STRUCTURAL

ENVISION ENGINEERING

ALEX BARAJAS

ENGINEER: ENVISIONSANDIEGO@SBCGLOBAL.NET

CIVIL ENGINEER:

MEP ENGINEER: PROENGINEERING

> RAMIN PARASI RAMIN@PROENGC.COM

DRY UTILITIES:

PROJECT DATA

PROJECT ADDRESS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

ASSESSOR'S PARCEL NUMBER

445-271-23-00

ZONING

RM-2-5 **LOT SIZE**

6,966 SF

HISTORIC DESIGNATION

NONE

Diego

OVERLAY ZONES

Transit Priority Area (TPA) Parking Standards Transit Priority Area (PSTPA)

Transit Area Overlay Zona (TAOZ) Affordable Housing Parking Demand (Yes: Medium)

San Diego Unified School District North Park Community Plan

Complete Communities Housing Solutions (CCHS) FAR Tier 2: 8.0

Complete Communities Mobility Choices (CCMC) Mobility Zone 2 Residential Tandem Parking Overlay Zone (RTPOZ) San Diego International Airport Influence Area (AIA) –Yes, San

International Airport. Review Area 2

GOVERNING CODES

2019 CALIFORNIA ADMINISTRATIVE CODE 2019 CALIFORNIA BUILDING CODE VOLUME 1

2019 CALIFORNIA BUILDING CODE VOLUME 2 2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ENERGY CODE

2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO REFERRED TO AS CALGREEN)

2019 CALIFORNIA REFERENCED STANDARDS CODE (HTML)

DEVELOPMENT INFORMATION

THE PROPOSED DEVELOPMENT IS TO BE SUBMITTED PER THE DEVELOPMENT REGULATIONS OF THE CITY OF SAN DIEGO'S COMPLETE COMMUNITIES PLAN. AFFORDABLE UNITS TO BE

COMPLETE COMMUNITIES: TIER 2 = 8.0 MAX AREA ALLOWED: 6,966SF X 8.0 = 55,968SF

ALLOCATED PER STIPULATED RATIO(S).

BUILDING DATA

CONSTRUCTION TYPE

TYPE 1-B

HEIGHT LIMIT

70'-6-9/16" TO HIGHEST OCCUPABLE FLOOR 91'-6-1/4" TO TOP OF STRUCTURE

NUMBER OF STORIES

PROPOSED: 8

CIRCULATION

NUMBER OF STAIRS: 2 INTERIOR STAIRS NUMBER OF ELEVATORS: 2 ELEVATORS

GROSS FLOOR AREA

PROPOSED: 53,000 SF

OCCUPANCY

S-2 - PARKING R-2 - RESIDENTIAL

PARKING

REQUIRED SPACES: 0

PROPOSED SPACES: 19 STANDARD SPACES +9 PLATFORM LIFT SPACES

FLOOR AREA RATIO (FAR)

COMPLETE COMMUNITIES: TIER 2 = 8.0 MAX AREA ALLOWED: 6,966SF X 8.0 = 55,968SF

FIRE SPRINKLERS

YES

FIRE SPRINKLERS: NFPA-13 FIRE ALARM SYSTEM NFPA-72 STANDPIPE: NFPA-14

LEGAL DESCRIPTION

LOTS NUMBERED 36 AND 37 IN BLOCK NUMBERED 96 OF UNIVERSITY HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF WHICH SAID MAP IS DULY RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, IN BOOK 8 OF LIS PENDENS, AT PAGE 36, ET. SEQ. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THE PROPOSED IS A PRIVATE HOUSING PROJECT AND IS PRIVATELY FUNDED.

DEFERRED SUBMITTALS

- AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13
- FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA-72, CBC 907.1, 907.2.9 SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE IN ACCORDANCE WITH CBC 907.2.11
- STANDPIPE SYSTEM IN ACCORDANCE WITH NFPA-14
- 4. EMERGENCY RESPONDER RADIO COVERAGE

I/WE UNDERSTAND THAT I/WE WILL NOT BE AUTHORIZED ANY INSPECTION OF THE DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS

CLEVELAND



SCOPE OF WORK

BUILDING, ELECTRICAL, MECHANICAL AND PLUMBING PERMITS FOR A NEW 8 STORY RESIDENTIAL BUILDING.

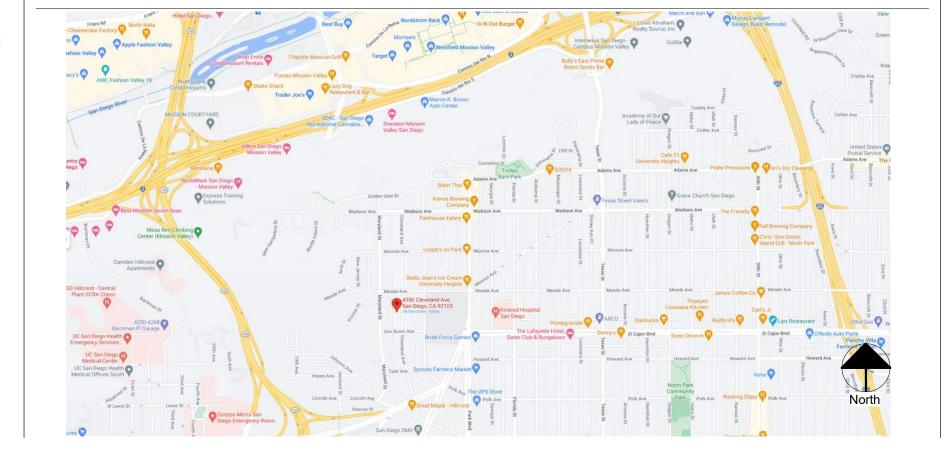
7-STORY RESIDENTIAL (49UNITS) AS PRIVATE HOUSING OVER 1-STORY GARAGE AND 1 SUBTERRANEAN GARAGE

SOURCE OF FUNDING FOR CONSTRUCTION OF PROPOSED HOUSING PROJECT IS PRIVATELY FUNDED.

EXPRESS PLAN CHECK

THIS PROJECT IS ELECTING TO PARTICIPATE IN THE EXPRESS PLAN CHECK.

VICINITY MAP



DRAWING INDEX

1-GENERAL

G001 COVER

G002 GENERAL NOTES + LEGENDS

MUNICIPAL CODE ANALYSIS

G004 BUILDING CODE ANALYSIS

G005 FIRE SEPARATION DETAILS

OPENING PROTECTION DIAGRAM

MEANS OF EGRESS

G007. MEANS OF EGRESS

G008 FIRE ACCESS PLAN

G009 ACCESSIBILITY DETAILS

G010 CAL GREEN NOTES

G011 CAL GREEN NOTES G012 CAL GREEN NOTES

G013 CAL GREEN NOTES

G014 CAL GREEN NOTES 4-LANDSCAPE

L-01 LANDSCAPE AREAS

L-02 LANDSCAPE NOTES / IRRIGATION PLAN

5-ARCHITECTURALS

A001 SITE PLAN

STREET LEVEL GARAGE

A101 CLEVELAND STREET ENTRY A102 LEVEL 2 APARTMENTS

A103 LEVEL 3 APARTMENTS

A104 LEVEL 4 APARTMENTS

A105 LEVEL 5 APARTMENTS

A106 LEVEL 6 APARTMENTS

LEVEL 7 APARTMENTS

ROOF **ELEVATIONS - NORTH AND SOUTH**

A202 SIDE ELEVATION A

SIDE ELEVATION B SECTION A & B

SECTION C

SECTION D SECTION E

ENLARGED APARTMENT TYPE A1

ENLARGED APARTMENT TYPE B

ENLARGED APARTMENT TYPE C

ENLARGED APARTMENT TYPE D A405 ENLARGED APARTMENT TYPE E

ENLARGED APARTMENT TYPE F

ENLARGED APARTMENT TYPE G

ENLARGED APARTMENT TYPE H ENLARGED APARTMENT TYPE I

ENLARGED APARTMENT TYPE J SCHEDULES

2039 O AVE NATIONAL CITY, CA 91950 JPONCE@JSPDESIGNSTUDIO.COM

S P DESIGN STUDIO

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STATED IN THIS NOTICE.

CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

Project Number jpcl01 05/30/2022

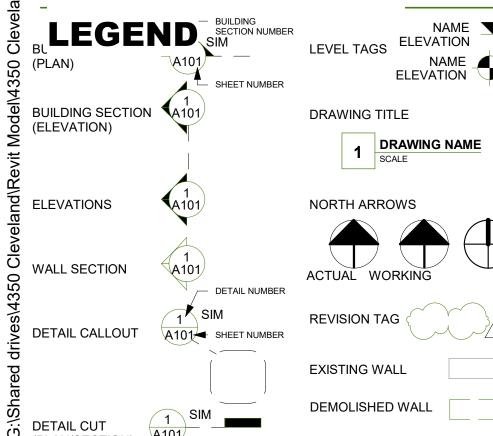
As indicated

Scale

COVER

LEGENDS

PLAN)	SECTION A101 SHEET NUMBER	DRAWIN	NAME ELEVATION
LE	RAWING SYNGEND BUILDING SECTION NUMBER		NAME NAME
LAV LF LL LW	LAVATORY LINEAR FOOT LIVE LOAD LIGHTWEIGHT	VV I	WEIGHT
ID INCL INSUL INT	INSIDE DIAMETER INCLUDED/INCLUDING INSULATION INTERIOR	W WC WD W/D W/O WP WT	WEST WATER CLOSET WOOD WASHER/DRYER WITHOUT WATERPROOF
HTG HVAC HW HYD	HEATING HEATING/VENTILATION/AIR CONDITIONING HOT WATER HYDRANT	VCT VIF VNR	VINYL COMPOSITION VERIFY IN FIELD VENEER
HGR HORIZ HP HT	HANGER HORIZONTAL HIGH PRESSURE HEIGHT	UBC	UNIVERSAL BUILDING CODE UNLESS OTHERWISE NOTED
GA GALV GC GEN GFI GL GPM GYP BD	GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GENERAL GROUND FAULT INTERRUPTER	THK TOB	TREAD TELEPHONE THRESHOLD TOP OF CONCRETE THICKNESS TOP OF BEAM TOP OF SLAB TOP OF WALL TELEVISION TYPICAL
FE FF FFE FFL FLUOR FOC FOS FP FRMG FT FTG FUT	FIRE EXTINGUISHER FINISH FLOOR FINISH FLOOR ELEVATION FINISH FLOOR LINE FLOOR FLUORESCENT FACE OF CONCRETE FACE OF STUD FIREPLACE FRAMING FEET FOOTING FUTURE	SF SHWR SHT SIM SPECS SS STD STL STOR STRUCT	SOLID CORE SCHEDULE SECTION
ELEV EOS EQ EQUIP EXH EXT FAU FCU FD	ELEVATION EDGE OF SLAB EQUAL EQUIPMENT EXHAUST EXTERIOR	REF REFR	RISER RETURN AIR ROOF DRAIN RADIUS REFERENCE REFRIGERATOR REQUIRED REVISION ROOM ROUGH OPENING
FIF	EAST EXISTING EACH EXPANSION BOLT EXPANSION JOINT ELECTRICAL	PSI PT PVC PVMT	POUNDS PER SQUAI INCH PRESSURE TREATED POLYVINYL CHLORIC PAVEMENT
DEMO DF DIA DIM DL DN DWG	DEMOLITION DOUGLAS FIR DIAMETER DIMENSION DEAD LOAD DOWN DRAWING	PCF PERF PLAS PLF PLY PNL PSF	POUNDS PER CUBIC PERFORATED PLASTER POUNDS PER LINEAR PLYWOOD PANEL POUNDS PER SQUAR FOOT
CBC CIP C.J. CLG CLR CMU COL CONC CONC CONT CTR	CALIFORNIA BUILDING CODE CAST-IN-PLACE CONCRETE CONTROL JOINT CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CENTER	NO NOM NTS OC OD OPNG OPP OH ORD	NUMBER NOMINAL NOT TO SCALE ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE OVERHEAD OVERFLOW ROOF D
BDLG BLKG BTWN	BUILDING BLOCKING BETWEEN	MTL MULL N NA	METAL MULLION NORTH NOT APPLICABLE
ALT	ADJACENT ABOVE FINISH FLOOR ALUMINUM ALTERNATE ARCHITECTURAL AVERAGE	MAX MECH MFR MICRO MIN MISC	MAXIMUM MECHANICAL MANUFACTURER MICROWAVE MINIMUM MISCELLANEOUS



(PLAN/SECTION) PROPOSED WALL RELATED DETAIL PROPERTY LINE --- - --A101\A101\ **CUT BELOW OR ABOVE** SETBACK LINE — — ROOM NAME **ROOM NAME WITH** ARROW INDICATED SITE FLOOR FINISH FLOOR FINISH DRAINAGE PATTERN DOOR TAG

WINDOW TAG

(101)

GRID LINE (

PROPOSED ADDITION

BUILDING NOTES

GENERAL NOTES

- The specifications, included herewith are an integral part of these contract documents and all conditions mentioned in either shall be executed as though specifically mentioned in both.
- 2 These plans and all new work shall comply with the California Building Standards Code found in the State of California - Title 24 CCR as amended and adopted by the City of San Diego.
- 3 Requirements of codes and regulations shall be considered as minimum. Where contract documents exceed w/o violating code and regulation requirements, contract documents shall take precedence where codes conflict, the more stringent shall apply.
- 4 Contractors/subcontractors shall field verify all locations dimensions and conditions of walls, doors, plumbing and mechanical.
- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.
- Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
- 8 During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1.
- 9 Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19.
- 10 Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.
- 11 Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 501.2.
- 12 A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.
- 13 Joints and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. (Section4.406.1)
- 14 Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content.
- 15 The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter.
- 16 Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)
- 17 A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.

18 An owner manual certificate should be completed and signed by

- 19 All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with Type X Gypsum Board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- 20 All electronically signed and registered certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of occupancy will not be issued until forms CF2R is reviewed and approved.
- 21 An electronically signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of occupancy will not be issued until CF3R is reviews and approved.
- 22 The structure will be located entirely on native/undisturbed soil.

GREEN BUILDING CODE

NOTES 1 Carpet and c

- carpet systems shall be compliant with VOC limits. (Section 4.504.3) A letter from the contractor subcontractor and or the building owner certifying what material used complies with the California Green Building Code.
- 80% of the floor area receiving resilient flooring shall comply with one or more of the following: 1. VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.

(RFCI) FloorScore program.

- 2. Products compliant with CHPS criteria certified under the Greenguard Children & School program. 3. Certification under the Resilient Floor Covering Institute
- 4. Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers, "Version 1.1, February 2010 (also known as Specification 01350)
- Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxic Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CALGREEN.
- A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
- Duct openings and other related air distribution component openings shall be covered during construction. (Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Section 4.504.2.1)
- Paints, stains and other coatings shall be compliant with VOC limits set in section Section 4.504.2.2 and Table 4.504.3 of CalGreen
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)"
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- 10 An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
- 1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change. 2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor.
- 12 All plumbing fixtures and fittings will be water conserving and will comply with the 2016 CGBSC Sec. 4.303.1. Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM). Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM). Provide water closet with a maximum flow of 1.28 gallons per flush (GPF).
- 13 Per 2016 CGBSC Sec 4.303.1.3.2. when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 PSI, or the shower shall be designed to allow one shower outlet to be in operation at a time. Handheld showers are considered showerheads.
- 14 Per 2016 CGBSC Sec. 4.303.2, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC.
- 15 Permanent vacuum breakers shall be included with all new hose
- 16 Per 2016 Green Code Sec. 4.503.1 any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
- 7 Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. Cold water connection only.
- 18 Per 2016 Green Code Sec 4.506.1 mechanical exhaust fans which exhaust directly from bathrooms shall comply with the 1. Fans shall be Energy Star compliant and be ducted to terminate outside the building.
 - 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- 19 Provide shower heads with a maximum flow of 2.0 gallons per
- 20 All new residential buildings (Single Family, Duplexes or Townhomes) shall be constructed to include waste piping to discharge grey water from clothes washers to a place where it may be used for outdoor irrigation, in compliance with Section 1602 of the California Plumbing Code.

STORM WATER REQUIREMENTS

DESIGN STUDIO

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CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

jpcl01 000000 **AHJ Project Number** 05/30/2022 1/2" = 1'-0"

JSP Project Number

GENERAL NOTES + **LEGENDS**

FAA	DETERMINATION LE	TTER	MUNICIPAL
·			ZONING APPLICABLE USES
BUIL	DING AREA FOR SC	HOOL FEES	

MUNICIPAL CODE ANALYSIS

REQUIREMENT

RM-3-9 MULTIPLE DWELLING UNITS CALCULATION/REFERENCE DIAGRAM

NOT APPLICABLE

NOT APPLICABLE

MUNICIPAL CODE SECTION

SDMC 131.0507 SDMC 131.0522 TABLE 131-05B J S P
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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

 JSP Project Number
 jpcl01

 AHJ Project Number
 000000

 Date
 05/30/2022

 Scale
 1/8" = 1'-0"

MUNICIPAL CODE ANALYSIS

2039 O AVE NATIONAL CITY, CA 91950 JPONCE@JSPDESIGNSTUDIO.COM

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4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

 JSP Project Number
 jpcl01

 AHJ Project Number
 000000

 Date
 05/30/2022

BUILDING CODE ANALYSIS

MIXED-OCCUPANCY, MULTISTORY BLDG. CALC.

