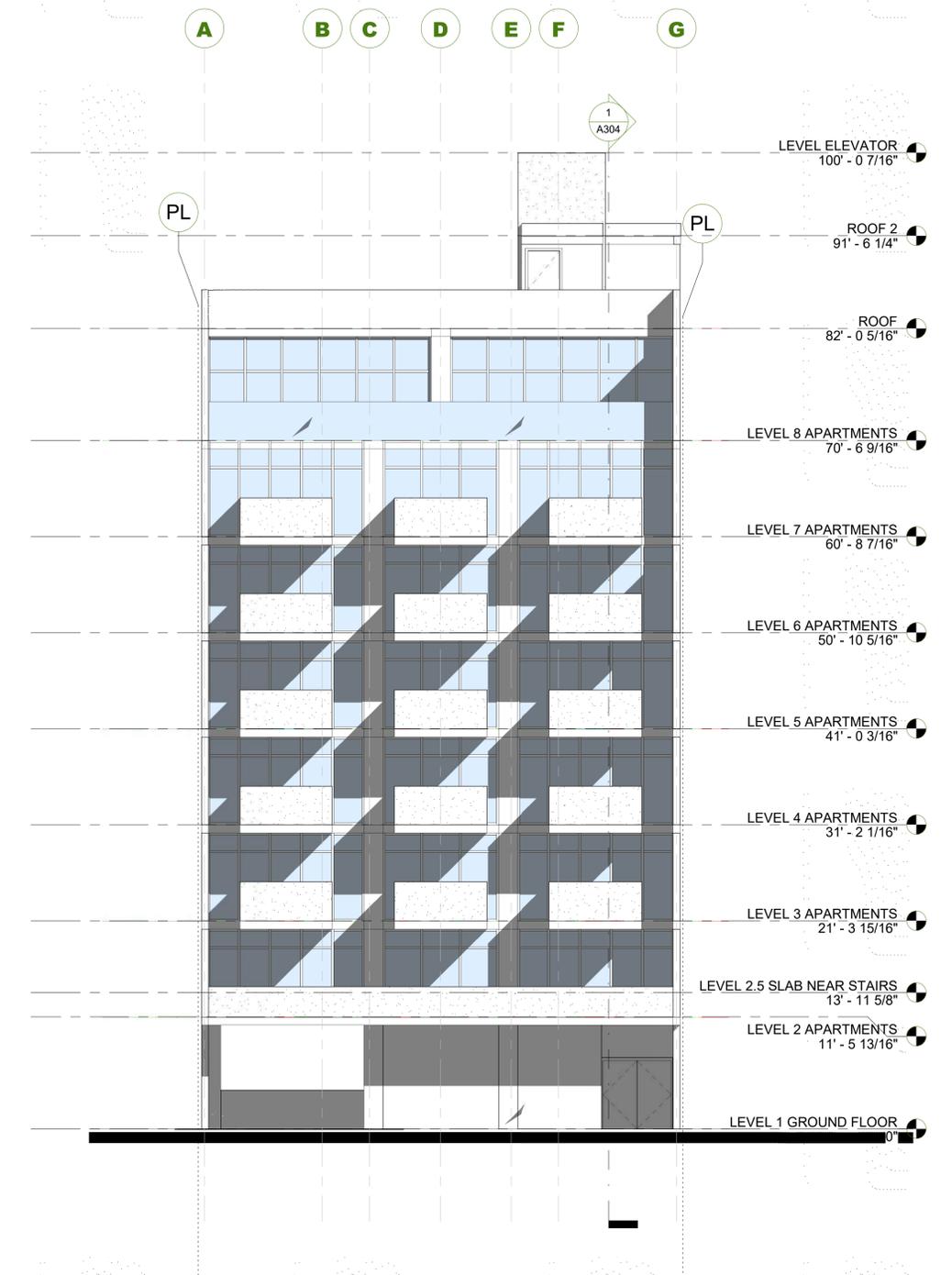
**A201**

**NOTES**

- CLASS "A" UL FIRE RATING, 20 YR 3-TAB ASPHALT SHINGLES, COLOR TO MATCH MAIN HOUSE.
- ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING. PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS IN FLASHING TO BE SOLDERED AND SEALED WITH MASTIC.
- NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACES BETWEEN INSULATION AND ROOF SHEATHING.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (ORD. 10980 NS).
- COASTAL OVERLAY ZONE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE BASE OF MEASUREMENT (REFERENCE DATUM).
- A PRE-CONSTRUCTION INSPECTION IS REQ. DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAX. HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D).
- DIMENSIONS TAKEN FROM FACE OF STUD/CONCRETE/MASONRY & CENTER OF DOOR/WINDOW OPENINGS.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.



**2 REAR ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

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**CLEVELAND ST. APARTMENTS**

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SAN DIEGO, CA 92103

No.	Date	Description
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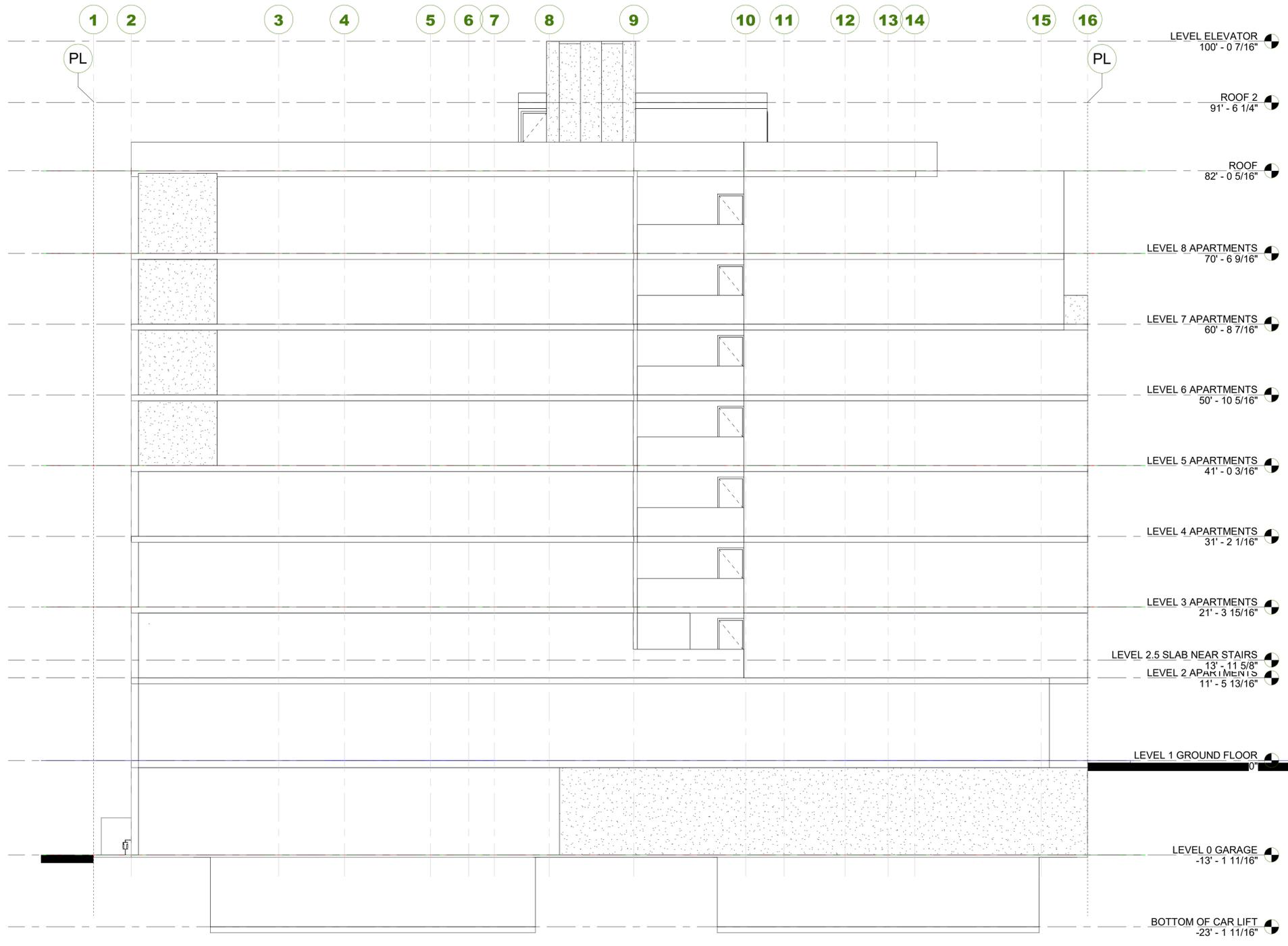
JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

SIDE ELEVATION A

**A202**

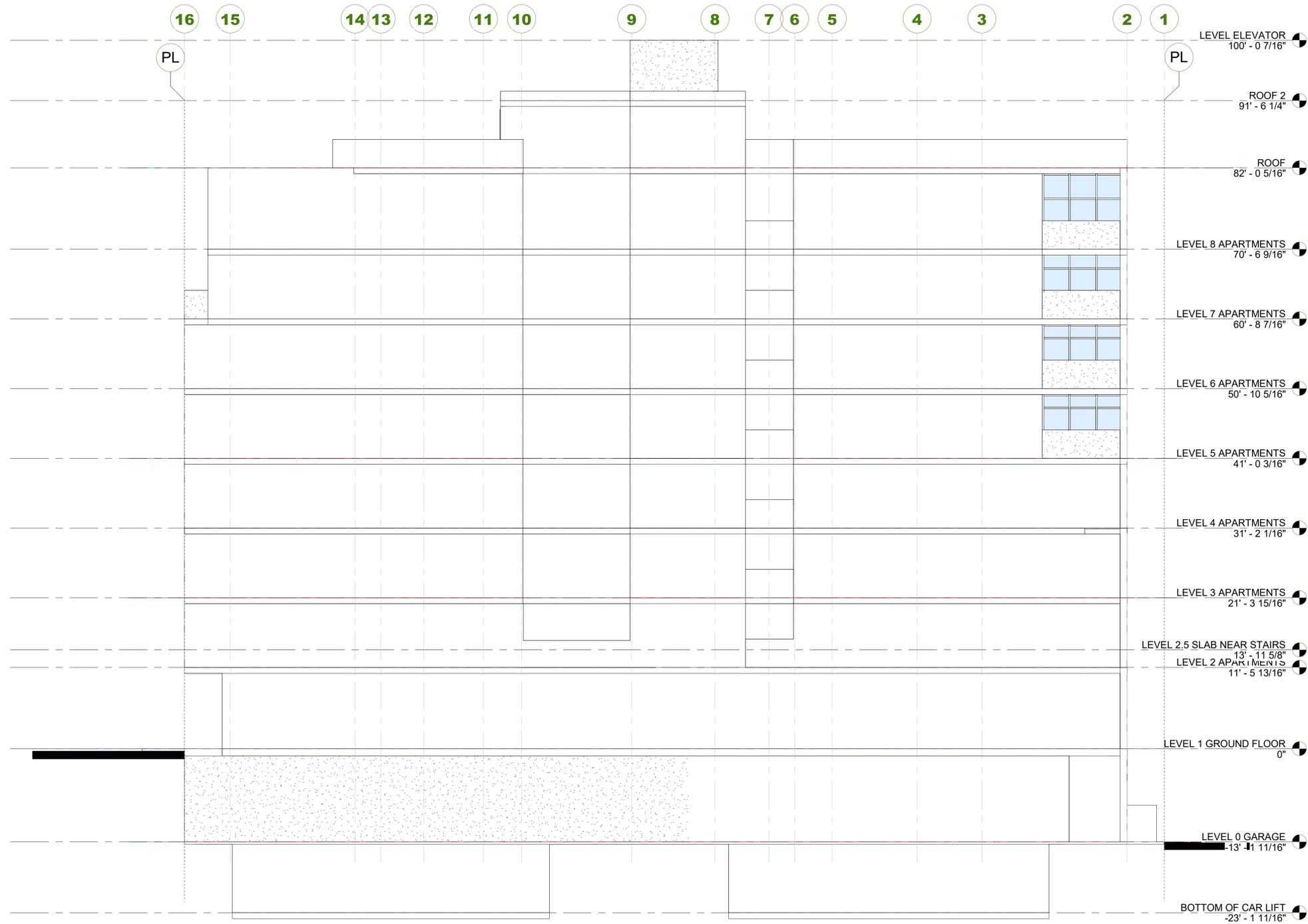
**NOTES**

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- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.



**1 SIDE ELEVATION A**  
1/8" = 1'-0"

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NOTES

2039 O AVE NATIONAL CITY, CA 91950  
JPONCE@JSPDESIGNSTUDIO.COM

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

SIDE ELEVATION B

**1 SIDE ELEVATION B**  
1/8" = 1'-0"

**A203**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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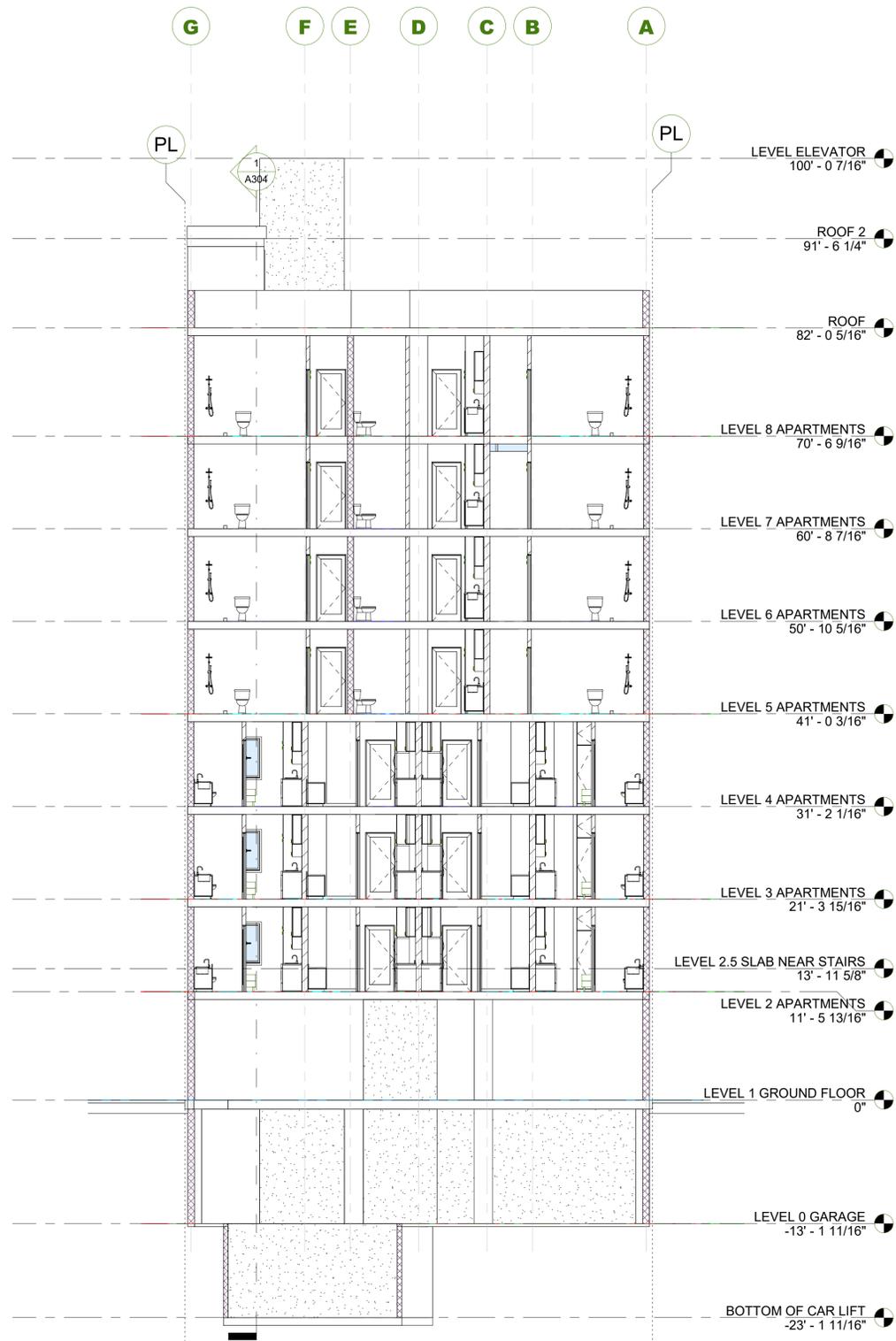
**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

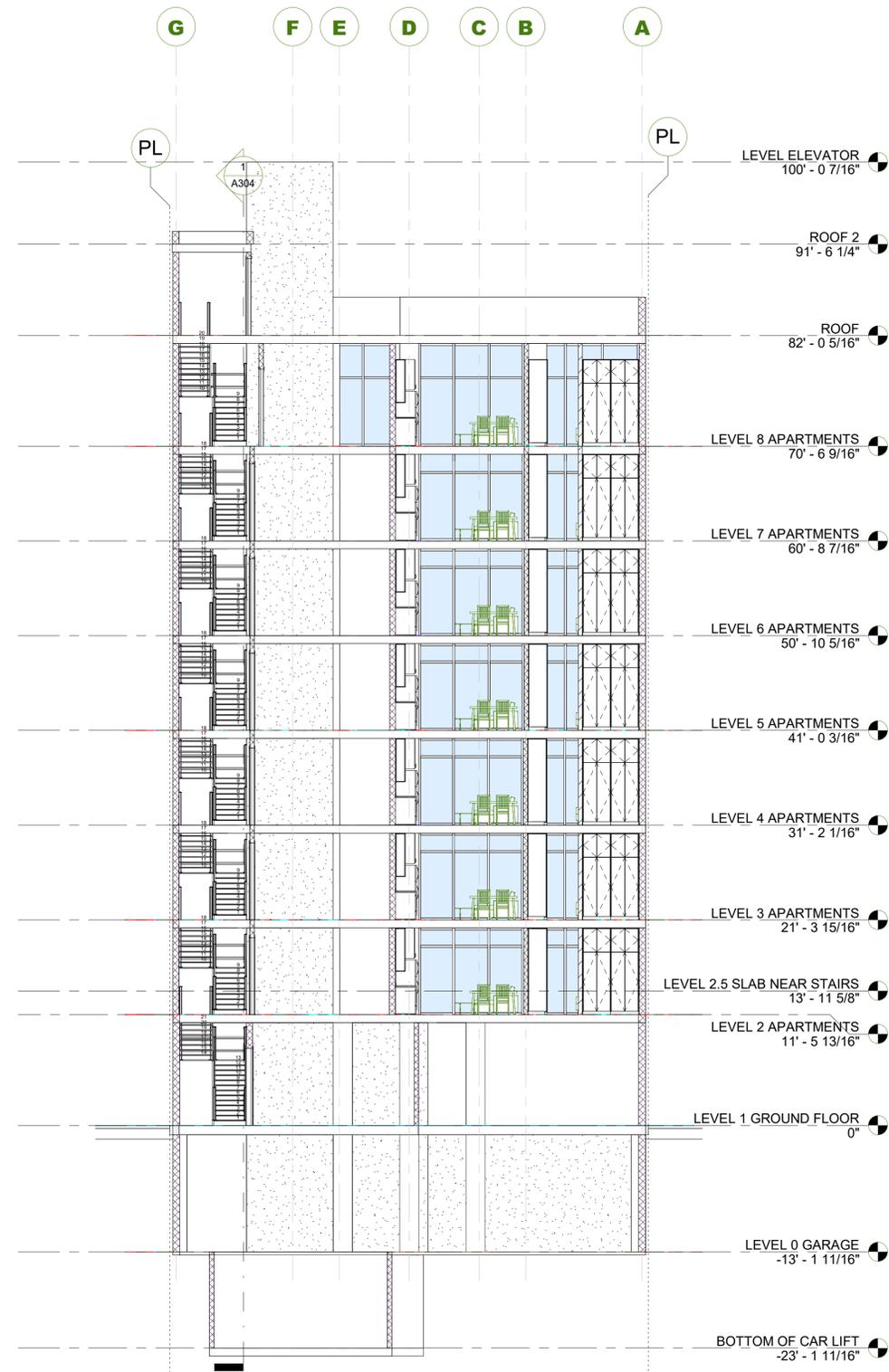
No.	Date	Description
JSP Project Number	jpcl01	
AHJ Project Number	000000	
Date	05/30/2022	
Scale	1/8" = 1'-0"	