CBC 506.2.4 EQUATION 5.3

ALLOWABLE AREA = Aa = (At + (NS X If))

PER TABLE 506.2 AND PER CONSTRUCTION TYPE 1B, ALLOWABLE AREA = UNLIMITED

S

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4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

JSP Project Number jpcl01

AHJ Project Number 000000

Date 05/30/2022

Scale

FIRE SEPARATION DETAILS

PARKING (RESIDENTIAL) FIRE SEPARATION AND ALLOWABLE OPENINGS

J S

2039 O AVE NATIONAL CITY, CA 91950 JPONCE@JSPDESIGNSTUDIO.COM

DESIGN STUDIO

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

JSP Project Number jpcl01

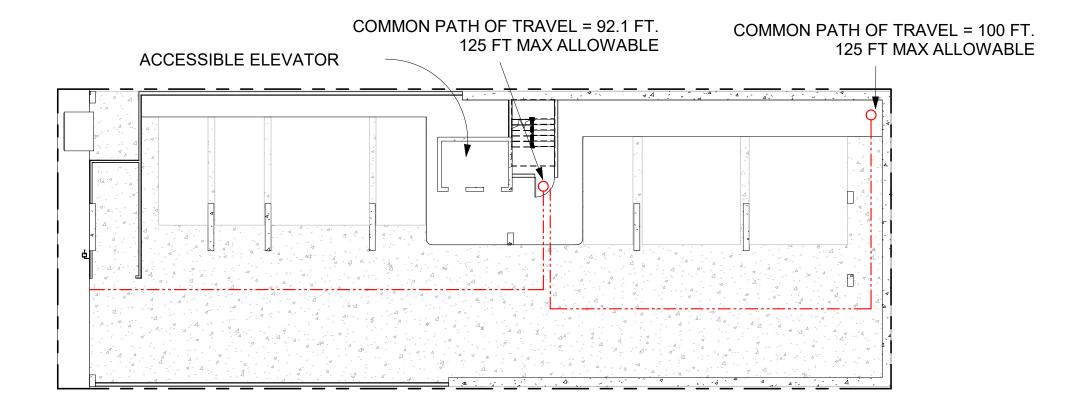
AHJ Project Number 000000

Date 05/30/2022

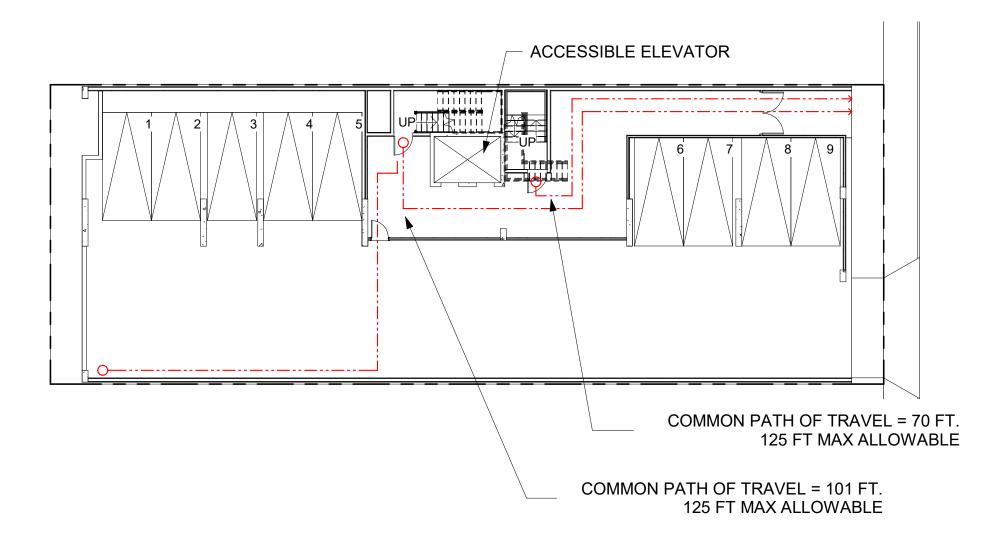
Scale

OPENING PROTECTION DIAGRAM

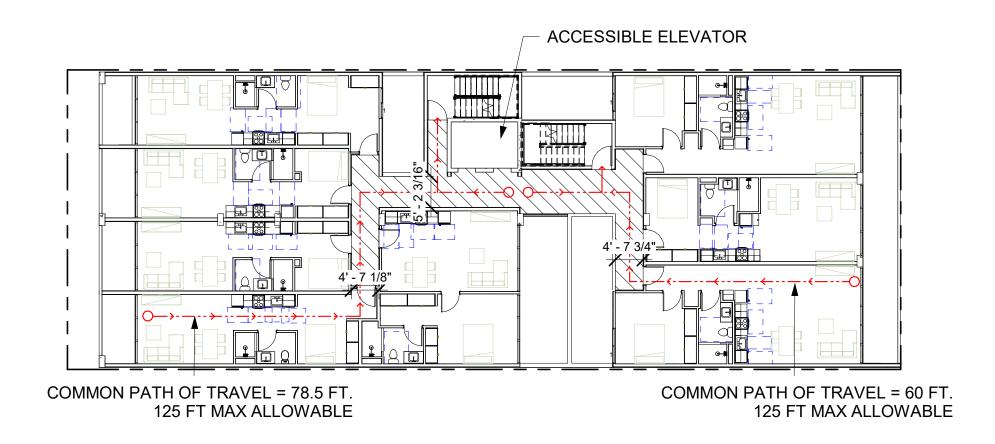
LEVEL 0 EGRESS PLAN



LEVEL 1 EGRESS PLAN



LEVELS 2 EGRESS PLAN



MEANS OF EGRESS SYSTEM DETAILS

THE MEANS OF EGRESS SYSTEM CONSISTS OF: SINGLE EXIT FROM INDIVIDUAL DWELLING UNITS LEADING TO A CORRIDOR, THEN TO TWO INTERIOR EXIT STAIRWAYS, WHICH LEAD TO EITHER AN EXIT PASSAGEWAY AND EXIT DISCHARGE (STAIR 1) OR DIRECTLY TO AN EXIT DISCHARGE (STAIR 2).

1004 OCCUPANT LOAD (SEE CALC. FOR DETAILS)

= 25 OCCUPANTS FLOOR ZERO FIRST FLOOR = 23 OCCUPANTS SECOND FLOOR = 26 OCCUPANTS THIRD FLOOR = 26 OCCUPANTS FOURTH FLOOR = 26 OCCUPANTS = 26 OCCUPANTS FIFTH FLOOR SIXTH FLOOR = 26 OCCUPANTS SEVENTH FLOOR = 26 OCCUPANTS = 25 OCCUPANTS EIGHT FLOOR

1005 MEANS OF EGRESS SIZING

1005.3.1 STAIRWAYS 26 OCCUPANTS X .3 IN PER OCCUPANT = 7.8 = 8

REFER TO 1009 FOR MIN SIZING OF COMPONENTS

1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS

RESIDENTIAL UNITS

1006.2.1 IN GROUP R-2 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 (3 OCCUPANT MAX PROVIDED< 10 MAX) WHERE THE DWELLING UNIT IS EQUIPPED THROUGH-OUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH

MAX PROVIDED < 125' MAX)

MINIMUM NUMBER OF EXITS PER STORY

PER TABLE 1006.3.1 THE MINIMUM NUMBER OF EXITS STORIES PER FOR AN OCCUPANT LOAD OF 26 IS 2.

1007 EXIT AND EXIT ACCESS DOORWAY CONFIGURATION

PER 1007.1.1 EXCEPTION 2 WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE SHALL BE NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

142' -3" DIAGONAL BLOG PROVIDED *.33 = 47' - 4" SEPARATION DISTANCE (48' - 3" PROVIDED).

SECTION 903.3.1.1 OR 903.3.1.2 AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET (73.5'

1008 MEANS OF EGRESS ILLUMINATION

SEE ELECTRICAL DRAWINGS

1011 STAIRWAYS

1 PER 1011.2 EXCEPTION 1 STAIRWAY SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES. (36" PROVIDED = 36" MIN REQ)

MEANS OF EGRESS SYSTEM DETAILS

FLOOR ZERO (25 TOTAL) UNIT 101 (B OCCUPANCY) = 4,848 SF. / 200 GROSS = 24.24 OR 25 FIRST FLOOR (23 TOTAL) PARKING (B OCCUPANCY) = 4493 SF. / 200 GROSS = 22.47 OR 23 SECOND FLOOR (26 TOTAL) UNIT 201 648 SF / 200 GROSS UNIT 202 489 SF / 200 GROSS = 24 40 OR 3 UNIT 204 489 SF / 200 GROSS = 2.24 OR 3 UNIT 205 468 SF / 200 GROSS = 2.29 FOR 3 UNIT 206 468 SF / 200 GROSS = 2.29 FOR 3 UNIT 207 414 SF / 200 GROSS = 2.07 OR 3 UNIT 208 411 SF / 200 GROSS = 2.07 OR 3 UNIT 208 411 SF / 200 GROSS = 2.07 OR 3 UNIT 208 411 SF / 200 GROSS = 2.08 OR 3 UNIT 300 498 SF / 200 GROSS = 2.24 OR 3 UNIT 301 648 SF / 200 GROSS = 2.24 OR 3 UNIT 304 648 SF / 200 GROSS = 2.24 OR 3 UNIT 305 468 SF / 200 GROSS = 2.20 FOR 3 UNIT 306 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 306 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 306 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 307 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 308 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 308 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 308 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 308 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 308 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 405 468 SF / 200 GROSS = 2.20 FOR 3 UNIT 405 468 SF / 200 GROSS = 2.20 FOR 3 UNIT 405 468 SF / 200 GROSS = 2.20 FOR 3 UNIT 406 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 407 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 408 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 409 408 SF / 200 GROSS = 2.20 FOR 3 UNIT 407 414 SF / 200 GROSS = 2.20 FOR 3 UNIT 408 411 SF / 200 GROSS = 2.20 FOR 3 UNIT 409 408 SF / 200 GROSS = 2.30 OR 3 UNIT 407 414 SF / 200 GROSS = 2.30 OR 3 UNIT 408 411 SF / 200 GROSS = 2.30 OR 3 UNIT 409 408 SF / 200 GROSS = 2.30 OR 3 UNIT 409 408 SF / 200 GROSS = 2.30 OR 3 UNIT 409 408 SF / 200 GROSS = 2.30 OR 3 UNIT 409 408 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 500 608 SF / 200 GROSS = 2.30 OR 3 UNIT 5				
SECOND FLOOR (26 TOTAL) UNIT 201 648 SF / 200 GROSS	FLOOR ZERO (25 TOTAL)	UNIT 101 (I	B OCCUPANCY)	= 4,848 SF. / 200 GROSS = 24.24 OR <u>25</u>
UNIT 202	FIRST FLOOR (23 TOTAL)	PARKING ((B OCCUPANCY)	= 4493 SF. / 200 GROSS = 22.47 OR <u>23</u>
UNIT 302	SECOND FLOOR (26 TOTAL)	UNIT 202 UNIT 203 UNIT 204 UNIT 205 UNIT 206 UNIT 207	498 SF / 200 GROSS 648 SF / 200 GROSS 594 SF / 200 GROSS 465 SF / 200 GROSS 414 SF / 200 GROSS 414 SF / 200 GROSS	= 2.49 OR $\frac{3}{3}$ = 3.24 OR $\frac{4}{4}$ = 2.97 OR $\frac{3}{3}$ = 2.33 OR $\frac{3}{3}$ = 2.07 OR $\frac{3}{3}$
UNIT 402	THIRD FLOOR (26 TOTAL)	UNIT 302 UNIT 303 UNIT 304 UNIT 305 UNIT 306 UNIT 307	498 SF / 200 GROSS 648 SF / 200 GROSS 594 SF / 200 GROSS 465 SF / 200 GROSS 414 SF / 200 GROSS 414 SF / 200 GROSS	= 2.49 OR $\frac{3}{3}$ = 3.24 OR $\frac{4}{4}$ = 2.97 OR $\frac{3}{3}$ = 2.33 OR $\frac{3}{3}$ = 2.07 OR $\frac{3}{3}$
UNIT 502	FOURTH FLOOR (26 TOTAL)	UNIT 402 UNIT 403 UNIT 404 UNIT 405 UNIT 406 UNIT 407	498 SF / 200 GROSS 648 SF / 200 GROSS 594 SF / 200 GROSS 465 SF / 200 GROSS 414 SF / 200 GROSS 414 SF / 200 GROSS	= 2.49 OR $\frac{3}{3}$ = 3.24 OR $\frac{4}{4}$ = 2.97 OR $\frac{3}{3}$ = 2.33 OR $\frac{3}{3}$ = 2.07 OR $\frac{3}{3}$ = 2.07 OR $\frac{3}{3}$
UNIT 602	FIFTH FLOOR (26 TOTAL)	UNIT 502 UNIT 503 UNIT 504 UNIT 505 UNIT 506	498 SF / 200 GROSS 648 SF / 200 GROSS 601 SF / 200 GROSS 621 SF / 200 GROSS 549 SF / 200 GROSS	= 2.49 OR <u>3</u> = 3.24 OR <u>4</u> = 3.01 OR <u>4</u> = 3.11 OR <u>4</u> = 2.75 OR <u>3</u>
UNIT 702	SIXTH FLOOR (26 TOTAL)	UNIT 602 UNIT 603 UNIT 604 UNIT 605 UNIT 606	498 SF / 200 GROSS 648 SF / 200 GROSS 601 SF / 200 GROSS 621 SF / 200 GROSS 549 SF / 200 GROSS	= 2.49 OR $\frac{3}{4}$ = 3.24 OR $\frac{4}{4}$ = 3.01 OR $\frac{4}{4}$ = 3.11 OR $\frac{4}{5}$ = 2.75 OR $\frac{3}{5}$
UNIT 802 498 SF / 200 GROSS = 2.49 OR $\frac{3}{2}$ UNIT 803 648 SF / 200 GROSS = 3.24 OR $\frac{4}{2}$ UNIT 804 601 SF / 200 GROSS = 3.01 OR $\frac{4}{2}$	SEVENTH FLOOR (26 TOTAL)	UNIT 702 UNIT 703 UNIT 704 UNIT 705 UNIT 706	498 SF / 200 GROSS 648 SF / 200 GROSS 601 SF / 200 GROSS 621 SF / 200 GROSS 549 SF / 200 GROSS	= 2.49 OR <u>3</u> = 3.24 OR <u>4</u> = 3.01 OR <u>4</u> = 3.11 OR <u>4</u> = 2.75 OR <u>3</u>
	EIGHT FLOOR (25 TOTAL)	UNIT 802 UNIT 803 UNIT 804	498 SF / 200 GROSS 648 SF / 200 GROSS 601 SF / 200 GROSS	= 2.49 OR <u>3</u> = 3.24 OR <u>4</u> = 3.01 OR <u>4</u>

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DRAWINGS.

CLEVELAND ST. APARTMENTS

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Date Description

Date 1 Revision 1

 JSP Project Number
 jpcl01

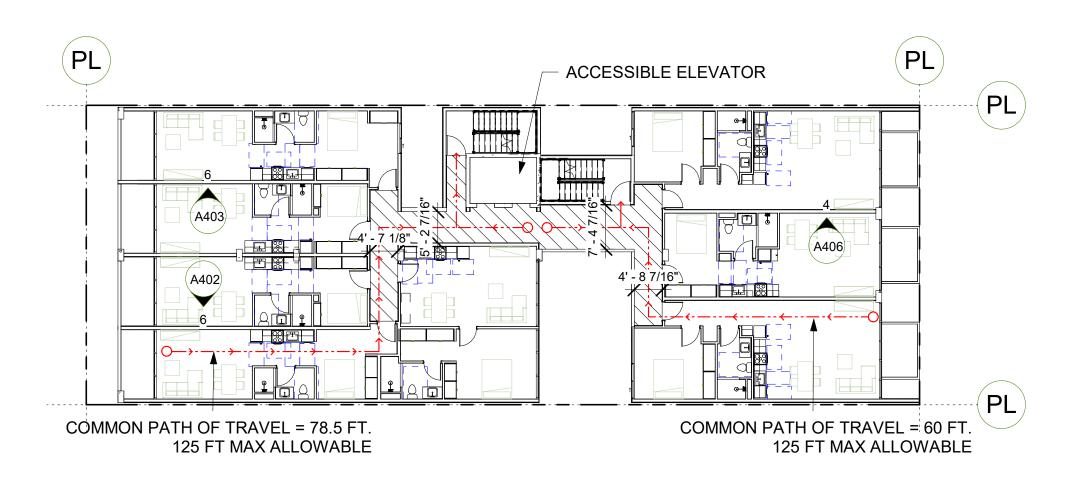
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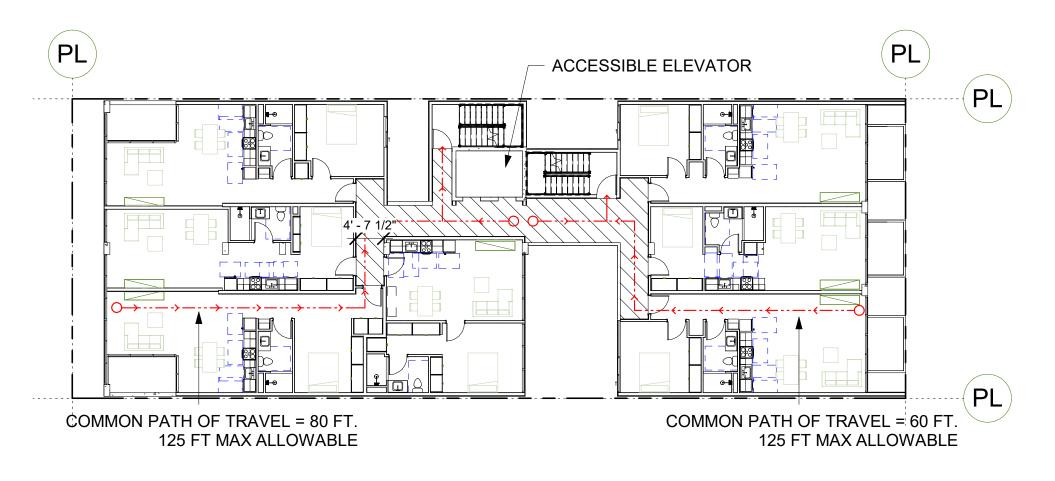
 Scale
 1/16" = 1'-0"