SECTION A & B

**A301**



**1 SECTION A**  
1/8" = 1'-0"



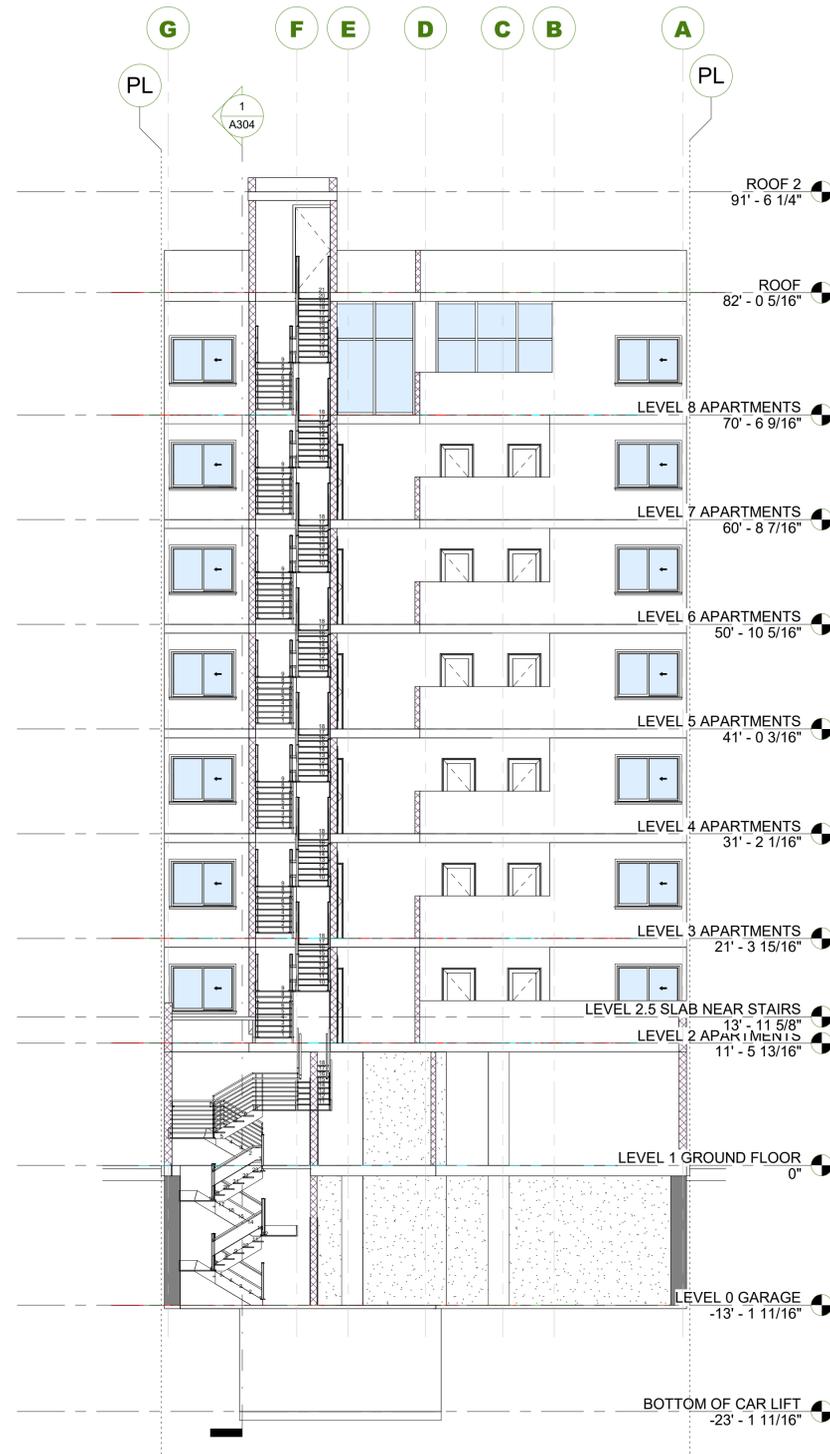
**2 SECTION B**  
1/8" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 SECTION C**  
1/8" = 1'-0"

No.	Date	Description
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JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

SECTION C

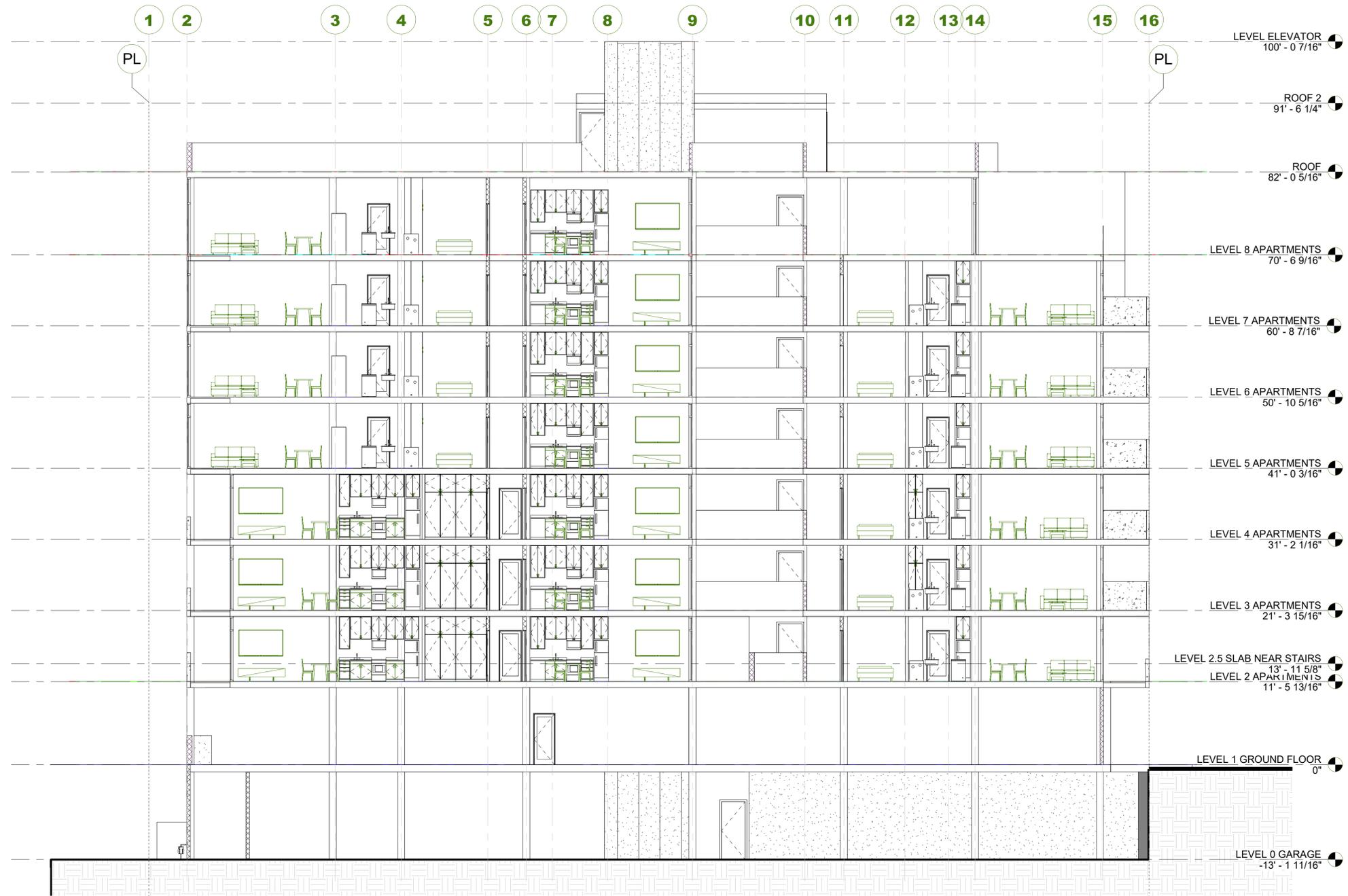
**A302**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 SECTION D**  
1/8" = 1'-0"

No.	Date	Description
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JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

SECTION D

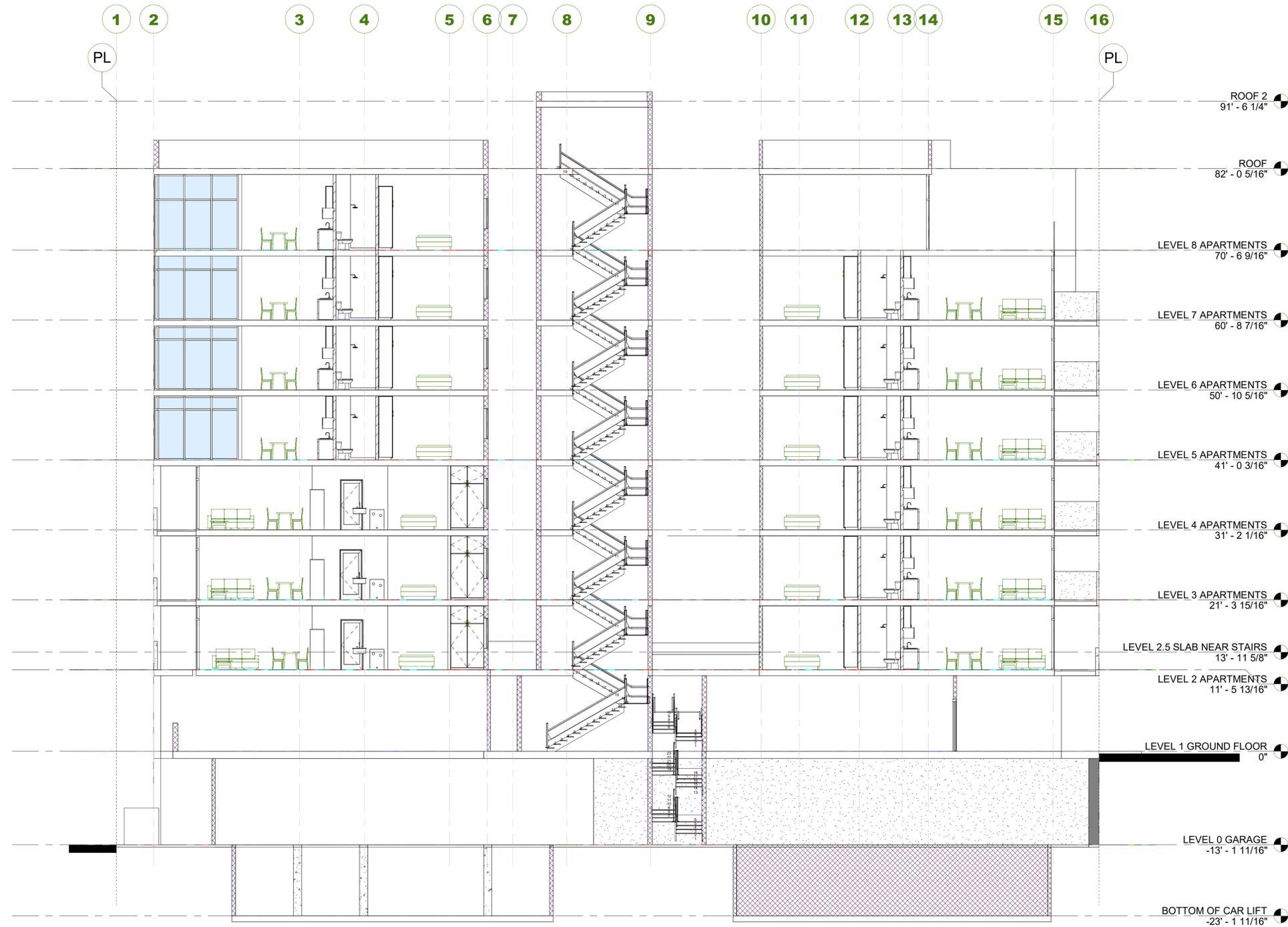
**A303**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



**1 SECTION E**  
1/8" = 1'-0"

No.	Date	Description
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JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

SECTION E

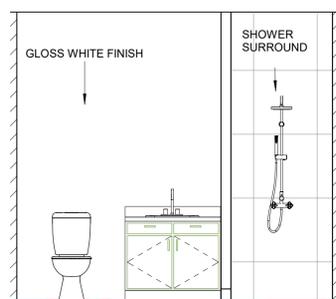
**A304**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THOSE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

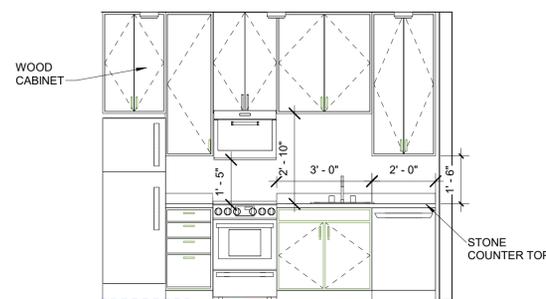
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



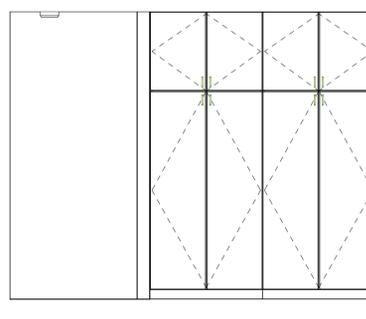
**2 A1 BATHROOM**  
3/8" = 1'-0"



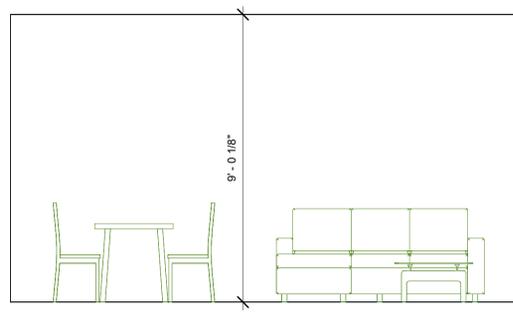
**A1 SHOWER**  
3/8" = 1'-0"



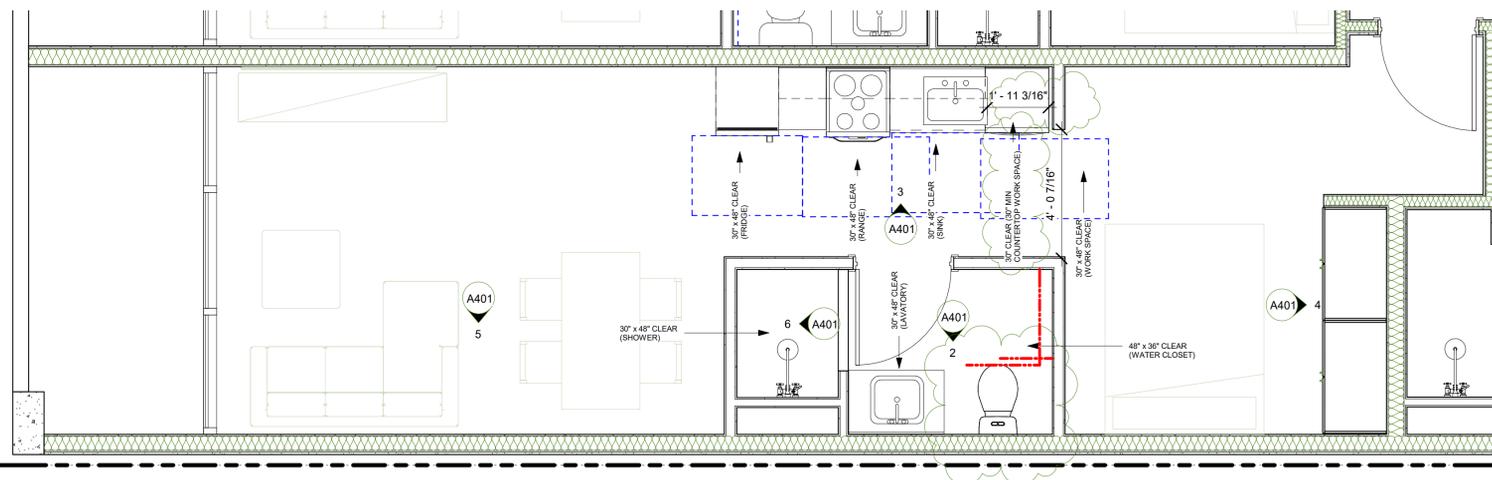
**3 A1 KITCHEN**  
3/8" = 1'-0"



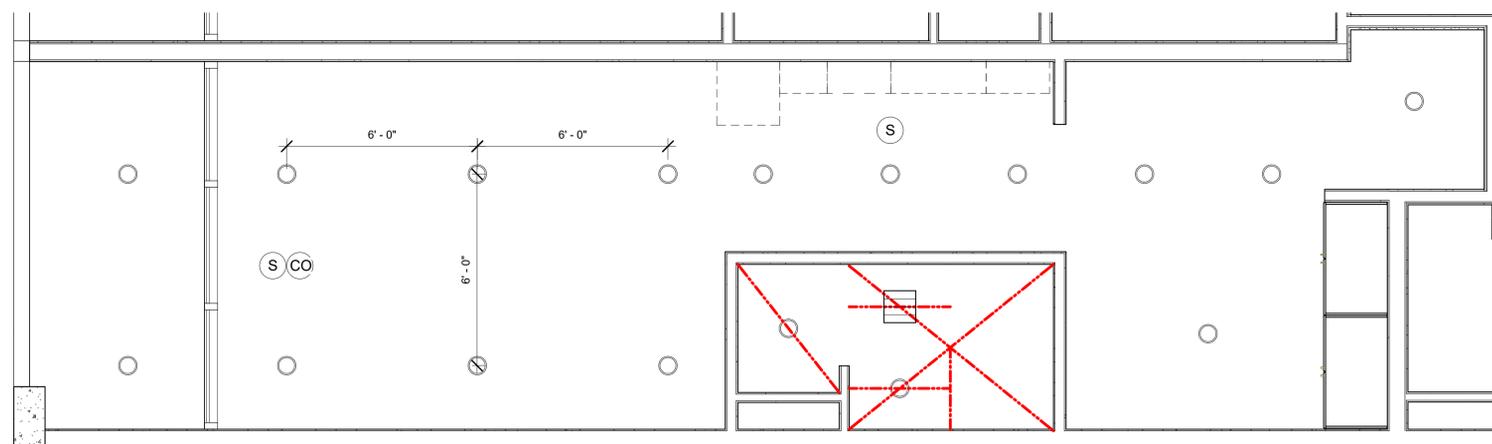
**4 A1 CLOSETS**  
3/8" = 1'-0"



**5 A1 LIVING ROOM**  
3/8" = 1'-0"



**1 APARTMENT TYPE A1**  
3/8" = 1'-0"



**7 APARTMENT TYPE A1**  
3/8" = 1'-0"

**SHEET NOTES**

- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
- FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
- BASE CABINETS (INCLUDING TOE-BOARD AND SHELVE) DIRECTLY UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3)

**LEGEND**

	WALL TAG		SWITCH (WITH DIMMER)		SMOKE DETECTOR
	WINDOW TAG		3 WAY SWITCH (WITH DIMMER)		CARBON MONOXIDE SENSOR
	DOOR TAG		OUTLET		
			GFI OUTLET		
			CEILING LIGHT		
			TRACK LIGHT		
			TV/CABLE		
			ELECTRICAL PANEL		
			VANITY LIGHT		

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	As indicated

ENLARGED  
APARTMENT TYPE A1

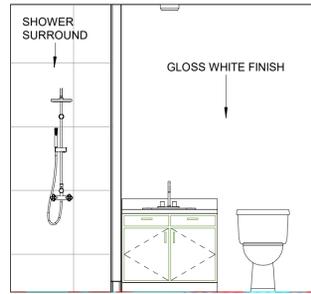
**A401**

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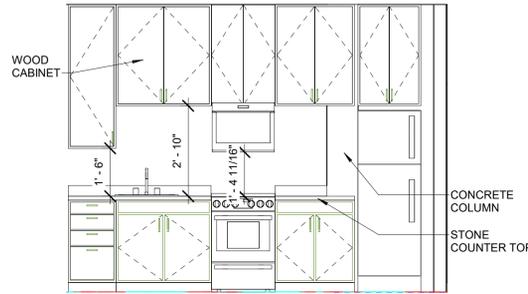
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**CLEVELAND ST. APARTMENTS**

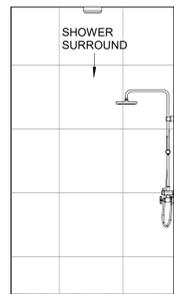
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



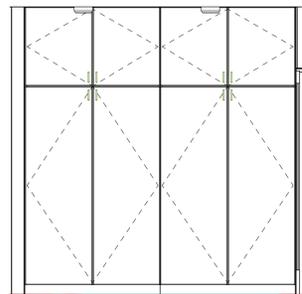
**2 B BATHROOM**  
3/8" = 1'-0"



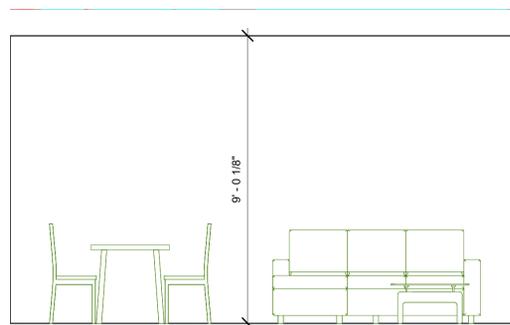
**3 B KITCHEN**  
3/8" = 1'-0"



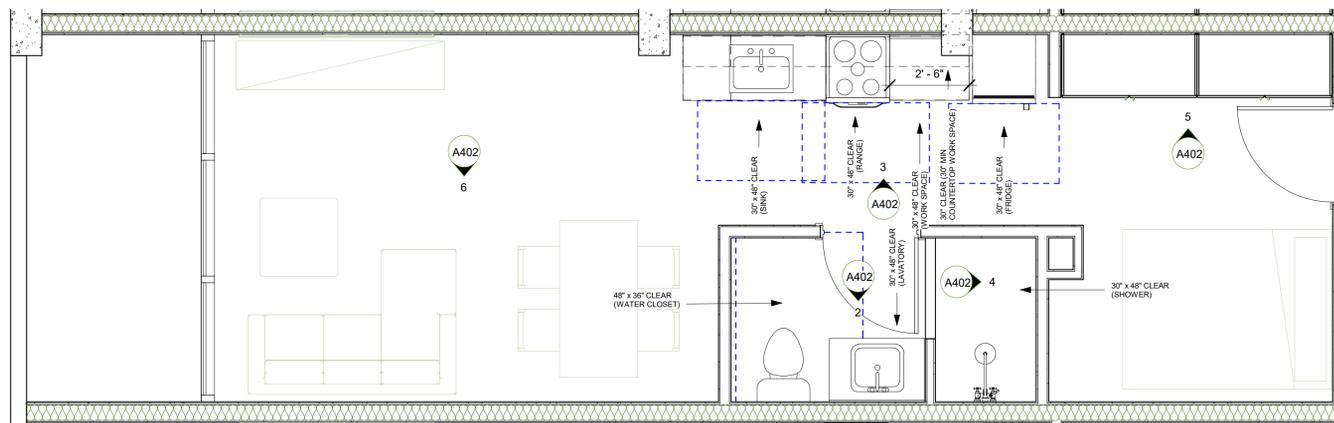
**4 B SHOWER**  
3/8" = 1'-0"