MEANS OF EGRESS

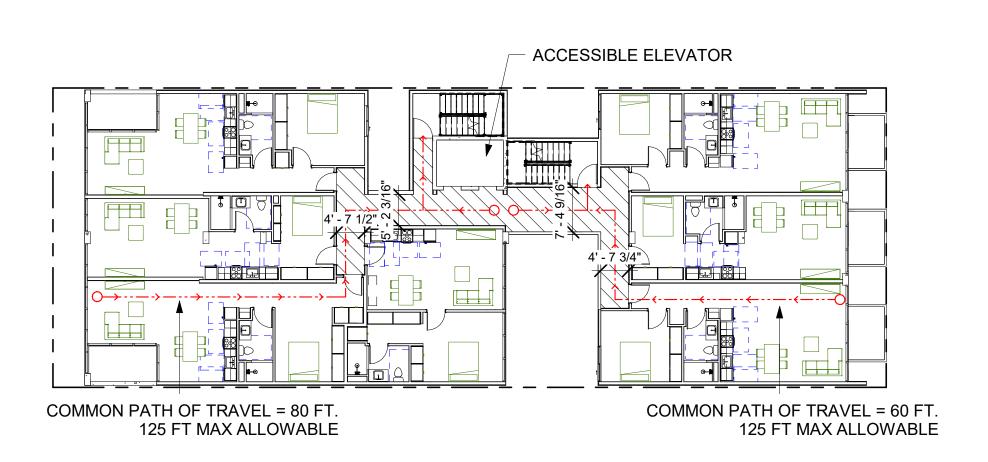
LEVEL 3-4 EGRESS PLAN



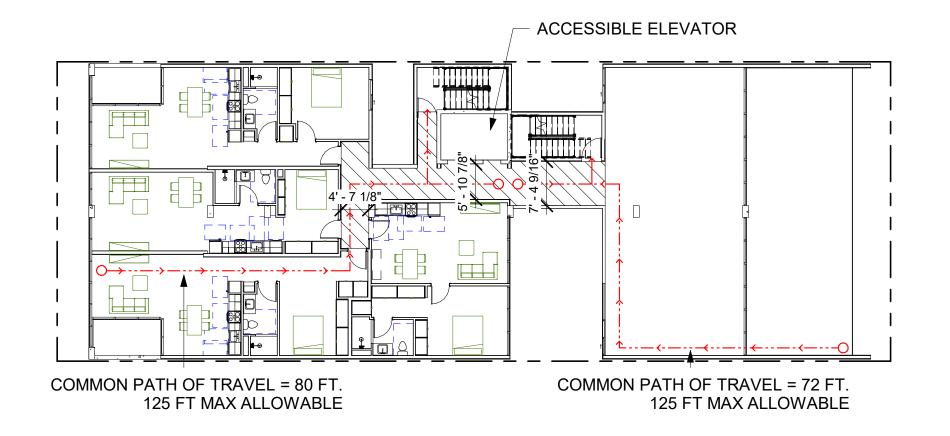
LEVEL 5-6 EGRESS PLAN



LEVELS 7 EGRESS PLAN



LEVEL 8 EGRESS PLAN



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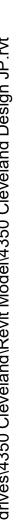
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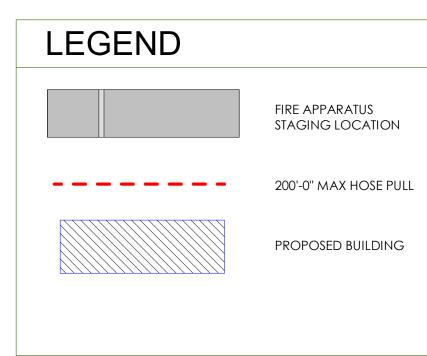
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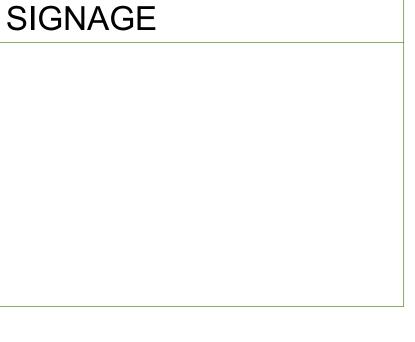
MEANS OF EGRESS

G007.5









FIRE ACCESS PLAN NOTES

- 1. CFC 105.4.4 CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INENT THAT SUCH CONSTRCTION DOCUMENTS COMPL IN ALL RESPECTS WITH THE CFC/CBC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIOEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THESE CODES.
- BUILDING ADDRESS NUMBER(S) LOCATION(S) SHALL BE VISIBLE AND LEGIBLE FROM THE STREET/ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209
- 3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACES SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3
- 4. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4
- AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S). SEE FPB POLIOCY A-14-1.
- POST INDICATOR VALAVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. CFC 912.2.1
- 7. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE ETERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINEO WHEN THE FIRE ENINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
- 8. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
- 9. ALL RED CURB/NO PARKING SIGN AREAS HAVE BEEN SHOWN WITH A KEY INDICATOR. ALL REQUIRED ACCESS ROADWAYS SHALL NOT PROVIDE LESS THAN THE REQUIRED/APPROVED WIDTH AND/OR BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE INADEQUATE WIDTH HAS NOT PROVIDED FOR PARING ALONG ACCESS ROADWAYS, THEN SUCH ACCESS SHALL BE KEPTR CLEAR BY THE POSTING OF SIGNS OR THE PAINTIN OF CURBS PER POLICY A-14-1.
- 10. THE LOCATION(S) OF AN APPROVED "KNOX" KEY BOX ARE SHOWN ON THE FAP AND FOLLOW THE SAN DIEGO FIRE DEPARTMENT FPB POLICY K-15-2
- 11. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM AND/OR KNOX KEYSWITCH OVERRIDE SHALL BE PROVIDED FOR ALL VEHICLE ENTRY AND/OR EMERGENCY VEHICLE ENTRYY POINTS TO THE PROJECT SITE; LOCATIONS TO BE APPROVED BY FIRE ACCESS REVIEWER. CFC SECTION 506
- 12. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-BC SHALL BE PROVIDED WTIHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. CFC SEC. 906
- 13. STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A10BC) AS FOLLOWS:
 - A. AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - B. IN EVERY STORAGE AND CONSTRUCTION SHED.
 - C. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS. CFC 3315
- 14. PROVIDE STAIRWAY IDENTIFICATION SINS PER CFC 1023.9-1023.9.1
 15. CFC 504.3 NEW BUILDINGS FOUR OR MORE STORIES ABOVE RADE PLANE EXCEPT THOSE WITH A ROOF SLOPE GREATER THAT FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL SHALL BE PROVIDED WITH A STAIRWAY TO THE ROOF IN ACCORDANCE WTIH 1011.12. SUCH A STAIRWAY SHALL BE MARKED AT STREET AND FLOOR LEVELS WITH A SIGN INDICATING THAT THE STAIRWAY CONTINUES TO THE ROOF.
- 6. EXTERIOR DOORS AND OPENINGS REQUIRED BY CFC/CBC SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCYY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL. CFC SEC. 504
- 17. A CLASS I (OR I AND II OR III STANDPIPE OUTLET CONNECTION IS REQUIRED IN OCC. OF OR MORE STORIES AT EVERY FLOOR-LEVEL CONNECTION OF EVERY REQUIRED STAIRWAY ABOVE OR BELOW GRADE. OUTLETS AT STAIRWAYS SHALL BE LOCATED WITHIN AN EXIT ENCLOSURE OR, IN THE CASE OF PRESSURIZED ENCLOSURES, WITHIN THE VESTIBULE OR EXTERIOR BALCONY, GIVING ACCESS TO THE STAIRWAY. THERE SHALL BE AT LEAST 1 OUTLET ABOVE THE ROOF LINE WHEN THE ROOF HAS A SLOPE OF LESS THAN 4/12 UNITS HORIZONTAL. IN BUILDINGS WHERE MORE THAN 1 STANDPIPE IS PROVIDED, THE STANDPIPES SHALL BE INTERCONNECTED. CFC 905.
- 18. EVERY BUILDING FOUR STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ON STANDPIPE FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 3313.1. STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
- 19. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- 20. DECORATIVE MATERIALS SHALL BE PROVIDED AND/OR MAINTAINED IN A FLAME-RETARDANT CONDITION. CFC SEC. 804
- 21. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF
- 2. FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VLAVES, OR OTHER FIRE DETECTION, SUPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.

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No. Date Description

JSP Project Number jpcl01
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Date 05/30/2022
Scale As indicated

FIRE ACCESS PLAN

DESIGN STUDIO

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4350 CLEVELAND AVE, SAN DIEGO, CA 92103

jpcl01 JSP Project Number 000000 AHJ Project Number 05/30/2022

ACCESSIBILITY **DETAILS**



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES
N/A = NOT APPLICABL
RESPON. PARTY = RESPONSIBLE F

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<u> </u>	RESIDENTIAL MANL	DATORY MEASURES, SHEET	l (January 2020, Includes August 2019 Supplen	Pent) Y = YES N/A = NOT APPLICABLE RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)
Y N/A RESPON	GREEN BUILDING	Y TY	N/A RESPON. PARTY	N/A RESPON. PARTY
	SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code,	4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: 1. The EV space shall be located adjacent to an accessible parking space meeting the	DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and	DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
	but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the	requirements of the <i>California Building Code</i> , Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route, as defined in the <i>California Building Code</i> , Chapter 2, to the building.	urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,	4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
	Specific area of the addition or alteration. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate	Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3. Note: Electric Vehicle charging stations serving public housing are required to comply with the California	completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per	4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.
	of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of	4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm).	flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or
	individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.		4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads.	recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan
	SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.	4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-	 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one 	in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
	ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety	volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit	showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.	Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). Identify diversion facilities where the construction and demolition waste material collected will be taken. Identify construction methods employed to reduce the amount of construction and demolition waste
	OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New	installation of a branch circuit overcurrent protective device. 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system,	4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall	generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the
	CHAPTER 4 RESIDENTIAL MANDATORY MEASURES	including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.	not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.	enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
	DIVISION 4.1 PLANNING AND DESIGN SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS	4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.	 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not 	4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1
	The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials	4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces. Notes:	to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.	4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates
	such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes,	 Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 	4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> .	compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4 Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage	4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.	THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. TABLE - MAXIMUM FIXTURE WATER USE	documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION
	during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar	TABLE 4.106.4.3.1 TOTAL NUMBER OF PARKING NUMBER OF REQUIRED EV SPACES	FIXTURE TYPE SHOWER HEADS (RESIDENTIAL) FLOW RATE 1.8 GMP @ 80 PSI	4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: Directions to the owner or occupant that the manual shall remain with the building throughout the
	disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.	0-9 0 10-25 1	LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS 0.5 GPM @ 60 PSI	life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
	(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface	26-50 2 51-75 4 76-100 5	KITCHEN FAUCETS 1.8 GPM @ 60 PSI METERING FAUCETS 0.2 GAL/CYCLE WATER CLOSET 1.28 GAL/FLUSH	b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
	water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains	101-150 7 151-200 10 201 and over 6 percent of total	URINALS 0.125 GAL/FLUSH 4.304 OUTDOOR WATER USE	 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
	4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path.	4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486mm).	4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. NOTES:	 Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. Information about state solar energy and incentive programs available. A copy of all special inspections verifications required by the enforcing agency or this code.
	4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions:	2. The minimum width of each EV space shall be 9 feet (2743mm) 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.	1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/	4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling
	 On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: Where there is no commercial power supply. Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 	 4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4. 4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5. 4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B. 		exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.
	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	DIVISION 4.2 ENERGY EFFICIENCY 4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.		DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS
	4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".			The following terms are defined in Chapter 2 (and are included here for reference) AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.
	4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.			COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.
	1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.			DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.
	4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.			

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2039 O AVE NATIONAL CITY, CA 91950 JPONCE@JSPDESIGNSTUDIO.COM

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NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

DRAWINGS.

CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

JSP Project Number jpcl01

AHJ Project Number 000000

Date 05/30/2022

Scale

CAL GREEN NOTES



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER
OWNER. CONTRACTOR. INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC).

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor prossures greater than 0.1 millimeters of mercury at room temporature. These compounds twicelly contain

with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed

woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
 Field verification of on-site product containers.
- TABLE 4.504.1 ADHESIVE VOC LIMIT_{1,2} (Less Water and Less Exempt Compounds in Grams per Liter) ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES 150 WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS 510 PVC WELDING 490 CPVC WELDING 325 PLASTIC CEMENT WELDING 250 550 ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE 250 SPECIAL PURPOSE CONTACT ADHESIVE 140 STRUCTURAL WOOD MEMBER ADHESIVE 250 TOP & TRIM ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS 30 METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD)
- 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
- 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE. SEE SOUTH COAST AIR
- THE VOC CONTENT SPECIFIED IN THIS TABLE, SEI QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT			
(Less Water and Less Exempt Compounds in Grams per Liter)			
SEALANTS	VOC LIMIT		
ARCHITECTURAL	250		
MARINE DECK	760		
NONMEMBRANE ROOF	300		
ROADWAY	250		
SINGLE-PLY ROOF MEMBRANE	450		
OTHER	420		
SEALANT PRIMERS			
ARCHITECTURAL			
NON-POROUS	250		
POROUS	775		
MODIFIED BITUMINOUS	500		
MARINE DECK	760		
OTHER	750		

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

| ARCHITECTURAL COATINGS $_{2:3}$

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
NDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	200
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD COATINGS WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ZINC-RICH PRIMERS 340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS

		TABLE 4 FOA F FORMAL DELIVER LI	MITO
		TABLE 4.504.5 - FORMALDEHYDE LI	
		MAXIMUM FORMALDEHYDE EMISSIONS IN PAR PRODUCT	CURRENT LIMIT
		HARDWOOD PLYWOOD VENEER CORE	0.05
		HARDWOOD PLYWOOD COMPOSITE CORE	0.05
		PARTICLE BOARD	0.09
		MEDIUM DENSITY FIBERBOARD	0.11
		THIN MEDIUM DENSITY FIBERBOARD2	0.13
		VALUES IN THIS TABLE ARE DERIVED FROM	
		BY THE CALIF. AIR RESOURCES BOARD, AIR TO MEASURE FOR COMPOSITE WOOD AS TESTED WITH ASTM E 1333. FOR ADDITIONAL INFORMATIONS, TITLE 17, SECTIONS 93120.12.	DXICS CONTROL IN ACCORDANCE ATION, SEE CALIF.
		2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	MAXIMUM
		DIVISION 4.5 ENVIRONMENTAL QUAI 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior	LITY (continued) shall meet the testing and product
		requirements of at least one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for	the Testing and Evaluation of Volatile
		Organic Chemical Emissions from Indoor Sources Using Env February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold.	
5		4.504.3.1 Carpet cushion. All carpet cushion installed in the buil requirements of the Carpet and Rug Institute's Green Label programmer.	
=		4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the re	equirements of Table 4.504.1.
3		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is resilient flooring shall comply with one or more of the following:	s installed , at least 80% of floor area receiv
		 Products compliant with the California Department of Public F Evaluation of Volatile Organic Chemical Emissions from Indo Version 1.1, February 2010 (also known as Specification 013 in the Collaborative for High Performance Schools (CHPS) H Products certified under UL GREENGUARD Gold (formerly the Certification under the Resilient Floor Covering Institute (RFC). Meet the California Department of Public Health, "Standard Meet the California Department of Public Health," 	or Sources Using Environmental Chambers 50), certified as a CHPS Low-Emitting Mate ligh Performance Products Database. The Greenguard Children & Schools program CI) FloorScore program. Method for the Testing and Evaluation of
		Volatile Organic Chemical Emissions from Indoor Sources Us February 2010 (also known as Specification 01350). 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particle	
		composite wood products used on the interior or exterior of the building formaldehyde as specified in ARB's Air Toxics Control Measure for Conby or before the dates specified in those sections, as shown in Table 4.	s shall meet the requirements for nposite Wood (17 CCR 93120 et seq.),
<u> </u>		4.504.5.1 Documentation. Verification of compliance with this s by the enforcing agency. Documentation shall include at least on1. Product certifications and specifications.	
		 Chain of custody certifications. Product labeled and invoiced as meeting the Composit CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 of Wood Association, the Australian AS/NZS 2269, Europ 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 	or PS-2 standards of the Engineered Dean 636 3S standards, and Canadian CSA
		4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the	California Building Standards Code.
<u> </u>		4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundation California Building Code, Chapter 19, or concrete slab-on-ground floors California Residential Code, Chapter 5, shall also comply with this section.	required to have a vapor retarder by the
<u> </u>		4.505.2.1 Capillary break. A capillary break shall be installed in following:	compliance with at least one of the
		 A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) o a vapor barrier in direct contact with concrete and a co shrinkage, and curling, shall be used. For additional in ACI 302.2R-06. Other equivalent methods approved by the enforcing a 3. A slab design specified by a licensed design profession 	ncrete mix design, which will address bleed formation, see American Concrete Institute gency.
]		4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building shall not be installed. Wall and floor framing shall not be enclosed wher moisture content. Moisture content shall be verified in compliance with	materials with visible signs of water damagenthe framing members exceed 19 percent
		 Moisture content shall be determined with either a probe-type moisture verification methods may be approved by the enforce found in Section 101.8 of this code. 	or contact-type moisture meter. Equivalent sing agency and shall satisfy requirements
		 Moisture readings shall be taken at a point 2 feet (610 mm) to of each piece verified. At least three random moisture readings shall be performed acceptable to the enforcing agency provided at the time of approximately acceptable. 	on wall and floor framing with documentation
		Insulation products which are visibly wet or have a high moisture conter enclosure in wall or floor cavities. Wet-applied insulation products shall recommendations prior to enclosure.	nt shall be replaced or allowed to dry prior to follow the manufacturers' drying
<u> </u>		4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanical following:	ly ventilated and shall comply with the
		Fans shall be ENERGY STAR compliant and be ducted to ter Unless functioning as a component of a whole house ventilat humidity control.	
		a. Humidity controls shall be capable of adjustment betwee	
		equal to 50% to a maximum of 80%. A humidity control adjustment.b. A humidity control may be a separate component to the integral (i.e., built-in)	•
		 For the purposes of this section, a bathroom is a room tub/shower combination. Lighting integral to bathroom exhaust fans shall comply 	

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ASHRAE handbooks or other equivalent design software or methods.