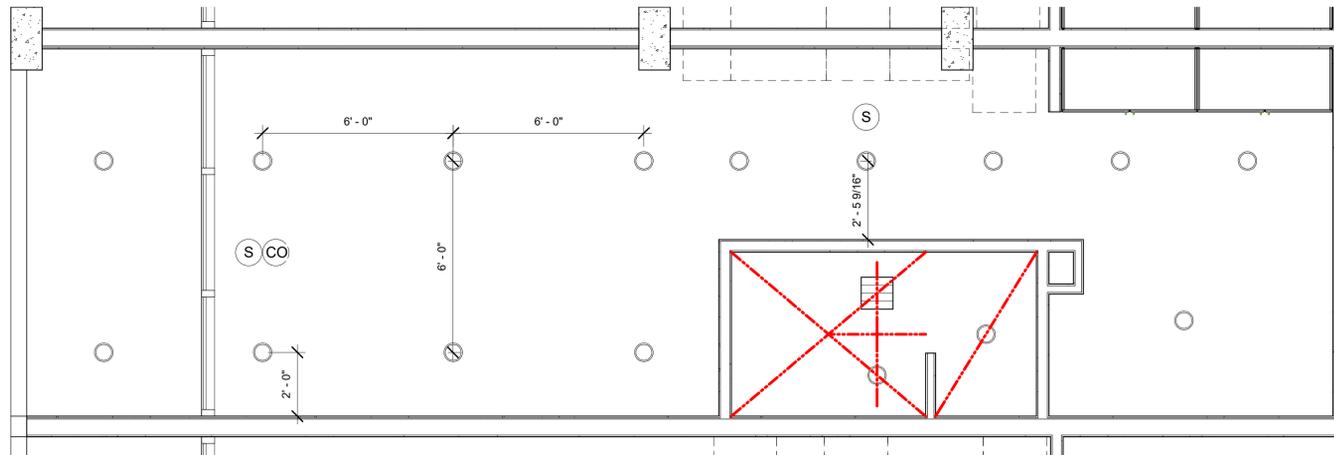
**5 B CLOSETS**  
3/8" = 1'-0"



**6 B LIVING ROOM**  
3/8" = 1'-0"



**1 APARTMENT TYPE B**  
3/8" = 1'-0"



**7 APARTMENT TYPE B**  
3/8" = 1'-0"

**SHEET NOTES**

- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
- FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
- BASE CABINETS (INCLUDING TOE-BOARD AND SHELVE) DIRECTLY UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3)

**LEGEND**

	WALL TAG		SWITCH (WITH DIMMER)		SMOKE DETECTOR
	WINDOW TAG		3 WAY SWITCH (WITH DIMMER)		CARBON MONOXIDE SENSOR
	DOOR TAG		OUTLET		
			GFI OUTLET		
			CEILING LIGHT		
			TRACK LIGHT		
			TV/CABLE		
			ELECTRICAL PANEL		
			VANITY LIGHT		

No.	Date	Description
JSP Project Number		jpcl01
AHJ Project Number		000000
Date		05/30/2022
Scale		As indicated

ENLARGED  
APARTMENT TYPE B

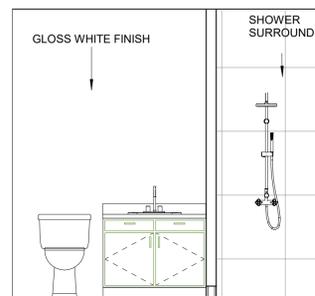
**A402**

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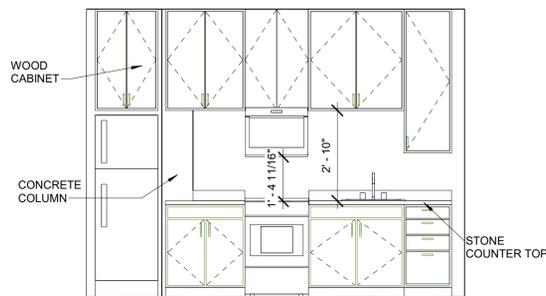
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**CLEVELAND ST. APARTMENTS**

4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



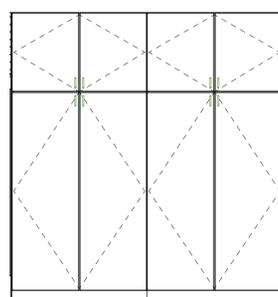
**2 C BATHROOM**  
3/8" = 1'-0"



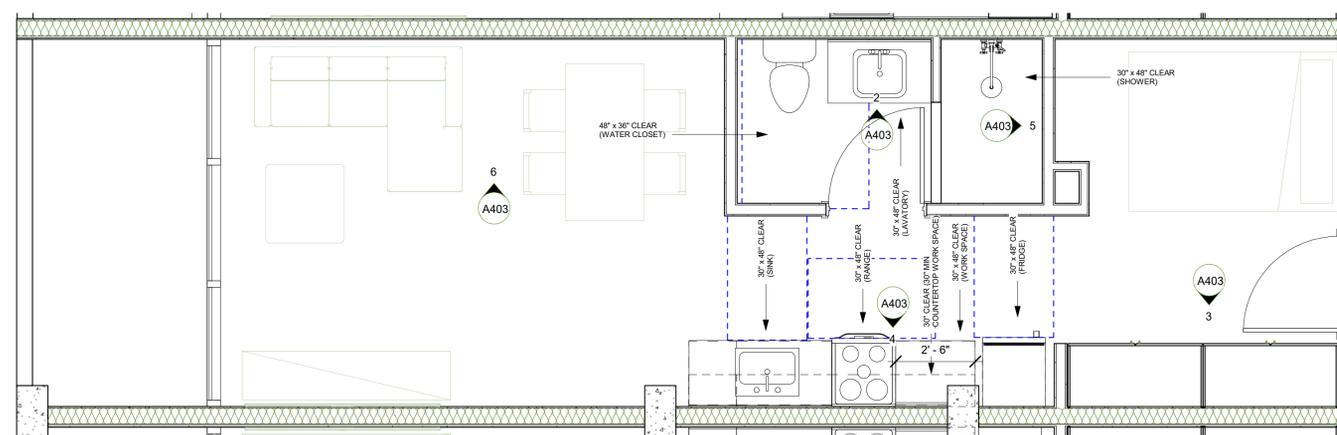
**4 C KITCHEN**  
3/8" = 1'-0"



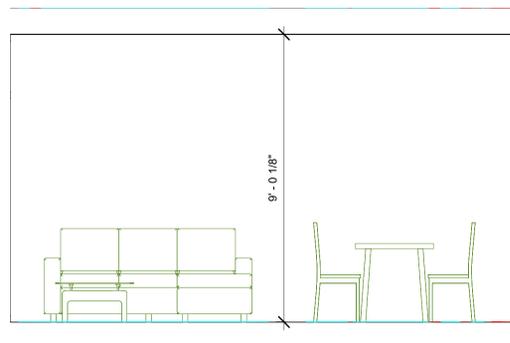
**5 C SHOWER**  
3/8" = 1'-0"



**3 C CLOSETS**  
3/8" = 1'-0"



**1 APARTMENT TYPE C**  
3/8" = 1'-0"



**6 C LIVING ROOM**  
3/8" = 1'-0"

**SHEET NOTES**

- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
- FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
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**LEGEND**

11	WALL TAG	S	SWITCH (WITH DIMMER)	S	SMOKE DETECTOR
11	WINDOW TAG	S <sub>3</sub>	3 WAY SWITCH (WITH DIMMER)	CO	CARBON MONOXIDE SENSOR
101	DOOR TAG	⌚	OUTLET		
		⌚	GFI OUTLET		
		○	CEILING LIGHT		
		—○—	TRACK LIGHT		
		TV	TV/CABLE		
		□	ELECTRICAL PANEL		
		✦	VANITY LIGHT		

**ENLARGED APARTMENT TYPE C**

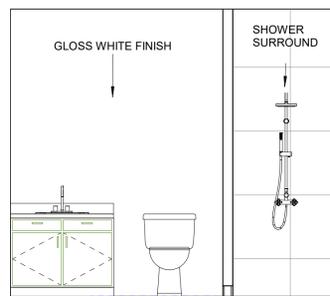
**A403**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

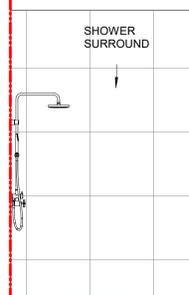
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**CLEVELAND ST. APARTMENTS**

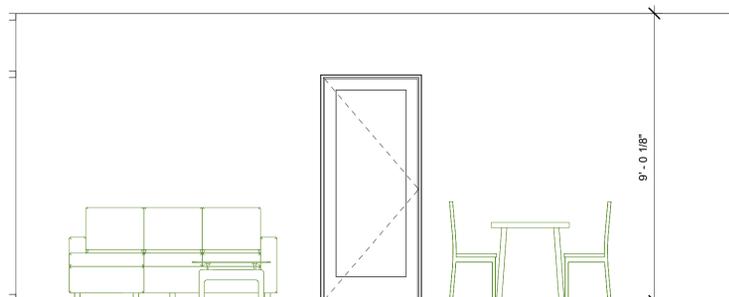
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



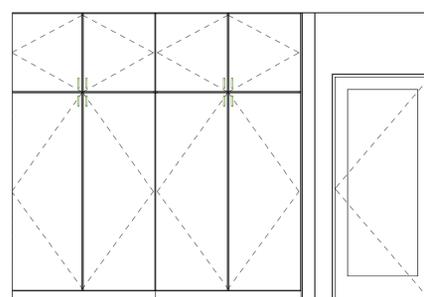
**2 D BATHROOM**  
3/8" = 1'-0"



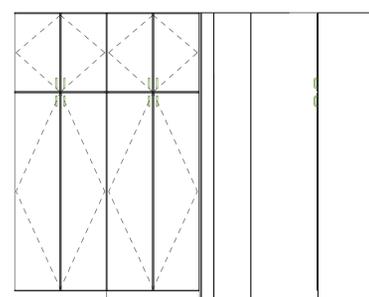
**7 D SHOWER**  
3/8" = 1'-0"



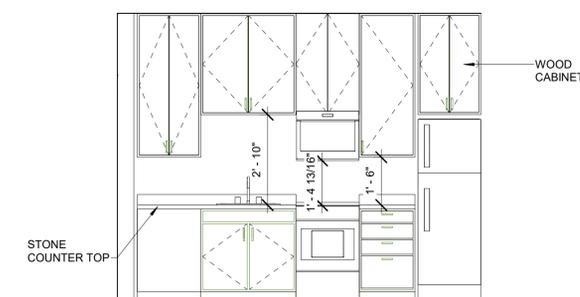
**6 D LIVING ROOM**  
3/8" = 1'-0"



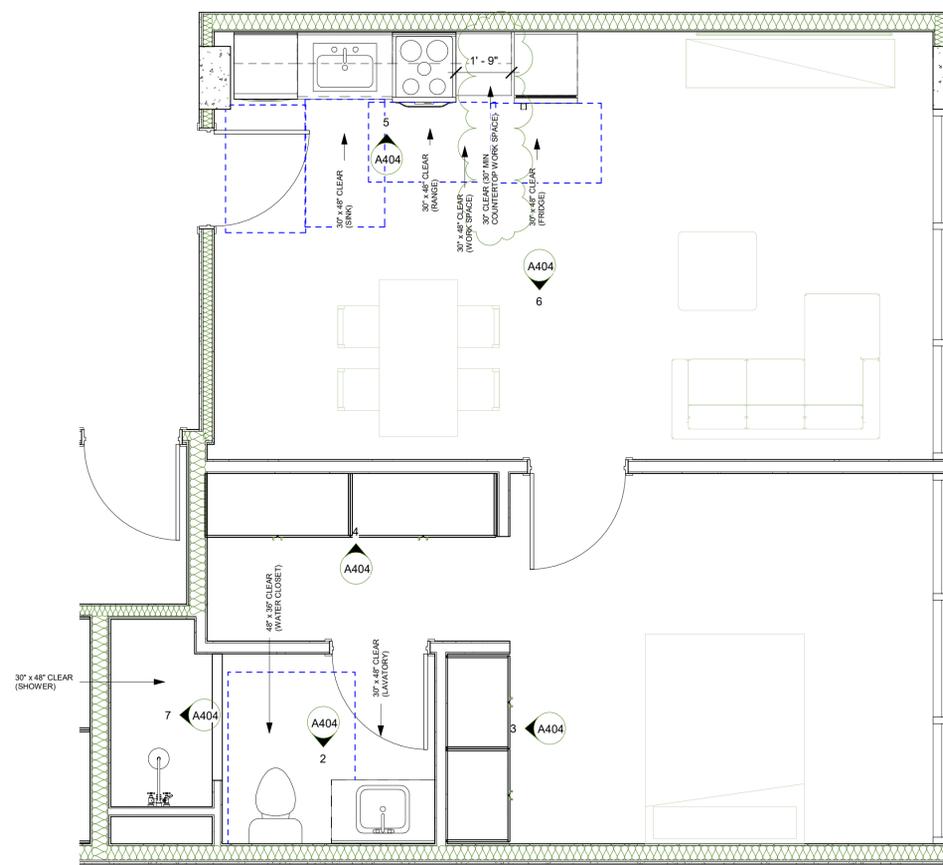
**4 D CLOSET HALLWAY BEDROOM**  
3/8" = 1'-0"



**3 D CLOSET BEDROOM**  
3/8" = 1'-0"



**5 D KITCHEN**  
3/8" = 1'-0"



**1 APARTMENT TYPE D**  
3/8" = 1'-0"

**SHEET NOTES**

- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
- FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
- BASE CABINETS (INCLUDING TOE-BOARD AND SHELVING) DIRECTLY UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3)

**LEGEND**

1i	WALL TAG	S	SWITCH (WITH DIMMER)	S	SMOKE DETECTOR
1i	WINDOW TAG	3S	3 WAY SWITCH (WITH DIMMER)	CO	CARBON MONOXIDE SENSOR
101	DOOR TAG	O	OUTLET		
		GFI	GFI OUTLET		
		CL	CEILING LIGHT		
		TL	TRACK LIGHT		
		TV	TV/CABLE		
		EP	ELECTRICAL PANEL		
		VL	VANITY LIGHT		

**ENLARGED APARTMENT TYPE D**

**A404**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF JSP DESIGN STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF JSP DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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**CLEVELAND ST. APARTMENTS**

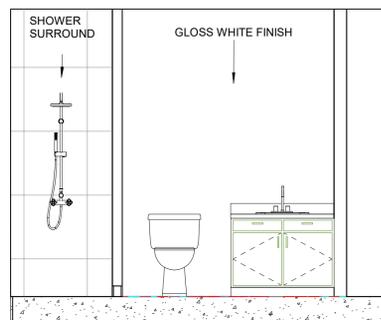
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
1	Date 1	Revision 1

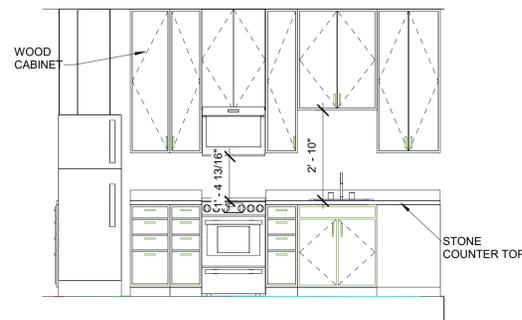
JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	As indicated

**ENLARGED APARTMENT TYPE E**

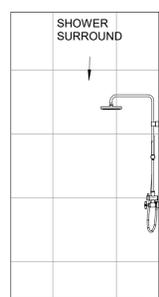
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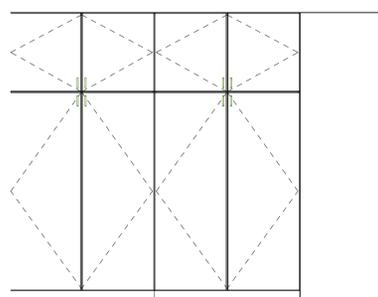
**2 E BATHROOM**  
3/8" = 1'-0"



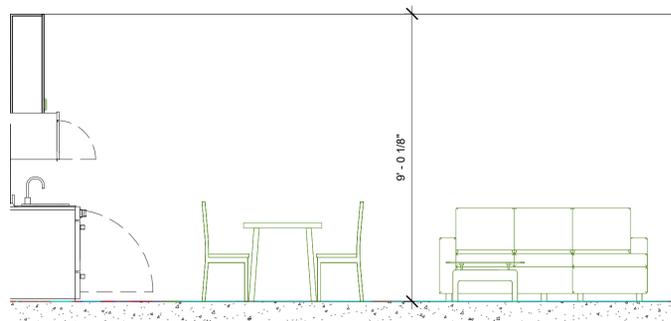
**4 E KITCHEN**  
3/8" = 1'-0"



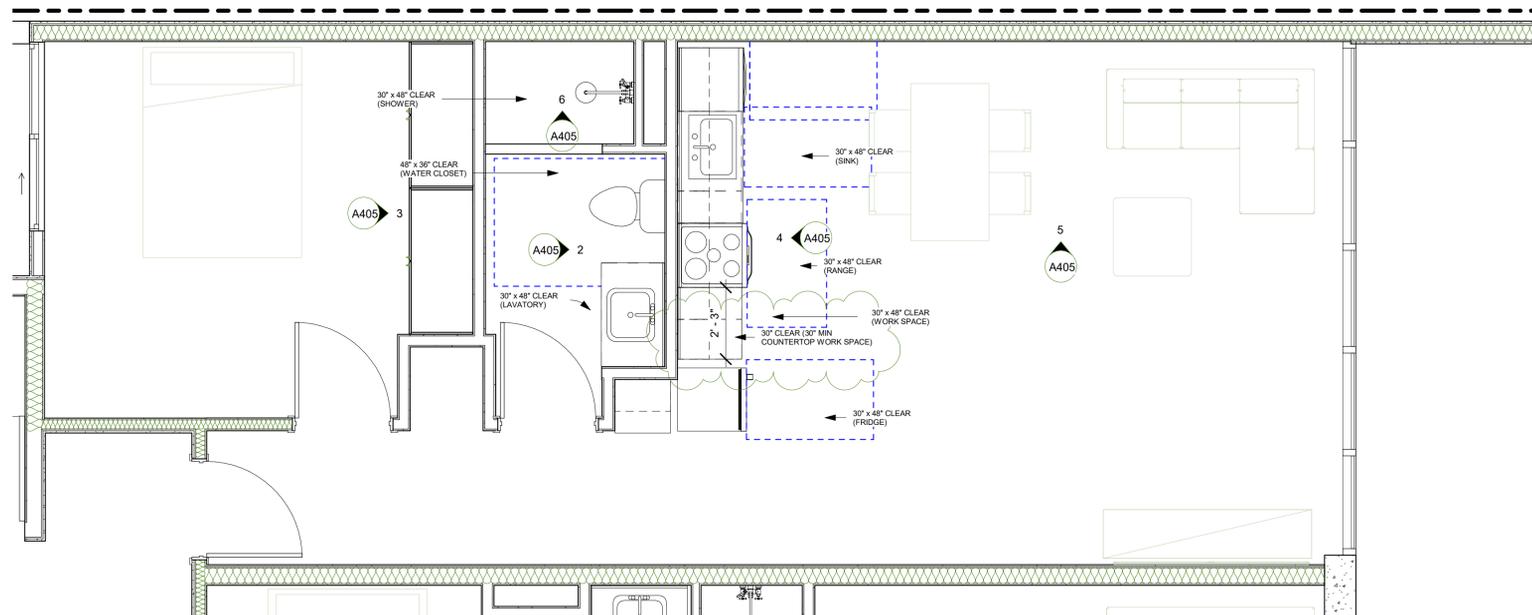
**6 E SHOWER**  
3/8" = 1'-0"



**3 E CLOSET**  
3/8" = 1'-0"



**5 E LIVING ROOM**  
3/8" = 1'-0"



**1 APARTMENT TYPE E**  
3/8" = 1'-0"

**SHEET NOTES**

- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
- FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
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**LEGEND**

11	WALL TAG	S	SWITCH (WITH DIMMER)	S	SMOKE DETECTOR
1i	WINDOW TAG	S <sup>3</sup>	3 WAY SWITCH (WITH DIMMER)	CO	CARBON MONOXIDE SENSOR
101	DOOR TAG	⌚	OUTLET		
		⌚	GFI OUTLET		
		○	CEILING LIGHT		
		—○—○—	TRACK LIGHT		
		TV	TV/CABLE		
		□	ELECTRICAL PANEL		
		✦	VANITY LIGHT		



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**CLEVELAND ST. APARTMENTS**

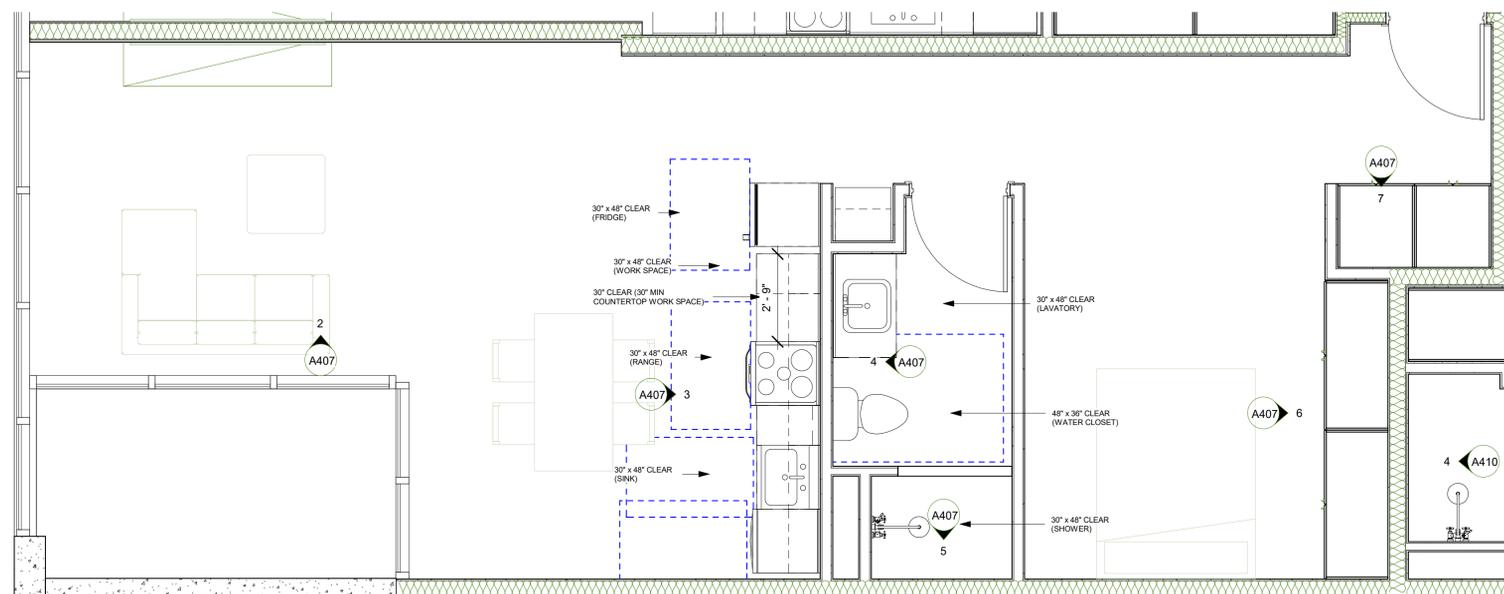
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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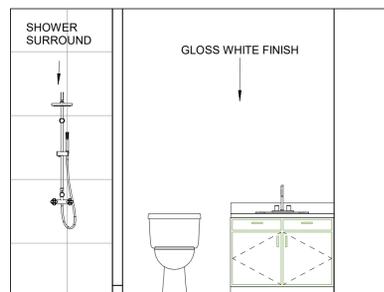
JSP Project Number	jpc101
AHJ Project Number	000000
Date	05/30/2022
Scale	As indicated