Equipment Selection), or other equivalent design software or methods.

The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
 Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Exception: Use of alternate design temperatures necessary to ensure the system functions are

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs.
- Public utility training programs.
 Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations.5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors.

 3. Successful completion of a third party apprentice training program in the appropriate trade.

4. Other programs acceptable to the enforcing agency.

- 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- project they are inspecting for compliance with this code.
 HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

2039 O AVE NATIONAL CITY, CA 91950

JPONCE@JSPDESIGNSTUDIO.COM

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

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JSP Project Number jpcl01

AHJ Project Number 000000

Date 05/30/2022

Scale

CAL GREEN NOTES

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2,

necessary to establish and maintain tree health shall comply with Section 5.304.6.

to provide shade over 50 percent of the parking area within 15 years.

provide shade over 20 percent of the hardscape area within 15 years.

Appendix A5, are not included in the total area calculation.

included in the total area calculations.

DIVISION 5.2 ENERGY EFFICIENCY

the amount of water that needs to be applied to the landscape.

volume or cycle duration can be fixed or adjustable.

not including exterior areas such as stairs, covered walkways, patios and decks.

Water Standards. See definition in the California Plumbing Code, Part 5.

SECTION 5.303 INDOOR WATER USE

Specification for Tank-Type toilets.

5.303.3.2 Urinals.

two reduced flushes and one full flush.

0.125 gallons per flush.

5.303.3.3 Showerheads. [BSC-CG]

not exceed 0.5 gallons per flush.

WaterSense Specification for Showerheads.

allow only one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

treated to remove waste matter attaining a quality that is suitable to use the water again.

SECTION 5.201 GENERAL

SECTION 5.301 GENERAL

SECTION 5.302 DEFINITIONS

and in wastewater conveyance

as effective as the MWELO.

Having Jurisdiction.

provide shade of 20% of the landscape area within 15 years.

and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed

Exceptions: The surface parking area covered by solar photovoltaic shade structures, or shade

structures, with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5, are not

5.106.12.2 Landscape areas. Shade tress plantings, minimum #10 container size or equal shall be installed to

Exceptions: Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to

5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency

5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors

EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to

reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which ae two major influences on

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade,

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The

GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that

has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape

design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed

landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and

maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least

POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic puroses, and meets the U.S.

SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose, such as landscape irrigation. For the purposes of CALGreen, a dedicated meter may be considered a submeter.

WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied

5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows:

1. For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners,

restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.

2. Where separate submeters for individual building tenants are unfeasible, for water supplied to the

a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).

c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).

5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant

5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per

flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of

5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed

5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall

5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8

gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA

5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one

showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a

single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to

water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape

5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections

b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s).

within a new building or within an addition that is projected to consume more than 1,000 gal/day.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and

urinals) and fittings (faucets and showerheads) shall comply with the following:

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance

(California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking

Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water

bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or

washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or

operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom

standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference)

Exceptions: Walks, hardscape areas covered by solar photovoltaic shade structures, and hardscape

areas covered by shade structures with roofing materials that comply with Table A5.106.11.2.2 in

CHAPTER 3 **GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no 301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only: Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance. 301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work. 301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC) **SECTION 302 MIXED OCCUPANCY BUILDINGS** 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. **SECTION 303 PHASED PROJECTS** 303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply. **303.1.1 Initial Tenant improvements.** The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations. **ABBREVIATION DEFINITIONS:** Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety Office of Statewide Health Planning and Development OSHPD High Rise AA Additions and Alterations NONRESIDENTIAL MANDATORY MEASURES **DIVISION 5.1 PLANNING AND DESIGN SECTION 5.101 GENERAL** 5.101.1 SCOPE The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties. **SECTION 5.102 DEFINITIONS** 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire. LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following: 1. Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT ZEV) or CNG fueled (original equipment manufacturer only) regulated under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962. 2. High-efficiency vehicles, regulated by U.S. EPA, bearing High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles. NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards. TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors. VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing. Note: Source: Vehicle Code, Division 1, Section 668 **ZEV.** Any vehicle certified to zero-emission standards. **SECTION 5.106 SITE DEVELOPMENT** 5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE **OF LAND.** Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures: 5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control **5.106.1.2 Best Management Practices (BMPs).** Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs. 1. Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Scheduling construction activity during dry weather, when possible. b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Drainage swales or lined ditches to control stormwater flow. d. Mulching or hydroseeding to stabilize disturbed soils. Erosion control to protect slopes. Protection of storm drain inlets (gravel bags or catch basin inserts). Perimeter sediment control (perimeter silt fence, fiber rolls). Sediment trap or sediment basin to retain sediment on site. Stabilized construction exits. Wind erosion control. . Other soil loss BMPs acceptable to the enforcing agency.

2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges

are not limited to, the following:

a. Dewatering activities.

b. Material handling and waste management.

Building materials stockpile management.

Management of washout areas (concrete, paints, stucco, etc.).

e. Control of vehicle/equipment fueling to contractor's staging area.

h. Other housekeeping BMPs acceptable to the enforcing agency.

. Vehicle and equipment cleaning performed off site.

and wastes that should be considered for implementation as appropriate for each project include, but

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale. Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit). The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measures. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency. Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

added, with a minimum of one two-bike capacity rack.

spaces with a minimum of one bicycle parking facility.

be convenient from the street and shall meet one of the following:

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter. **5.106.4.1.1 Short-term bicycle parking.** If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors'

entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being

Exception: Additions or alterations which add nine or less visitor vehicular parking spaces. **5.106.4.1.2 Long-term bicycle parking.** For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.

5.106.4.1.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the

anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility. **5.106.4.1.5** Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall

1. Covered, lockable enclosures with permanently anchored racks for bicycles;

2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building. **5.106.4.2.2 Staff bicycle parking.** Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

1. Covered, lockable enclosures with permanently anchored racks for bicycles; 2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as follows:

TABLE 5.106.5.2 - PARKING		
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES	
0-9	0	
10-25	1	
25-50	3	
51-75	6	
76-100	8	
101-150	11	
151-200	16	
201 AND OVER	AT LEAST 8% OF TOTAL	

5.106.5.2.1 - Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR / VAN POOL / EV

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

The type and location of the EVSE.

2. A listed raceway capable of accommodating a 208/240 -volt dedicated branch circuit. 3. The raceway shall not be less than trade size 1".

4. The raceway shall originate at a service panel or a subpanel serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and listed

suitable cabinet, box, enclosure or equivalent. 5. The service panel or subpanel shall have sufficient capacity to accommodate a minimum

40-ampere dedicated branch circuit for the future installation of the EVSE. **5.106.5.3.2 Multiple charging space requirements. [N]** When multiple charging spaces are

required per Table 5.106.5.3.3 raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

1. The type and location of the EVSE.

2. The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and into listed suitable cabinet(s), box(es), enclosure(s) or equivalent. 3. Plan design shall be based upon 40-ampere minimum branch circuits.

4. Electrical calculations shall substantiate the design of the electrical system, to include the rating of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated amperage.

5. The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.

5.106.5.3.3 EV charging space calculations. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.

Exceptions: On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure is not feasible based upon one or more of the following conditions: 1. Where there is insufficient electrical supply.

2. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the

TABLE 5.106.5.3.3		
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES	
0-9	0	
10-25	1	
26-50	2	
51-75	4	
76-100	5	
101-150	7	
151-200	10	
201 AND OVER	6% of total ¹	

1. Calculation for spaces shall be rounded up to the nearest whole number.

5.106.5.3.4 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

5.106.5.3.5 [N] Future charging spaces qualify as designated parking as described in Section 5.106.5.2 Designated parking for clean air vehicles.

5.106.8 LIGHT POLLUTION REDUCTION. [N].I Outdoor lighting systems shall be designed and installed to comply with the following:

1. The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and

2. Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8); 3. Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in

4. Allowable BUG ratings not exceeding those shown in Table 5.106.8, [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

. Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code.

3. Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6. 4. Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8

1. See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.

2. Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, California Energy Code Tables 130.2-A and 130.2-B. 3. Refer to the California Building Code for requirements for additions and alterations.

TABLE 5.106.8 [N] MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS 1,2

LIGHTING

Alternate materials, designs and methods of construction.

ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4
N/A	No Limit	No Limit	No Limit	No Limit
N/A	B2	В3	B4	B4
N/A	B1	B2	B3	В3
N/A	В0	В0	B1	B2
N/A	U0	U0	U0	U0
N/A	U1	U2	U3	UR
N/A	G1	G2	G3	G4
N/A	G0	G1	G1	G2
N/A	G0	G0	G1	G1
N/A	G0	G0	G0	G1
	N/A N/A N/A N/A N/A N/A N/A N/A	N/A No Limit	N/A No Limit No Limit	ZONE LZ0 LIGHTING ZONE LZ2 LIGHTING ZONE LZ3 N/A No Limit No Limit No Limit N/A B2 B3 B4 N/A B1 B2 B3 N/A B0 B0 B1 N/A U0 U0 U0 N/A U1 U2 U3 N/A G1 G2 G3 N/A G0 G1 G1 N/A G0 G0 G1

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the Callifornia Administrative Code.

2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.

3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.

4. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet *U*-value limits for "all other outdoor lighting".

5. If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

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2. Water collection and disposal systems.

French drains. 4. Water retention gardens.

5. Other water measures which keep surface water away from buildings and aid in groundwater

Exception: Additions and alterations not altering the drainage path.

2039 O AVE NATIONAL CITY, CA 91950 JPONCE@JSPDESIGNSTUDIO.COM

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE SAN DIEGO, CA 92103

jpcl01 JSP Project Number **AHJ Project Number** 000000 05/30/2022 Scale

CAL GREEN NOTES



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

SECTION 5.504 POLLUTANT CONTROL

occupied during alteration, at the conclusion of construction.

may enter the system.

5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if

necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a

Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of

rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic,

sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which

30% based on ASHRAE 52.1-1992 Replace all filters immediately prior to occupancy, or, if the building is

SECTION 5,407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet **5.410.4.4 Reporting.** After completion of testing, adjusting and balancing, provide a final report of testing **5.407.1 WEATHER PROTECTION.** Provide a weather-resistant exterior wall and foundation envelope as required by and over, building commissioning shall be included in the design and construction processes of the building project to 5.303.3.4 Faucets and fountains signed by the individual responsible for performing these services. California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience ordinance, whichever is more stringent **5.410.4.5 Operation and maintenance (O & M) manual.** Provide the building owner or representative with **5.303.3.4.1 Nonresidential Lavatory faucets.** Lavatory faucets shall have a maximum flow rate of not on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for more than 0.5 gallons per minute at 60 psi. detailed operating and maintenance instructions and copies of guaranties/warranties for each system. O & M 5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods. I-occupancies and L-occupancies that are not regulated y the California Energy Code Section 100.0 Scope, all instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related requirements in Sections 5.410.2 through 5.410.2.6 shall apply. **5.303.3.4.2 Kitchen faucets.** Kitchen faucets shall have a maximum flow rate of not more than 1.8 **5.407.2.1 Sprinklers.** Design and maintain landscape irrigation systems to prevent spray on structures. gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons **5.410.4.5.1 Inspections and reports.** Include a copy of all inspection verifications and reports required 5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements by the enforcing agency. rain to prevent water intrusion into buildings as follows: **5.303.3.4.3 Wash fountains.** Wash fountains shall have a maximum flow rate of not more than 1.8 **5.407.2.2.1 Exterior door protection.** Primary exterior entries shall be covered to prevent water Commissioning requirements shall include: gallons per minute/20 [rim space (inches) at 60 psi]. DIVISION 5.5 ENVIRONMENTAL QUALITY intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following: 1. Owner's or Owner representative's project requirements. 5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle. **SECTION 5.501 GENERAL** Basis of design. **5.501.1 SCOPE.** The provisions of this chapter shall outline means of reducing the quantity of air contaminants that 3. Commissioning measures shown in the construction documents An installed awning at least 4 feet in depth. **5.303.3.4.5 Metering faucets for wash fountains.** Metering faucets for wash fountains shall have a are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. 4. Commissioning plan.5. Functional performance testing. The door is protected by a roof overhang at least 4 feet in depth. maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi]. The door is recessed at least 4 feet. **SECTION 5.502 DEFINITIONS** 4. Other methods which provide equivalent protection. Documentation and training. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve **5.502.1 DEFINITIONS.** The following terms are defined in Chapter 2 (and are included here for reference) Commissioning report. **5.407.2.2.2 Flashing.** Install flashings integrated with a drainage plane. ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route. 5.303.4 COMMERCIAL KITCHEN EQUIPMENT A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND 1. Unconditioned warehouses of any size. using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting **5.303.4.1 Food Waste Disposers.** Disposers shall either modulate the use of water to no more than 1 gpm 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within **RECYCLING** adjustments have been made when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no unconditioned warehouses 5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water. 3. Tenant improvements less than 10.000 square feet as described in Section 303.1.1. 1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or Note: This code section does not affect local jurisdiction authority to prohibit or require disposer 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure. meet a local construction and demolition waste management ordinance, whichever is more stringent. of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, installation the amount of heat required to melt a ton (2.000 pounds) of ice at 32⁰ Fahrenheit. Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not 5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and **5.303.5 AREAS OF ADDITION OR ALTERATION.** For those occupancies within the authority of the California provide heating and or air conditioning. COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), demolition waste management ordinance, submit a construction waste management plan that: Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to new fixtures in additions or areas of alteration to the building. Informational Notes: to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn. 1. Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale. 1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of 5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium 2. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for density fiberboard. "Composite wood products" does not include hardboard. structural plywood. structural of the California Plumbing Code and in Chapter 6 of this code. qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists 3. Identifies diversion facilities where construction and demolition waste material collected will be taken. performance tests or to adjust and balance systems. or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a). 4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls **SECTION 5.304 OUTDOOR WATER USE** Note: See CCR, Title 17, Section 93120.1. must be performed in compliance with the California Energy Code. 5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply 5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a documentation that the percentage of construction and demolition waste material diverted from the landfill Efficient Landscape Ordinance (MWELO), whichever is more stringent. 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.). complies with this section. 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the Note: The owner or contractor shall make the determination if the construction and demolition waste material **DECIBEL (db).** A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, project begins. This documentation shall include the following: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, sound power, sound intensity) with respect to a reference quantity. will be diverted by a waste management company. Environmental and sustainability goals. Title 23, Chapter 2.7, Division 2. Building sustainable goals. 2. MWELO and supporting documents, including a water budget calculator, are available at: ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, **Exceptions to Sections 5.408.1.1 and 5.408.1.2:** 3. Indoor environmental quality requirements. trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor https://www.water.ca.gov/. 4. Project program, including facility functions and hours of operation, and need for after hours that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. 1. Excavated soil and land-clearing debris. 5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle 5. Equipment and systems expectations. off-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of facilities capable of compliance with this item do not exist 6. Building occupant and operation and maintenance (O&M) personnel expectations. Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter support equipment, tractors, boats, and the like, are not included. 3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) 5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicles. shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35. the OPR shall be completed at the design phase of the building project. The Basis of Design document shall 5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does cover the following systems: ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement prescriptive measures contained in Appendix D of the MWELO. equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, as approved by the enforcing agency. Renewable energy systems power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring Landscape irrigation systems. **5.304.6.1 Newly constructed landscapes.** New construction projects with an aggregate landscape **5.408.1.4 Documentation.** Documentation shall be provided to the enforcing agency which demonstrates and the electric vehicle. Water reuse system. area equal to or greater than 500 square feet. compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as necessary and shall be accessible during construction for examination by the enforcing agency. 5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to **5.304.6.2 Rehabilitated landscapes.** Rehabilitated landscape projects with an aggregate the fluctuating noise level integrated over the time of period of interest. document how the project will be commissioned. The commissioning plan shall include the following: landscape area equal to or greater than 1,200 square feet. General project information EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may 2. Commissioning goals. not be divided or have grade separations at intersections. 1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" 3. Systems to be commissioned. Plans to test systems and components shall include: located at www.bsc.ca.gov/Home/CALGreen.aspx may be used to assist in documenting compliance a. An explanation of the original design intent. **FREEWAY.** A divided arterial highway with full control of access and with grade separations at intersections. DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE Equipment and systems to be tested, including the extent of tests. 2. Mixed construction and demolition debris processors can be located at the California Department of Functions to be tested. GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse **EFFICIENCY** Resources Recycling and Recovery (CalRecycle). d. Conditions under which the test shall be performed. gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference e. Measurable criteria for acceptable performance. compound with a GWP of one. 5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping 4. Commissioning team information. **SECTION 5.401 GENERAL** provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste 5. Commissioning process activities, schedules and responsibilities. Plans for the completion of **5.401.1 SCOPE.** The provisions of this chapter shall outline means of achieving material conservation and resource GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited commissioning shall be included. Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting. its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of materials shall be included in the construction documents. **5.410.2.4 Functional performance testing. [N]** Functional performance tests shall demonstrate the correct Table 2.14., the AR4 GWP values are found in column "100 yr" of Table 2.14. installation and operation of each component, system and system-to-system interface in accordance with the **Note**: Refer to the Universal Waste Rule link at: approved plans and specifications. Functional performance testing reports shall contain information addressing **SECTION 5.402 DEFINITIONS** HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a http://www.dtsc.ca.gov/LawsRegsPolicies/Regs/upload/OEAR-A REGS UWR FinalText.pdf each of the building components tested, the testing methods utilized, and include any readings and adjustments **5.402.1 DEFINITIONS.** The following terms are defined in Chapter 2 (and are included here for reference) hdrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of 5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009). ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such 5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, material may be stockpiled on site until the storage site is developed. including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, **Exception:** Reuse, either on or off-site, of vegetation or soil contaminated by disease or pest infestation. Title 8, Section 5142, and other related regulations. with a radius 1.5 times the pipe diameter. according to design quantities. **LOW-GWP REFRIGERANT.** A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than **5.410.2.5.1 Systems manual. [N]** Documentation of the operational aspects of the building shall be BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, completed within the systems manual and delivered to the building owner or representative. The sec.82.3 (as amended March 10, 2009). process, including verifying and documenting that building systems and components are planned, designed, installed, 1. If contamination by disease or pest infestation is suspected, contact the County Agricultural systems manual shall include the following: tested, operated and maintained to meet the owner's project requirements. Commissioner and follow its direction for recycling or disposal of the material. Site information, including facility description, history and current requirements. MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2–1999. 2. For a map of know pest and/or disease quarantine zones, consult with the California Department of 2. Site contact information. ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food Food and Agriculture. (www.cdfa.ca.gov) 3. Basic operations and maintenance, including general site operating procedures, basic MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a soiled paper waste that is mixed in with food waste. troubleshooting, recommended maintenance requirements, site events log. compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to 4 Major systems. **SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS** hundreths of a gram (g O³/g ROC). **TEST.** A procedure to determine quantitative performance of a system or equipment 5. Site equipment inventory and maintenance notes. **5.410.1 RECYCLING BY OCCUPANTS.** Provide readily accessible areas that serve the entire building and are 6. A copy of verifications required by the enforcing agency or this code. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) 7. Other resources and documentation, if applicable. article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. product (excluding container and packaging). 5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance **Exception**: Rural jurisdictions that meet and apply for the exemption in Public Resources **PSIG.** Pounds per square inch, guage. staff for each equipment type and/or system shall be developed and documented in the commissioning Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section. report and shall include the following: REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to 1. System/equipment overview (what it is, what it does and with what other systems and/or **5.410.1.1 Additions.** All additions conducted within a 12-month period under single or multiple permits, ozone formation in the troposphere. equipment it interfaces). resulting in an increase of 30% or more in floor area, shall provide recycling areas on site. 2. Review and demonstration of servicing/preventive maintenance. SCHRADER ACCESS VALVES. Access fittings with a valve core installed. 3. Review of the information in the Systems Manual. **Exception**: Additions within a tenant space resulting in less than a 30% increase in the tenant space 4. Review of the record drawings on the system/equipment. SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter. **5.410.1.2 Sample ordinance.** Space allocation for recycling areas shall comply with Chapter 18, Part 3, **5.410.2.6 Commissioning report.** [N] A report of commissioning process activities undertaken through the Division 30 of the Public Resources Code. Chapter 18 is known as the California Solid Waste Reuse and SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet design and construction phases of the building project shall be completed and provided to the owner or or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected Recycling Access Act of 1991 (Act). to remote compressor units or condensing units. Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the **VOC.** A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with 5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a) alteration subject to Section 303.1. Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition 5.410.4.2 (Reserved) included in that specific regulation is the one that prevails for the specific measure in question. Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including SECTION 5.503 FIREPLACES heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well 5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)3 for additional testing requirements of specific Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances. **5.503.1.1 Woodstoves.** Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance **5.410.4.2 Systems.** Develop a written plan of procedures for testing and adjusting systems. Systems to be Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified included for testing and adjusting shall include at a minimum, as applicable to the project: to meet the emission limits.