ENLARGED  
APARTMENT TYPE G

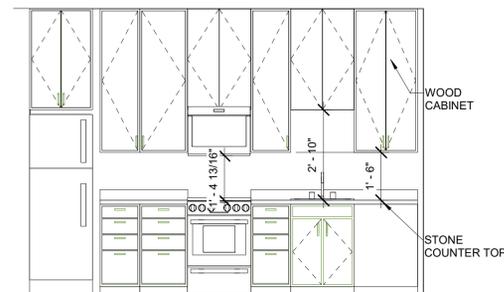
**A407**



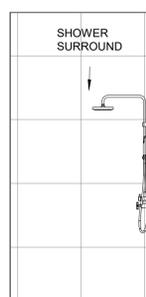
**1 APARTMENTS TYPE G**  
3/8" = 1'-0"



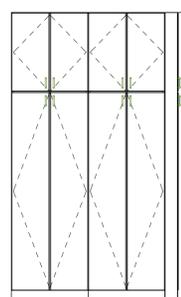
**4 G BATHROOM**  
3/8" = 1'-0"



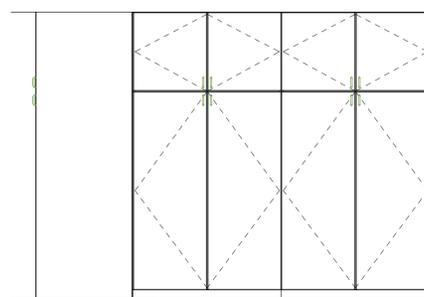
**3 G KITCHEN**  
3/8" = 1'-0"



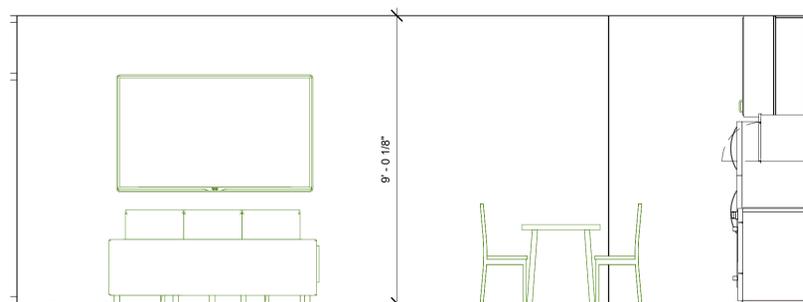
**5 G SHOWER**  
3/8" = 1'-0"



**7 G CLOSET NEXT TO DOOR**  
3/8" = 1'-0"



**6 G CLOSET NEAR BED**  
3/8" = 1'-0"



**2 G LIVING ROOM**  
3/8" = 1'-0"

**SHEET NOTES**

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- FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
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**LEGEND**

	WALL TAG		SWITCH (WITH DIMMER)		SMOKE DETECTOR
	WINDOW TAG		3 WAY SWITCH (WITH DIMMER)		CARBON MONOXIDE SENSOR
	DOOR TAG		OUTLET		
			GFI OUTLET		
			CEILING LIGHT		
			TRACK LIGHT		
			TV/CABLE		
			ELECTRICAL PANEL		
			VANITY LIGHT		

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**CLEVELAND ST. APARTMENTS**

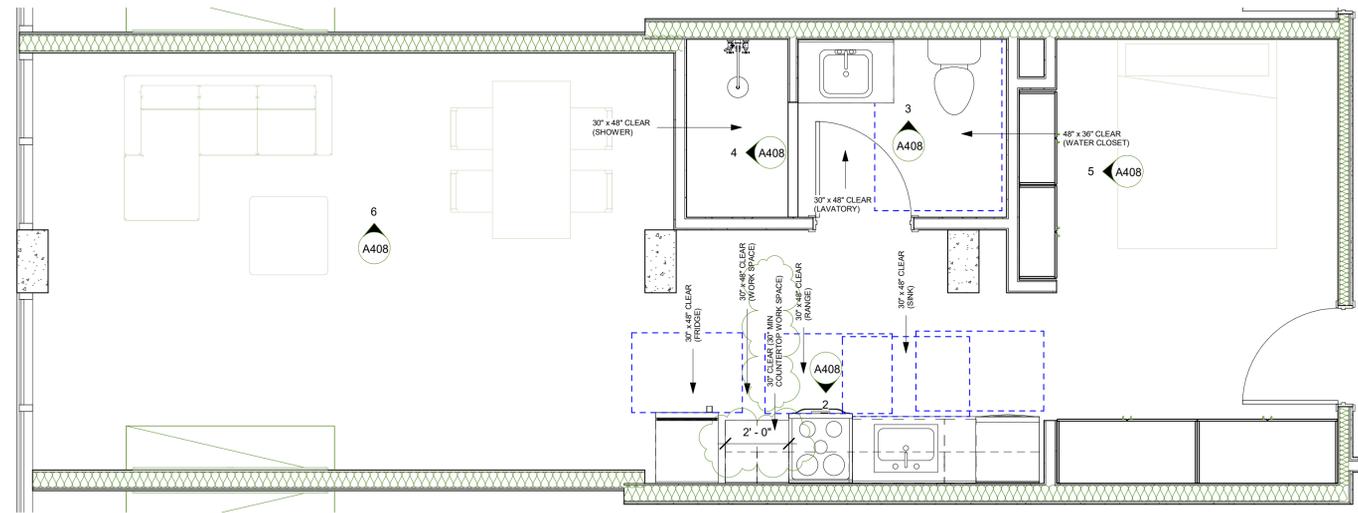
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
1	Date 1	Revision 1

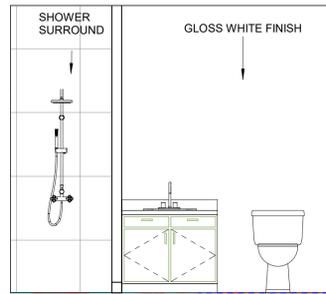
JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	As indicated

**ENLARGED APARTMENT TYPE H**

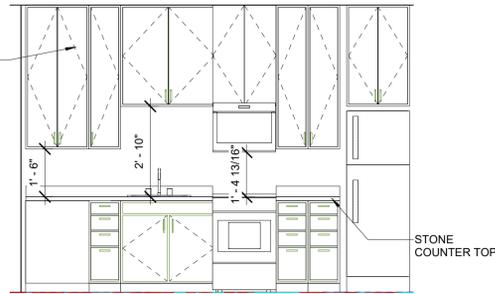
**A408**



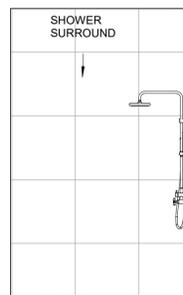
**1 APARTMENTS TYPE H**  
3/8" = 1'-0"



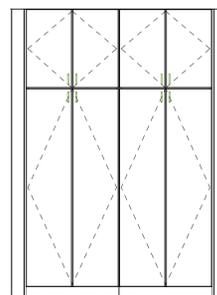
**3 H BATHROOM**  
3/8" = 1'-0"



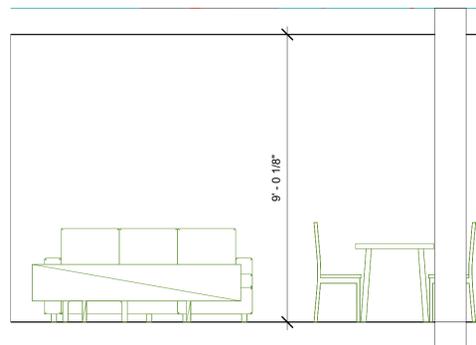
**2 H KITCHEN**  
3/8" = 1'-0"



**4 H SHOWER**  
3/8" = 1'-0"



**5 H CLOSET**  
3/8" = 1'-0"



**6 H LIVING ROOM**  
3/8" = 1'-0"

**SHEET NOTES**

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**LEGEND**

1i	WALL TAG	S	SWITCH (WITH DIMMER)	S	SMOKE DETECTOR
1i	WINDOW TAG	S <sup>3</sup>	3 WAY SWITCH (WITH DIMMER)	CO	CARBON MONOXIDE SENSOR
101	DOOR TAG	⌚	OUTLET		
		⌚	GFI OUTLET		
		○	CEILING LIGHT		
		—○—	TRACK LIGHT		
		TV	TV/CABLE		
		□	ELECTRICAL PANEL		
		✦	VANITY LIGHT		

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**CLEVELAND ST. APARTMENTS**

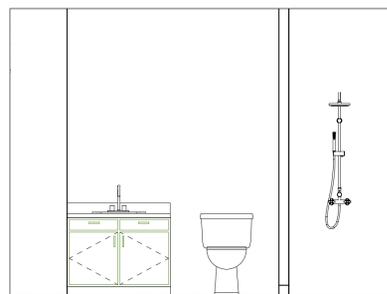
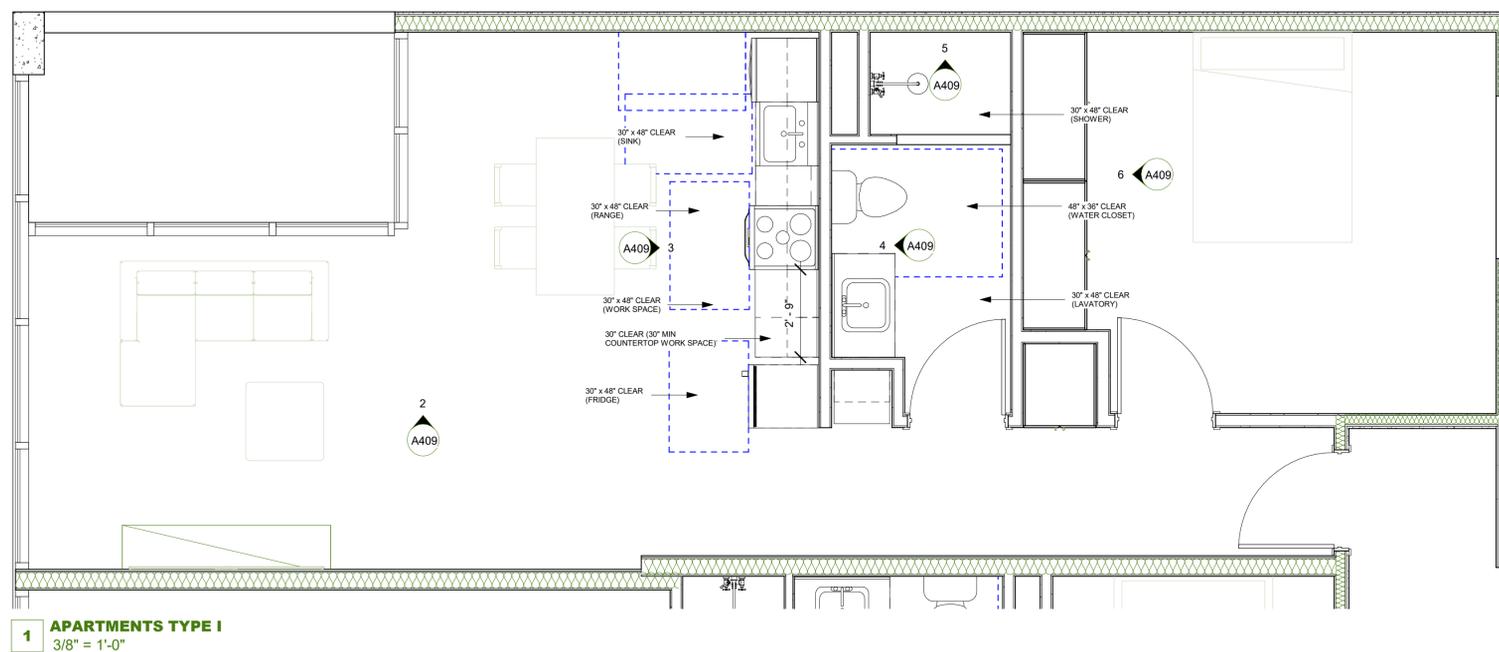
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103