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Renewable energy systems.

Landscape irrigation systems.

specifications and applicable standards on each system.

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's

Council National Standards or as approved by the enforcing agency.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in

Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance

accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National

Water reuse systems.

2039 O AVE NATIONAL CITY, CA 91950 JPONCE@JSPDESIGNSTUDIO.COM

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CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE. SAN DIEGO, CA 92103

jpcl01 JSP Project Number AHJ Project Number 000000 Date 05/30/2022

CAL GREEN NOTES



5.504.4.6.

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

RESPONSIBLE PARTY (Ie: ARCHITECT, ENGINEE OWNER, CONTRACTOR, INSPECTOR ETC.)

the requi 1. co ap pro (ch ae 2. un tha	Adhesives, sealants and caulks. Adhesives, sealar rements of the following standards: Adhesives, adhesive bonding primers, adhesive primer apply with local or regional air pollution control or air question of the second policy of the second	ers, sealants, sealant primers and uality management district rules went in Tables 5.504.4.1 and 5.504.4 on the use of certain toxic compact of the compact of the control of the contro	I caulks shall where .2. Such ounds ene), except fo ounds (in esist of more including
	TABLE 5.504.4.1 - ADHESIVE VOC LIN	/IT _{1,2}	
	Less Water and Less Exempt Compounds in Grams	per Liter	
	ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT	
	INDOOR CARPET ADHESIVES	50	
	CARPET PAD ADHESIVES	50	
	OUTDOOR CARPET ADHESIVES	150	
	WOOD FLOORING ADHESIVES	100	
	RUBBER FLOOR ADHESIVES	60	
	SUBFLOOR ADHESIVES	50	
	CERAMIC TILE ADHESIVES	65	
	VCT & ASPHALT TILE ADHESIVES	50	
	DRYWALL & PANEL ADHESIVES	50	
	COVE BASE ADHESIVES	50	
	MULTIPURPOSE CONSTRUCTION ADHESIVES	70	
	STRUCTURAL GLAZING ADHESIVES	100	

SINGLE-PLY ROOF MEMBRANE ADHESIVES

SPECIALTY APPLICATIONS

PLASTIC CEMENT WELDING

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

FIBERGLASS

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

PVC WELDING

CPVC WELDING

ABS WELDING

OTHER ADHESIVES NOT SPECIFICALLY LISTED

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

250

510

490

325

250

550

80

250

140

250

50

50

30

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF

TABLE 5.504.4.2 - SEALANT VO	CLIMIT	
Less Water and Less Exempt Compounds in Grams per Liter		
SEALANTS	CURRENT VOC LIMIT	
ARCHITECTURAL	250	
MARINE DECK	760	
NONMEMBRANE ROOF	300	
ROADWAY	250	
SINGLE-PLY ROOF MEMBRANE	450	
OTHER	420	
SEALANT PRIMERS		
ARCHITECTURAL		
NONPOROUS	250	
POROUS	775	
MODIFIED BITUMINOUS	500	
MARINE DECK	760	
OTHER	750	

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

COATINGS _{2,3} GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		
COATING CATEGORY	CURRENT VOC LIMIT	
FLAT COATINGS	50	
NONFLAT COATINGS	100	
NONFLAT HIGH GLOSS COATINGS	150	
SPECIALTY COATINGS		
ALUMINUM ROOF COATINGS	400	
BASEMENT SPECIALTY COATINGS	400	
BITUMINOUS ROOF COATINGS	50	
BITUMINOUS ROOF PRIMERS	350	
BOND BREAKERS	350	
CONCRETE CURING COMPOUNDS	350	
CONCRETE/MASONRY SEALERS	100	
DRIVEWAY SEALERS	50	
DRY FOG COATINGS	150	
FAUX FINISHING COATINGS	350	
FIRE RESISTIVE COATINGS	350	
FLOOR COATINGS	100	
FORM-RELEASE COMPOUNDS	250	
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	
HIGH-TEMPERATURE COATINGS	420	
INDUSTRIAL MAINTENANCE COATINGS	250	
LOW SOLIDS COATINGS1	120	
MAGNESITE CEMENT COATINGS	450	
MASTIC TEXTURE COATINGS	100	
METALLIC PIGMENTED COATINGS	500	
MULTICOLOR COATINGS	250	
PRETREATMENT WASH PRIMERS	420	
PRIMERS, SEALERS, & UNDERCOATERS	100	
REACTIVE PENETRATING SEALERS	350	
RECYCLED COATINGS	250	
ROOF COATINGS	50	
RUST PREVENTATIVE COATINGS	250	
SHELLACS:		
CLEAR	730	
OPAQUE	550	
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	
STAINS	250	
STONE CONSOLIDANTS	450	
SWIMMING POOL COATINGS	340	
TRAFFIC MARKING COATINGS	100	
TUB & TILE REFINISH COATINGS	420	
WATERPROOFING MEMBRANES	250	
WOOD COATINGS	275	
WOOD PRESERVATIVES	350	

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: Manufacturer's product specification

5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and

 Carpet and Rug Institute's Green Label Plus Program. 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February

2010 (also known as CDPH Standard Method V1.1 or Specification 01350). 3. NSF/ANSI 140 at the Gold level or higher; 4. Scientific Certifications Systems Sustainable Choice; or

2. Field verification of on-site product containers

5. Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in

> **5.504.4.5.3 Documentation.** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.

2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see

CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the

Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S

5. Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION **CURRENT LIMIT** HARDWOOD PLYWOOD VENEER CORE 0.05 HARDWOOD PLYWOOD COMPOSITE CORE 0.05 PARTICLE BOARD 0.09 MEDIUM DENSITY FIBERBOARD 0.11 THIN MEDIUM DENSITY FIBERBOARD2 0.13

 VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD. AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program; 2. Compliant with the VOC-emission limits and testing requirements specified in the California

3. Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria

Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers,

and listed in the CHPS High Performance Product Database; or 4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring

materials meet the pollutant emission limits. 5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of

the same value shall be included in the operation and maintenance manual. **Exceptions:** Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5,506,2 CARBON DIOXIDE (CO2) MONITORING. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

1. Within the 65 CNEL noise contour of an airport.

- 1. Ldn or CNEL for military airports shall be determined by the facility Air Installation Compatible
- Land Use Zone (AICUZ) plan 2. Ldn or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.
- 2. Within the 65 CNEL or Lan noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.
- 5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{eq} - 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of

at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30). 5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered

envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1Hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior soundlevels shall be prepared by personnel approved by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY 5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression

equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons. **5.508.2 Supermarket refrigerant leak reduction.** New commercial refrigeration systems shall comply with the

provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fouth-inch OD tubing shall be securely clamped to a rigid base to **5.508.2.1.3 Flared tubing connections.** Double-flared tubing connections may be used for pressure

controls, valve pilot lines and oil. **Exception:** Single-flared tubing connections may be used with a multiring seal coated with

industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's 5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Code and as

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic

5.508.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.1 Chain tethers. Chain tethers to fit ovr the stem are required for valves

designed to have seal caps. Exception: Valves with seal caps that are not removed from the valve during stem

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to prevent

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to

maximize energy efficiency. **5.508.2.4 Refrigerant receivers.** Refrigerant receivers with capacities greater than 200 pounds shall be fitted

with a device the indicates the level of refrigerant in the receiver. **5.508.2.5 Pressure testing.** The system shall be pressure tested during installation prior to evacuation and

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs. Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.
- 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- . Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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VARIATIONS FROM THE DIMENSIONS AND

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CAL GREEN NOTES

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LANDSCAPE AREAS

L-01

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LANDSCAPE NOTES / IRRIGATION PLAN

L-02

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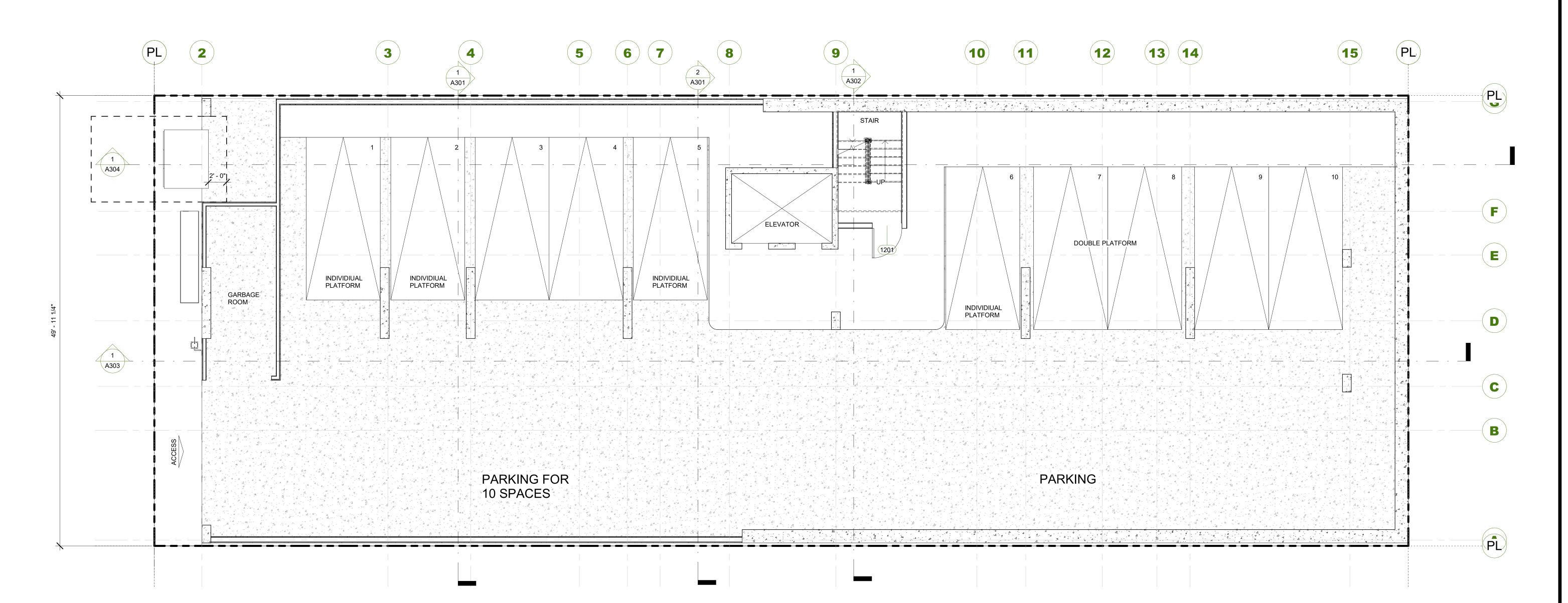
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SITE PLAN



1 LEVEL 0 GARAGE
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STREET LEVEL GARAGE

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CLEVELAND STREET ENTRY

1 LEVEL 2 APARTMENTS 3/16" = 1'-0"

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LEVEL 2 APARTMENTS

ESIGN STUDIO

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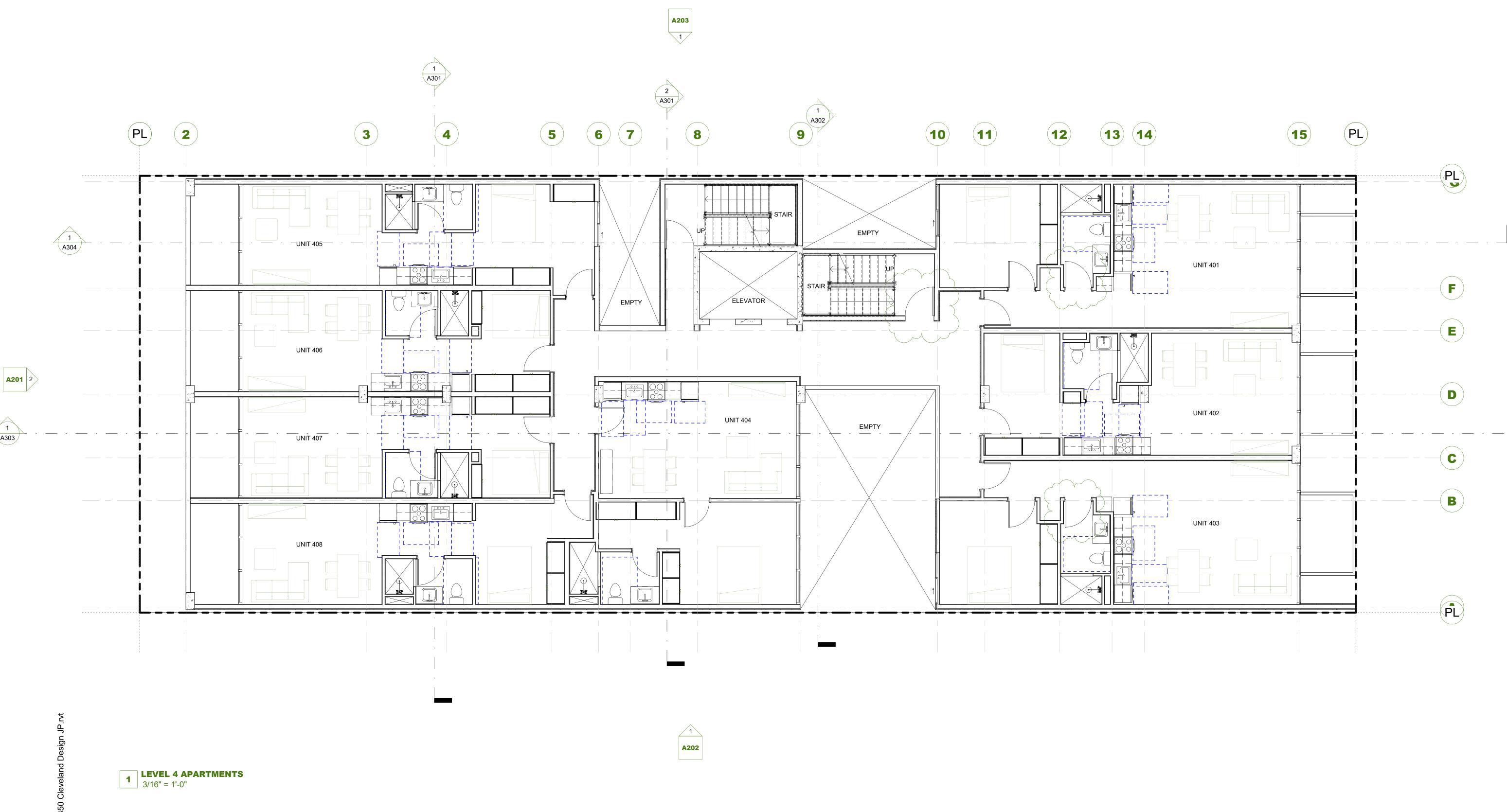
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LEVEL 3 APARTMENTS

A103

1 **LEVEL 3 APARTMENTS** 3/16" = 1'-0"



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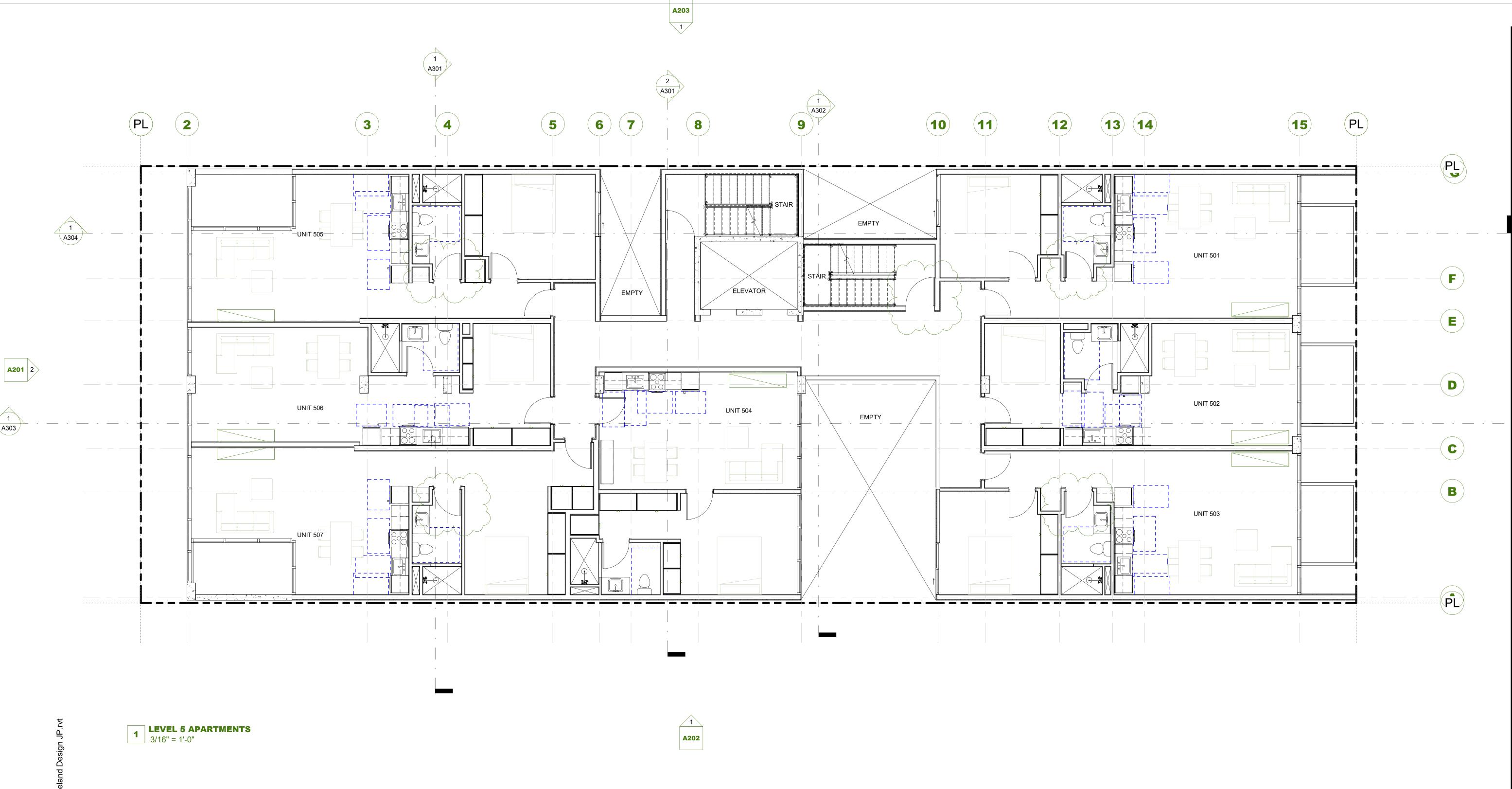
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LEVEL 4 APARTMENTS



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LEVEL 5 APARTMENTS



J S

DESIGN STUDIO

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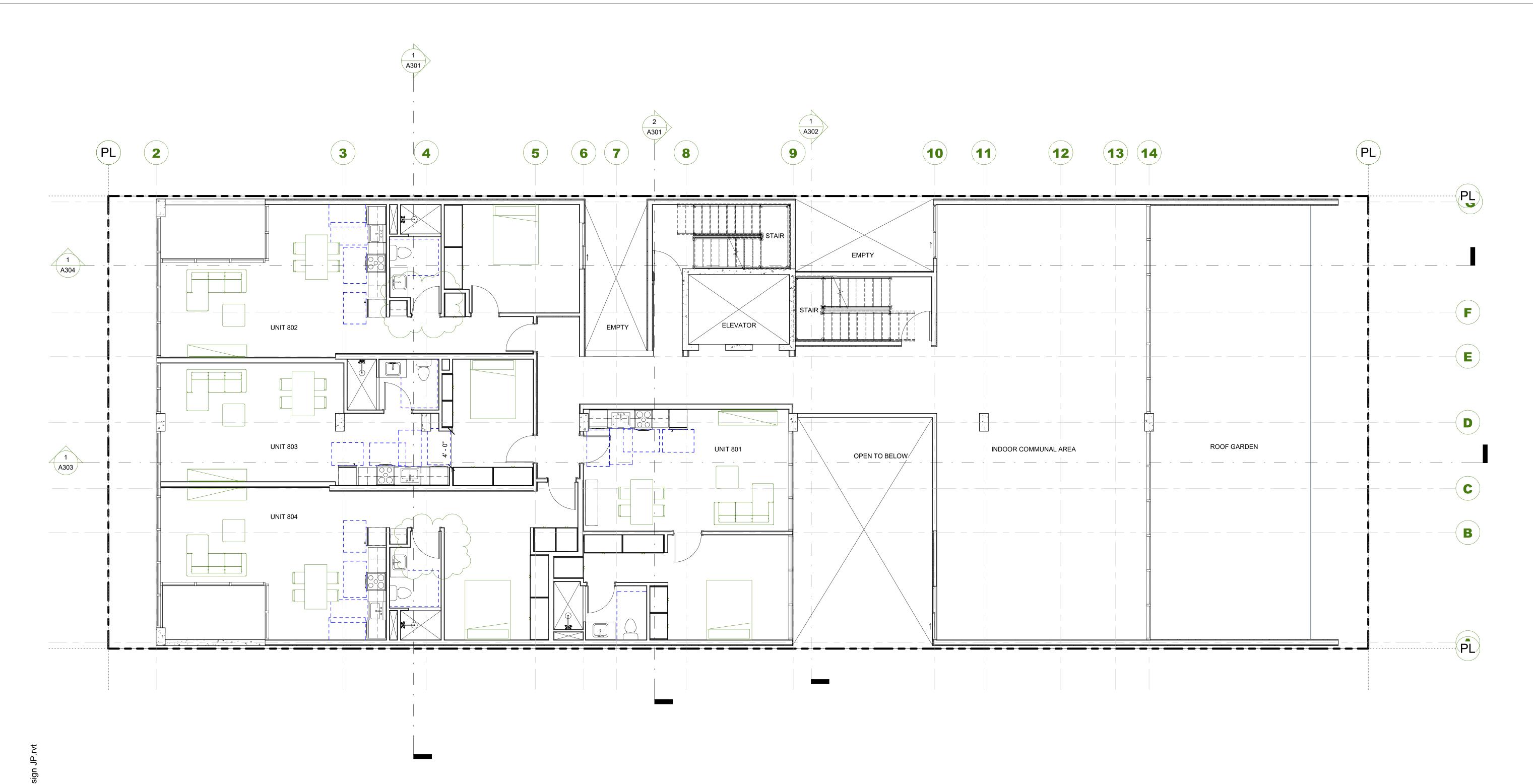
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LEVEL 6 APARTMENTS



1 **LEVEL 8 APARTMENTS** 3/16" = 1'-0"

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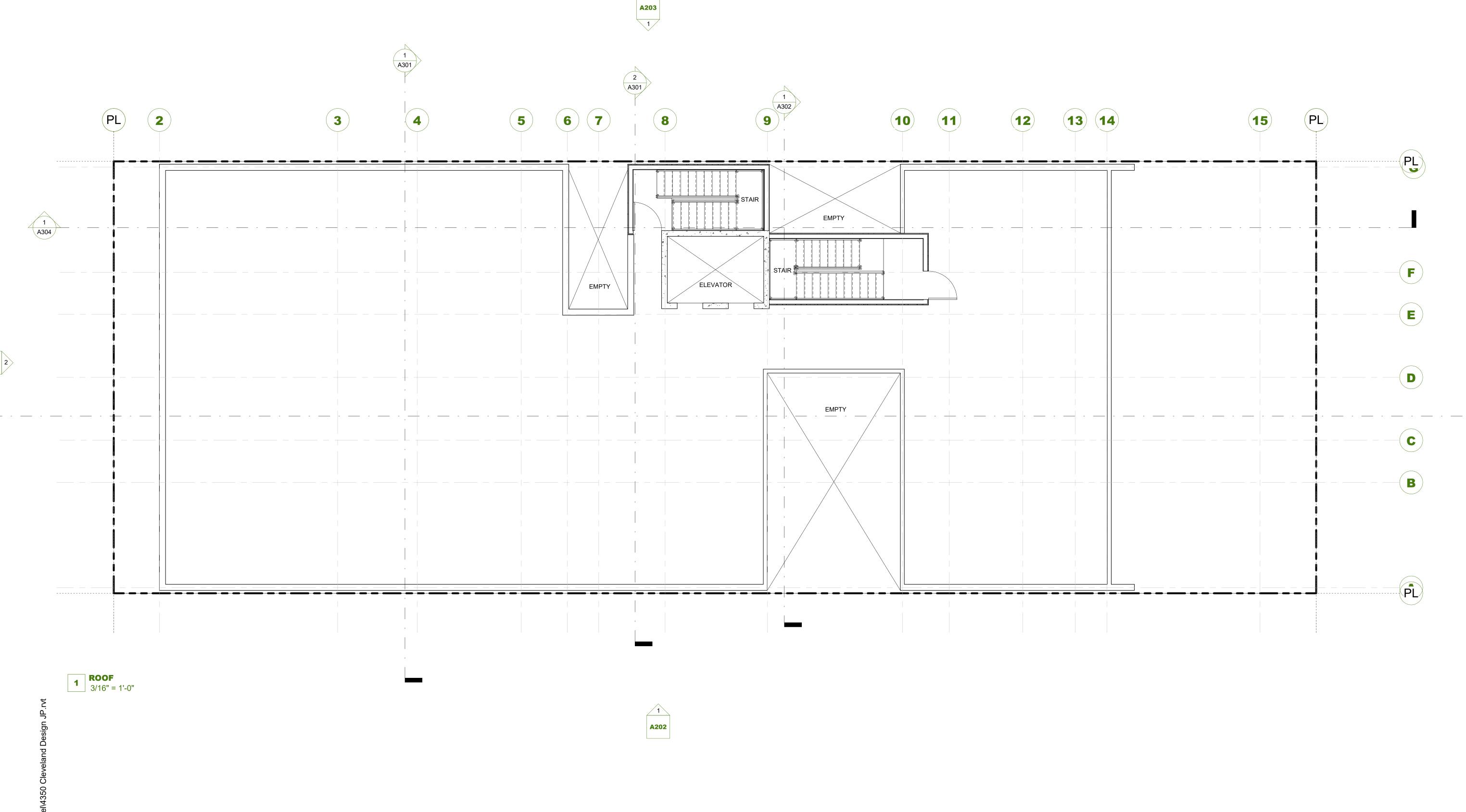
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LEVEL 7 APARTMENTS



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ALL IDEAS, DESIGNS, ARRANGEMENTS
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PROPERTY OF JSP DESIGN STUDIO AND
WERE CREATED, EVOLVED AND
DEVELOPED FOR USE ON AND IN
CONNECTION WITH THE SPECIFIC
PROJECT. NONE OF SUCH IDEAS,
DESIGNS, ARRANGEMENTS OR PLANS
SHALL BE USED BY OR DISCLOSED TO
ANY PERSON, FIRM OR CORPORATION
FOR ANY PURPOSE WHATSOEVER
WITHOUT PERMISSION OF JSP DESIGN
STUDIO. WRITTEN DIMENSIONS ON THESE
DRAWINGS SHALL HAVE PRECEDENCE
OVER SCALED DIMENSIONS.
CONTRACTORS SHALL VERIFY AND BE
RESPONSIBLE FOR ALL DIMENSIONS AND
CONDITIONS ON THE JOB AND THIS
OFFICE MUST BE NOTIFIED OF ANY
VARIATIONS FROM THE DIMENSIONS AND
CONDITIONS SHOWN BY THOSE
DRAWINGS.

NOTICE OF DESIGN INTENT: ALL DRAWINGS AND DETAILS SHOWN ON THIS SHEET ARE FOR THE PURPOSES OF DESIGN INTENT ONLY AND ARE NOT TO BE USED FOR PURPOSES OF CONSTRUCTION OR FABRICATION. THIS INFORMATION IS INTENDED FOR DESIGN REFERENCE INFORMATION ONLY TO ASSIST CONSULTANTS, CONTRACTORS, FABRICATORS AND VENDORS IN THE PREPARATION OF THEIR CONSTRUCTION AND FABRICATION DOCUMENTS. JSP DESIGN STUDIO ASSUMES NO LIABILITY FOR THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE STATED IN THIS NOTICE.

CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

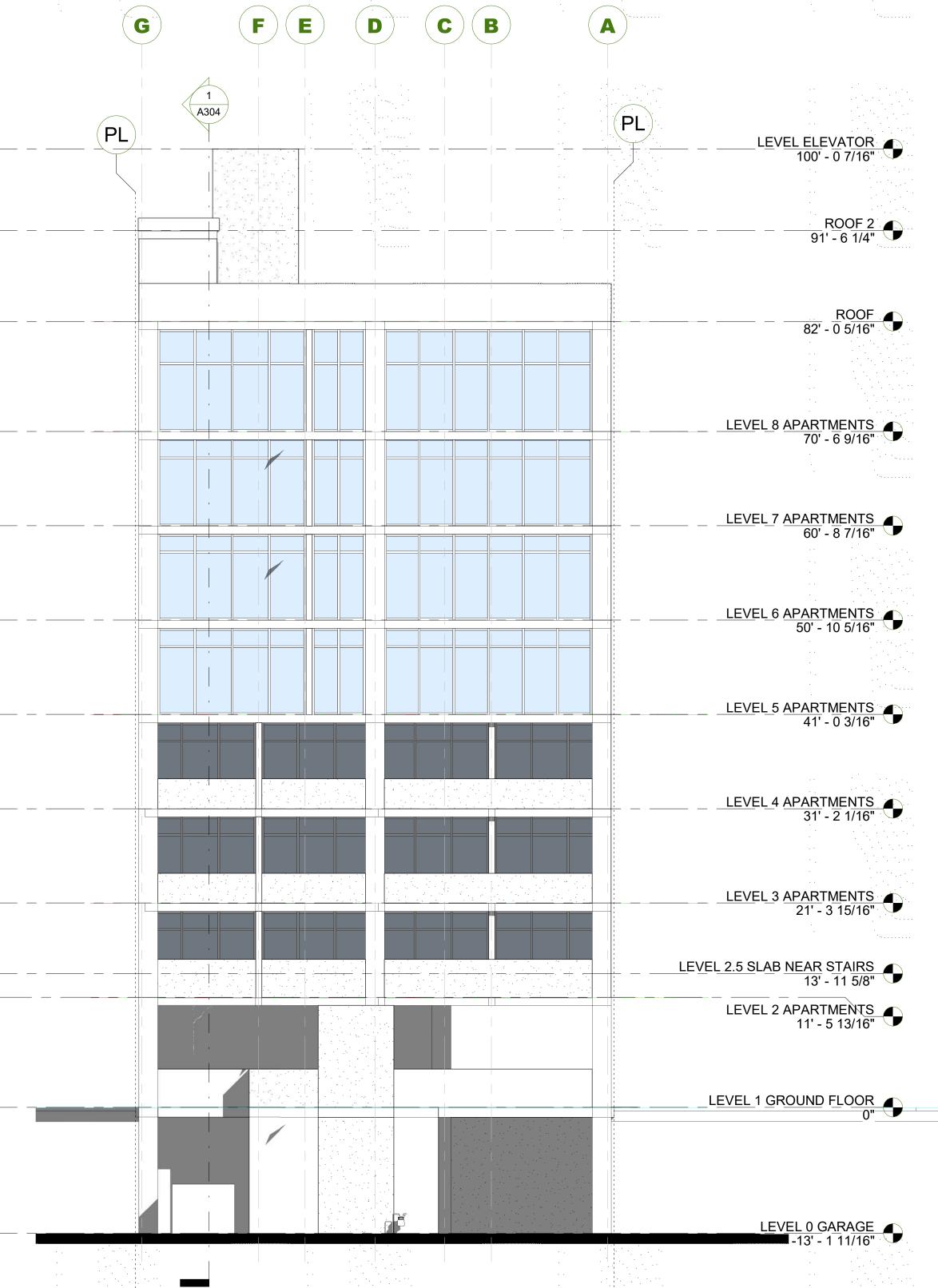
 JSP Project Number
 jpcl01

 AHJ Project Number
 000000

 Date
 05/30/2022

 Scale
 3/16" = 1'-0"

ROOF



2 REAR ELEVATION 1/8" = 1'-0"

FRONT ELEVATION 1/8" = 1'-0"

NOTES

G

(PL

LEVEL ELEVATOR 100' - 0 7/16"

ROOF 2 91' - 6 1/4"

82' - 0 5/16"

LEVEL 8 APARTMENTS

LEVEL 7 APARTMENTS 60' - 8 7/16"

LEVEL 6 APARTMENTS

LEVEL 5 APARTMENTS 41' - 0 3/16"

LEVEL 4 APARTMENTS

LEVEL 3 APARTMENTS 21' - 3 15/16"

LEVEL 2 APARTMENTS 11' - 5 13/16"

LEVEL 1 GROUND FLOOR

LEVEL 2.5 SLAB NEAR STAIRS 13' - 11 5/8"

50' - 10 5/16"

70' - 6 9/16"

1 A304

E

B

- CLASS "A" UL FIRE RATING, 20 YR 3-TAB ASPHALT SHINGLES, COLOR TO MATCH MAIN HOUSE.
- ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING. PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS IN FLASHING TO BE SOLDERED AND
- SEALED WITH MASTIC. NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACES BETWEEN INSULATION AND ROOD SHEATHING.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (ORD.
- COASTAL OVERLAY ZONE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE BASE OF MEASUREMENT (REFERENCE DATUM).
- A PRE-CONSTRUCTION INSPECTION IS REQ. DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAX. HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). DIMENSIONS TAKEN FROM FACE OF STUD/CONCRETE/MASONRY & CENTER
- OF DOOR/WINDOW OPENINGS ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.

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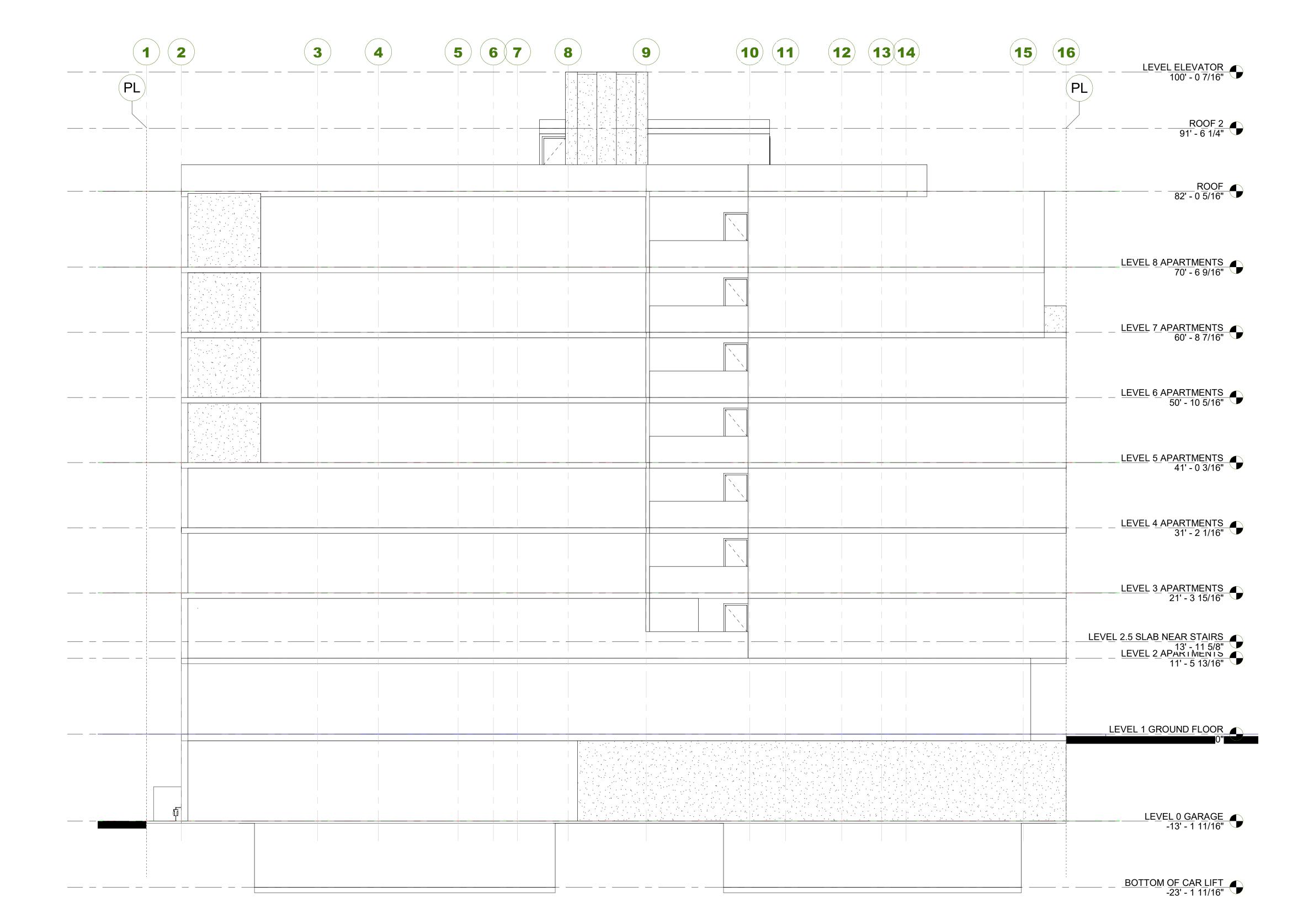
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CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE SAN DIEGO, CA 92103

the state of the s	
SP Project Number	jpcl01
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0"

ELEVATIONS - NORTH AND SOUTH



1 SIDE ELEVATION A 1/8" = 1'-0"

NOTES

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- THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (ORD. 10980 NS).
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- À PRE-CONSTRUCTION INSPECTION IS REQ. DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAX. HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). DIMENSIONS TAKEN FROM FACE OF
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 - PRIOR TO ORDERING.

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CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

jpcl01 JSP Project Number 000000 AHJ Project Number 05/30/2022 1/8" = 1'-0"

SIDE ELEVATION A

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CLEVELAND ST. APARTMENTS

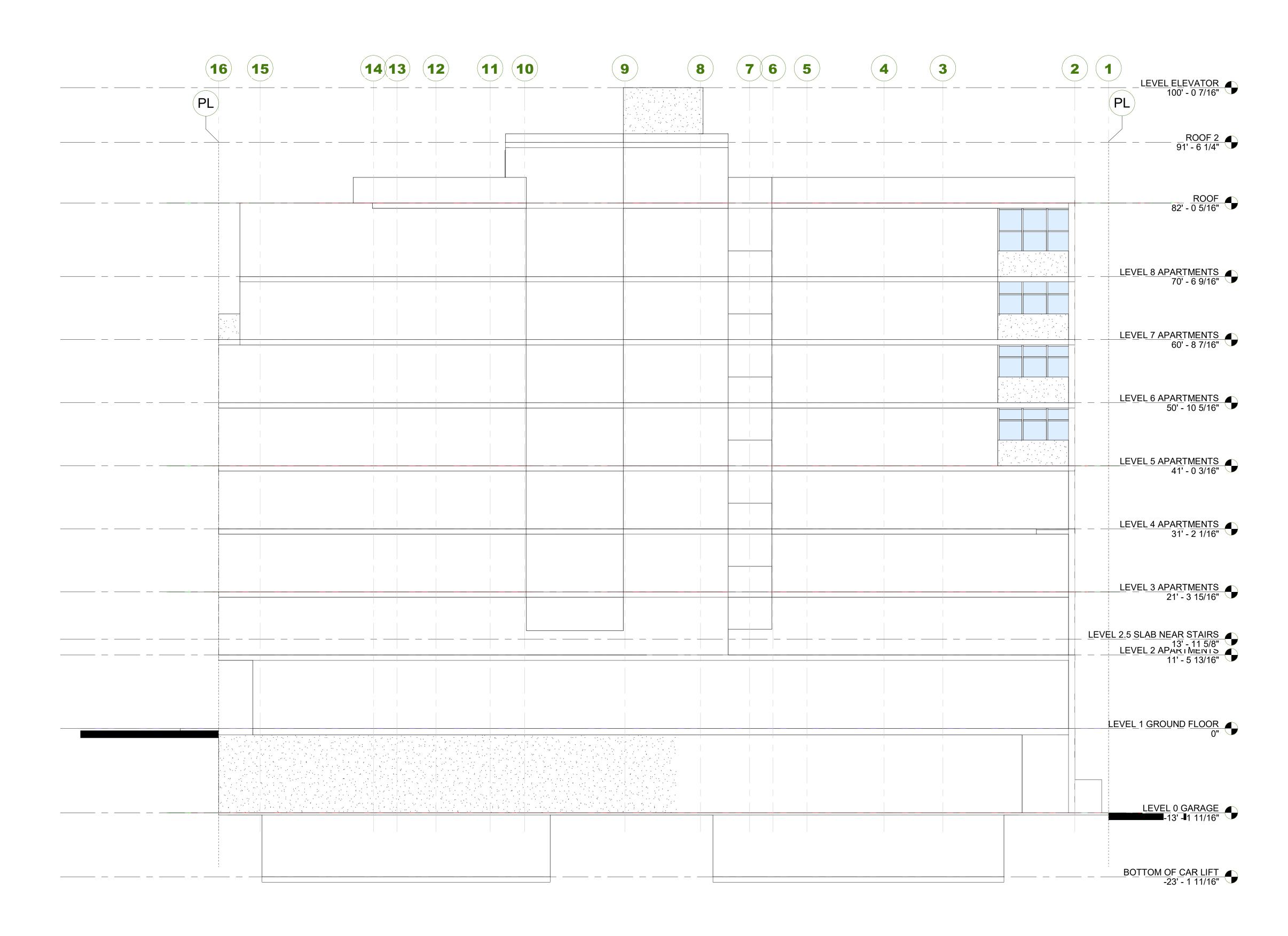
4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date Description

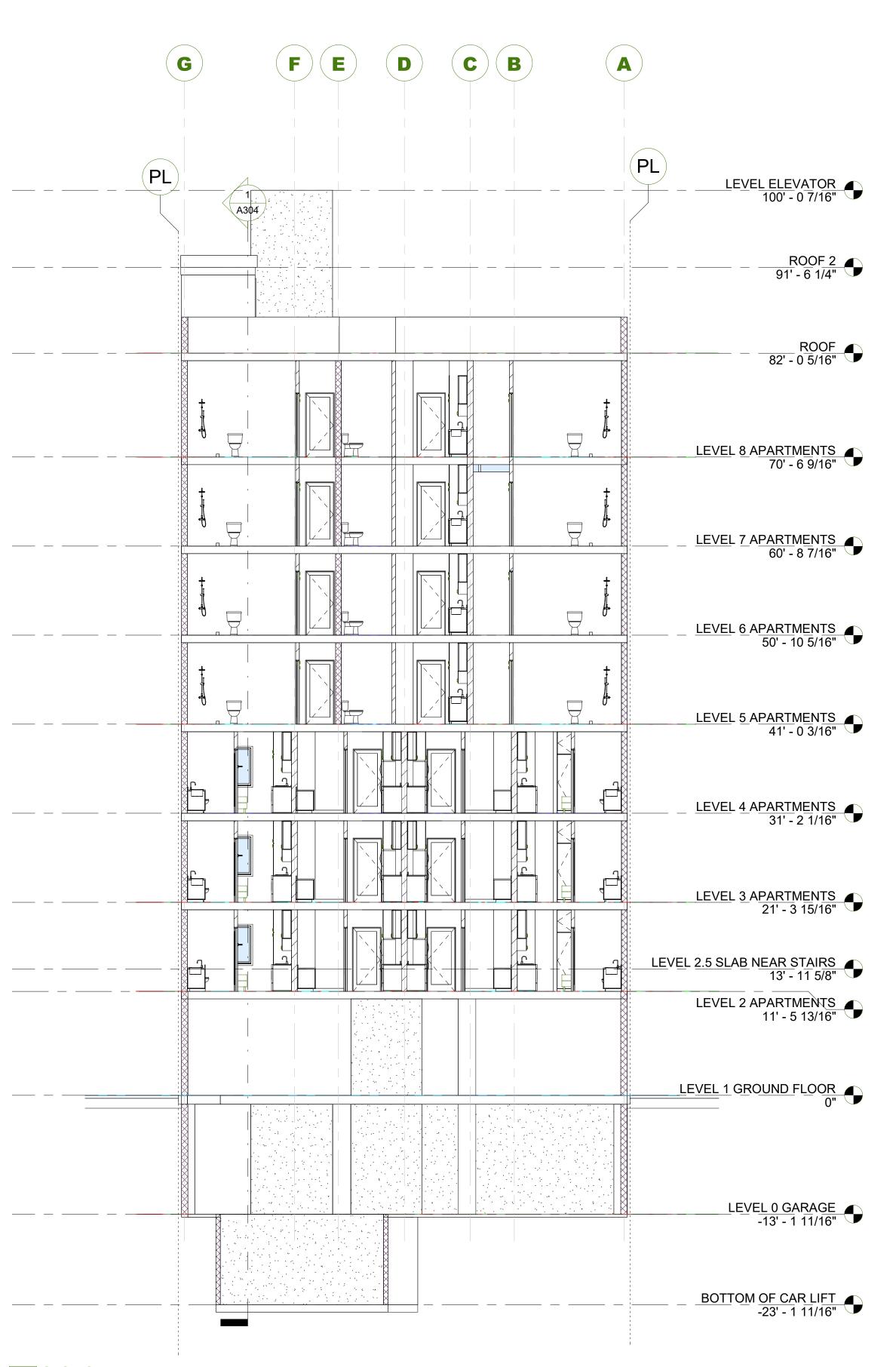
JSP Project Number	jpcl0´
AHJ Project Number	000000
Date	05/30/2022
Scale	1/8" = 1'-0