No.	Date	Description
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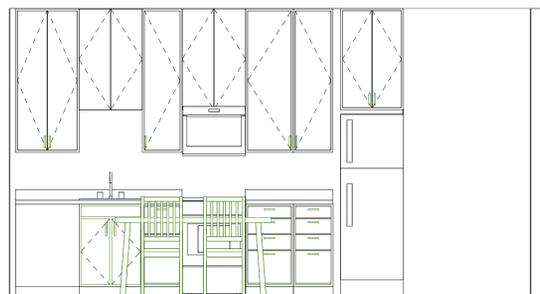
JSP Project Number	jpc101
AHJ Project Number	000000
Date	05/30/2022
Scale	As indicated

**ENLARGED APARTMENT TYPE I**

**A409**



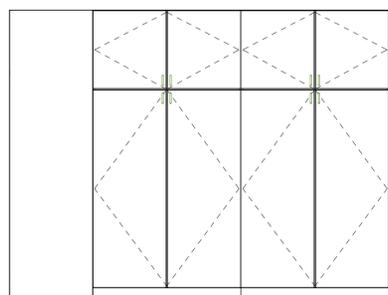
**4 BATHROOM**  
3/8" = 1'-0"



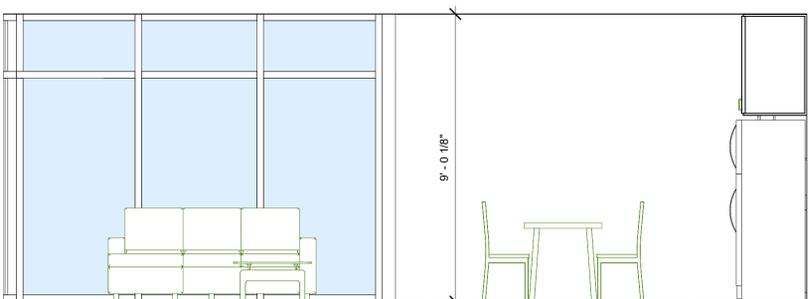
**3 KITCHEN**  
3/8" = 1'-0"



**5 SHOWER**  
3/8" = 1'-0"



**6 CLOSET**  
3/8" = 1'-0"



**2 LIVING ROOM**  
3/8" = 1'-0"

**SHEET NOTES**

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**LEGEND**

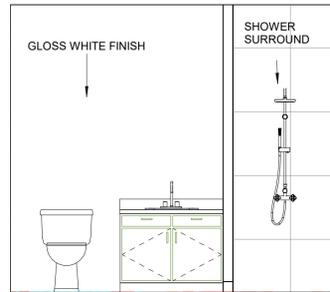
◇ 1i	WALL TAG	\$	SWITCH (WITH DIMMER)	⊙	SMOKE DETECTOR
◇ 1i	WINDOW TAG	\$3	3 WAY SWITCH (WITH DIMMER)	⊙ CO	CARBON MONOXIDE SENSOR
○ 101	DOOR TAG	⚡	OUTLET		
		⚡⚡	GFI OUTLET		
		○	CEILING LIGHT		
		—○—	TRACK LIGHT		
		TV	TV/CABLE		
		□	ELECTRICAL PANEL		
		✦	VANITY LIGHT		

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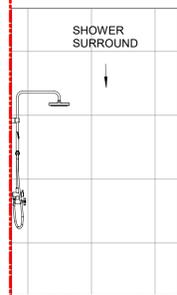
NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

**CLEVELAND ST. APARTMENTS**

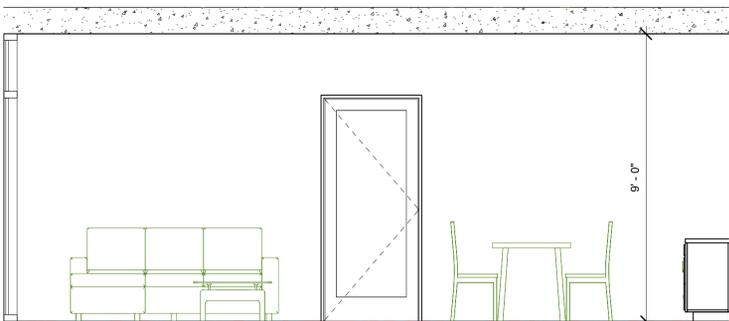
4350 CLEVELAND AVE,  
SAN DIEGO, CA 92103



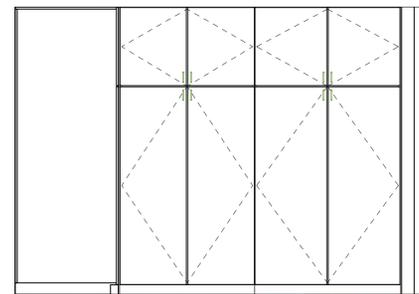
**3 J BATHROOM**  
3/8" = 1'-0"



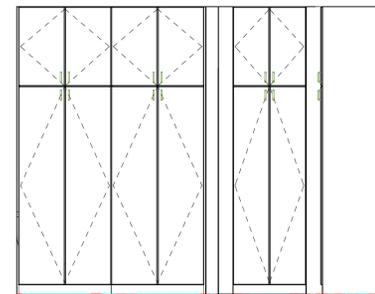
**4 J SHOWER**  
3/8" = 1'-0"



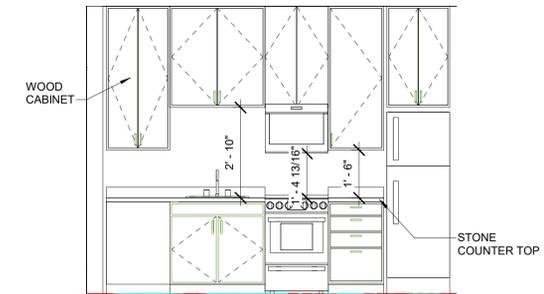
**7 J LIVING ROOM**  
3/8" = 1'-0"



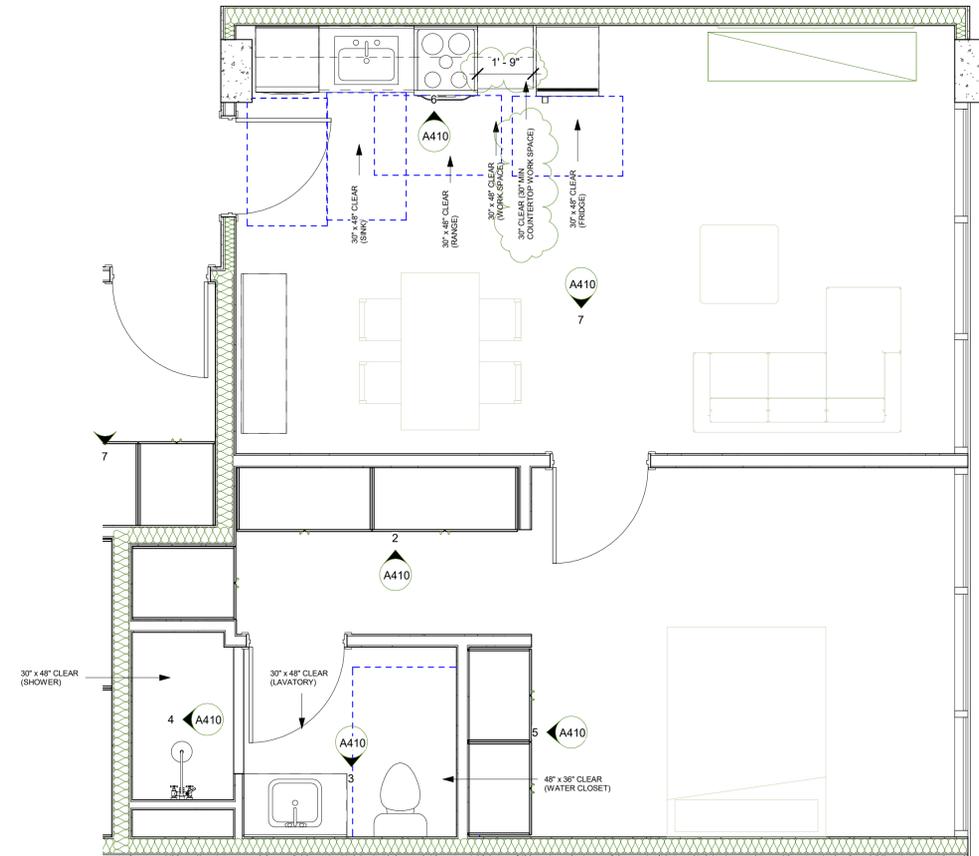
**2 J CLOSET LIVING ROOM**  
3/8" = 1'-0"



**5 J CLOSET BEDROOM**  
3/8" = 1'-0"



**6 J KITCHEN**  
3/8" = 1'-0"



**1 APARTMENTS TYPE J**  
3/8" = 1'-0"

C:\Shared drives\4350 Cleveland\Revit Model\4350 Cleveland Design JP.rvt

**SHEET NOTES**

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**LEGEND**

	WALL TAG		SWITCH (WITH DIMMER)		SMOKE DETECTOR
	WINDOW TAG		3 WAY SWITCH (WITH DIMMER)		CARBON MONOXIDE SENSOR
	DOOR TAG		OUTLET		
			GFI OUTLET		
			CEILING LIGHT		
			TRACK LIGHT		
			TV/CABLE		
			ELECTRICAL PANEL		
			VANITY LIGHT		

No.	Date	Description
1	Date 1	Revision 1

JSP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	As indicated

**ENLARGED APARTMENT TYPE J**

**A410**