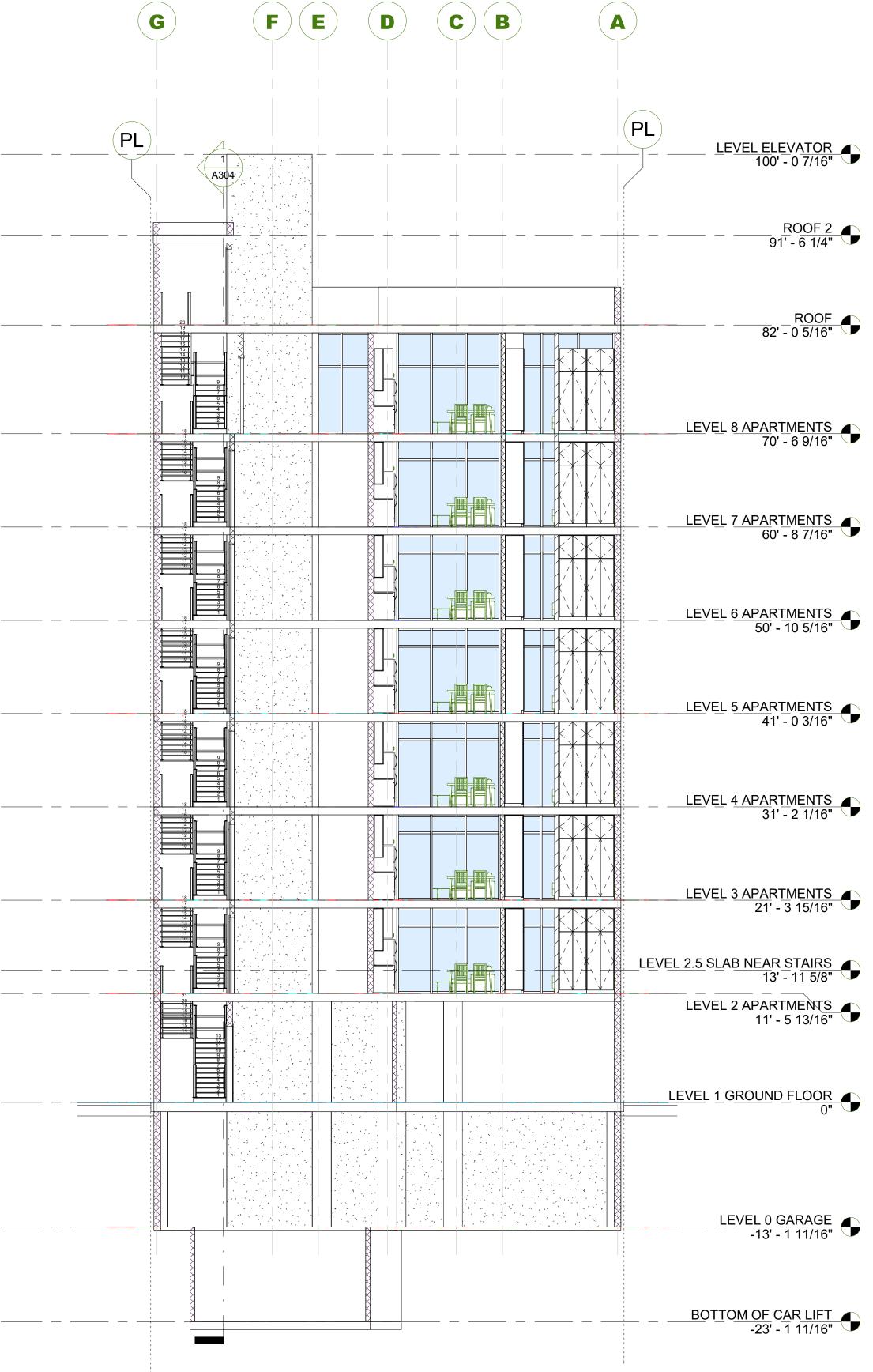
SIDE ELEVATION B

A203



1 SIDE ELEVATION B 1/8" = 1'-0"





2 SECTION B 1/8" = 1'-0"

SECTION A 1/8" = 1'-0"

DESIGN STUDIO

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

. Date Description

 JSP Project Number
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 AHJ Project Number
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 Date
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 Scale
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SECTION A & B

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

. Date Description

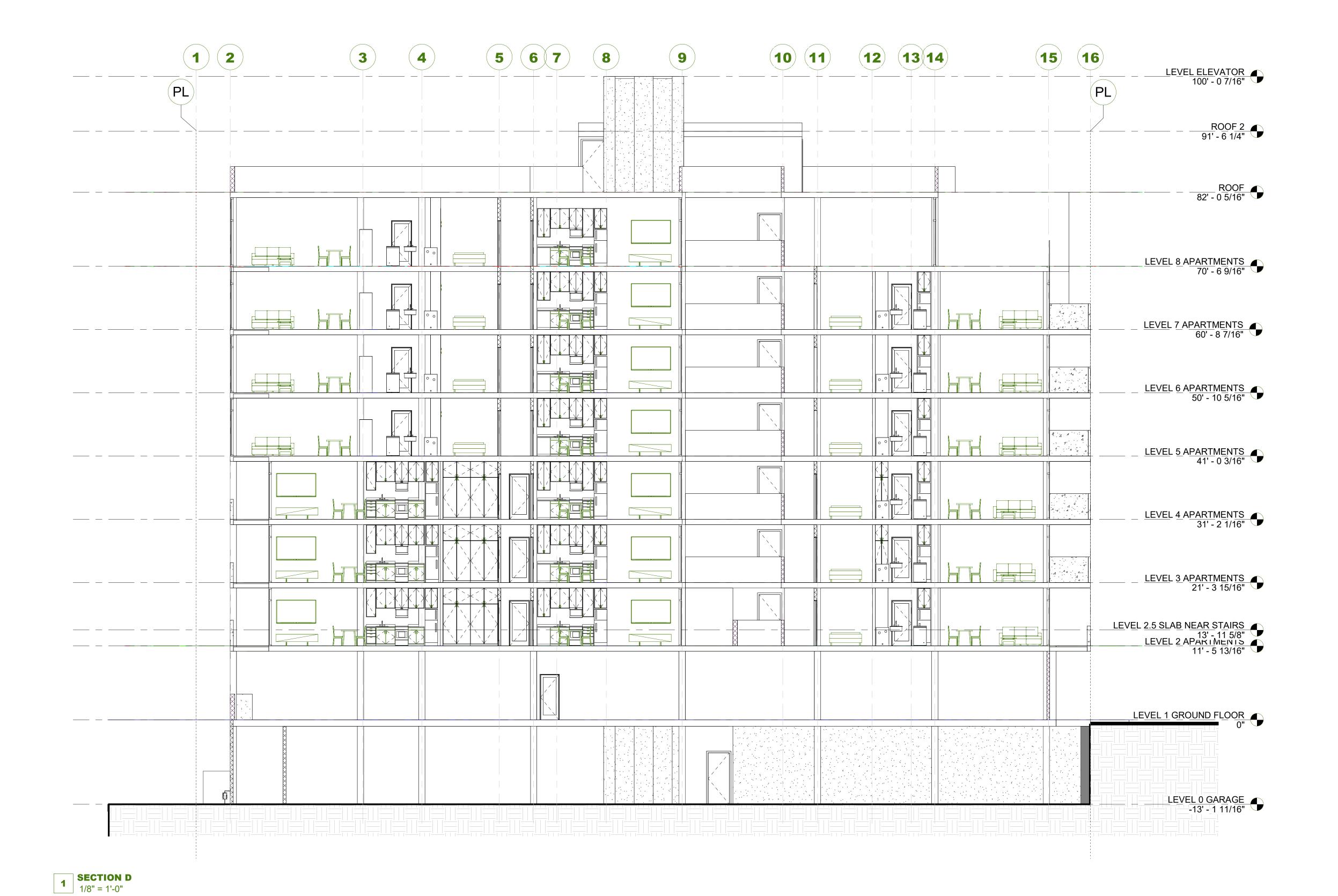
 JSP Project Number
 jpcl01

 AHJ Project Number
 000000

 Date
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 Scale
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SECTION C



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o. Date Description

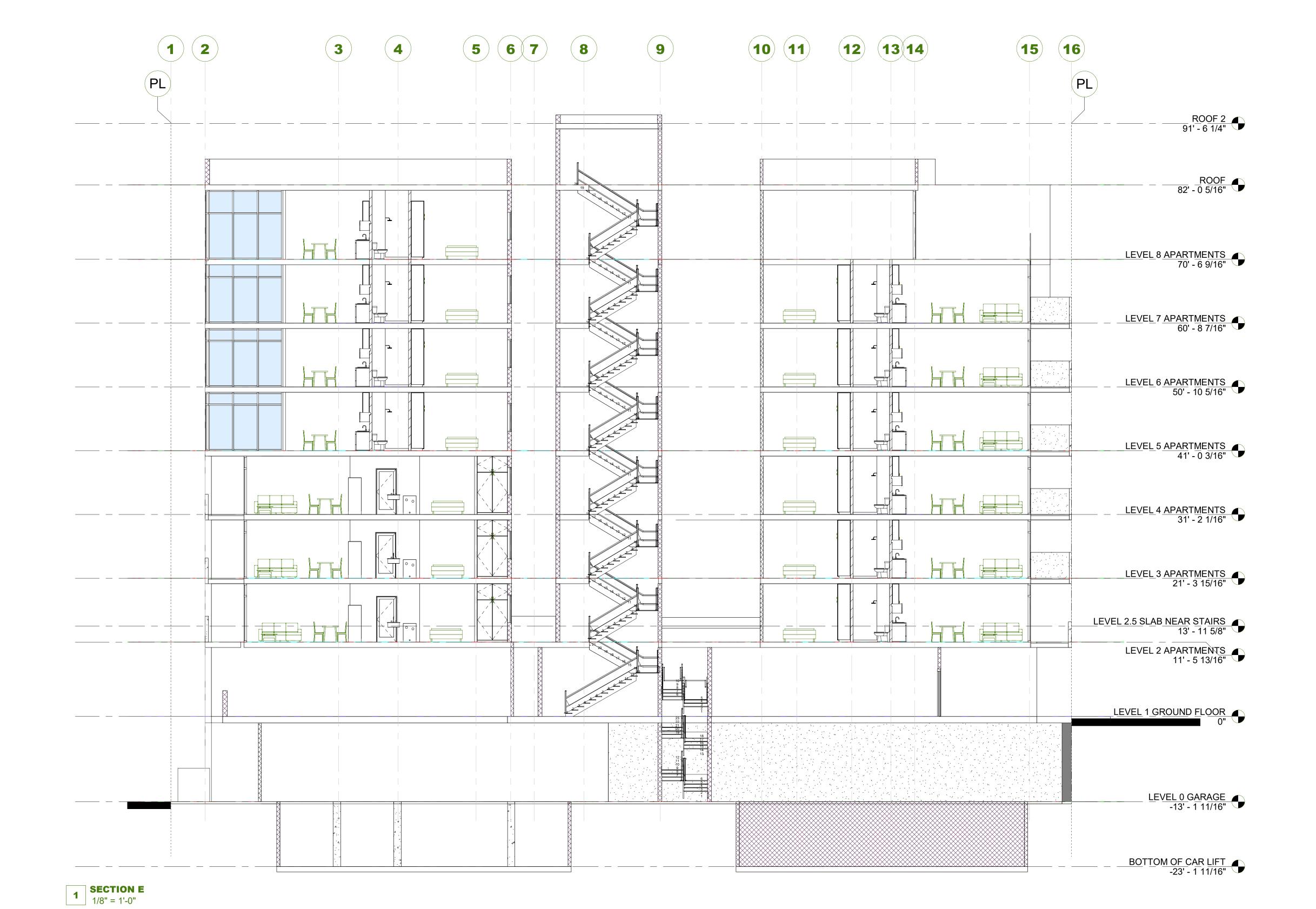
 JSP Project Number
 jpcl01

 AHJ Project Number
 000000

 Date
 05/30/2022

 Scale
 1/8" = 1'-0"

SECTION D



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4350 CLEVELAND AVE, SAN DIEGO, CA 92103

b. Date Description

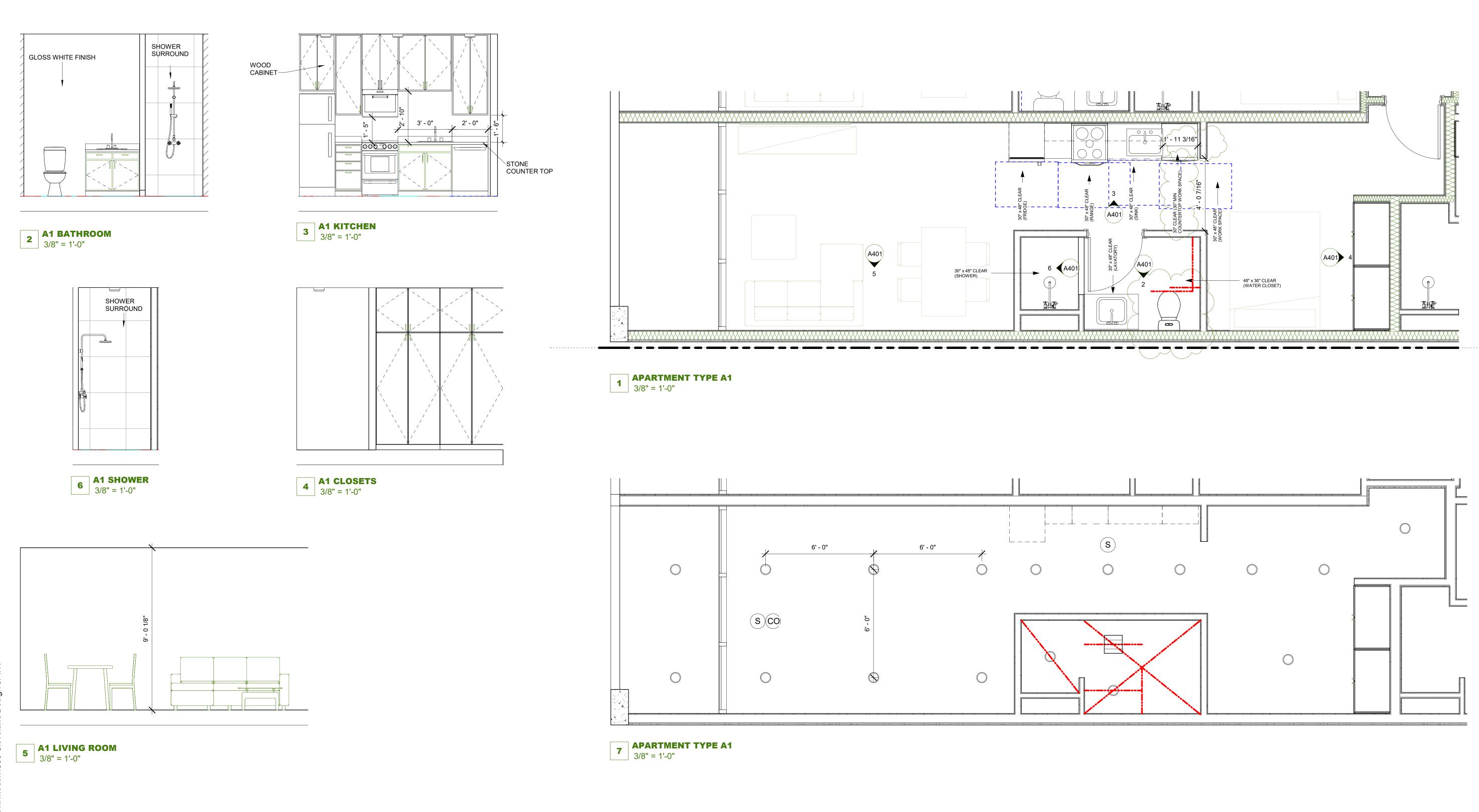
 JSP Project Number
 jpcl01

 AHJ Project Number
 000000

 Date
 05/30/2022

 Scale
 1/8" = 1'-0"

SECTION E



LEGEND SHEET NOTES SWITCH (WITH DIMMER) SMOKE DETECTOR SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES WALL TAG FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE 3 WAY SWITCH (WITH DIMMER) CARBON MONOXIDE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT SENSOR GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE OUTLET WINDOW TAG REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT **GFI OUTLET** 101 LEAST 10 SECONDS. (CBC 1133A.6) DOOR TAG BASE CABINETS (INCLUDING TOE-BOARD AND SHELVING) DIRECTLY **CEILING LIGHT** UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED TRACK LIGHT KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3) TV/CABLE

J S P

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DRAWINGS.

CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

No. Date Description

Date 1 Revision 1

JSP Project Number jpcl01

AHJ Project Number 000000

Date 05/30/2022

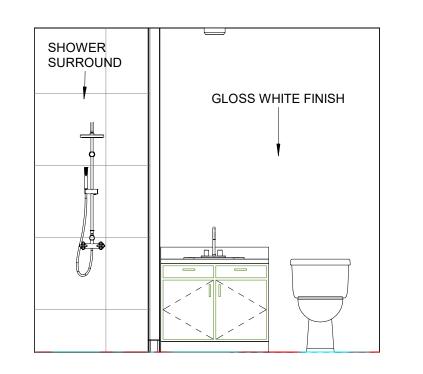
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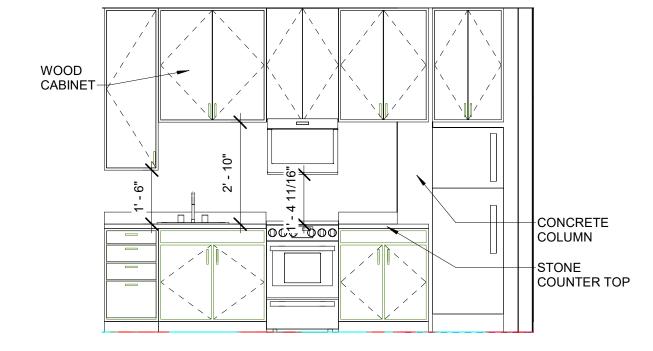
ENLARGED APARTMENT TYPE A1

A401

ELECTRICAL PANEL

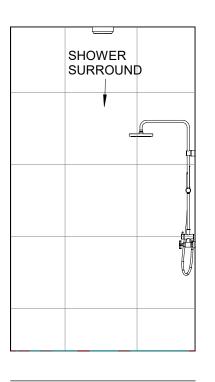
VANITY LIGHT





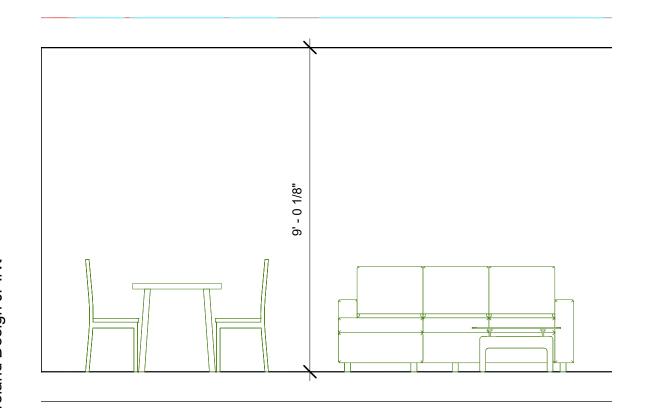
B BATHROOM 3/8" = 1'-0"

3 B KITCHEN 3/8" = 1'-0"

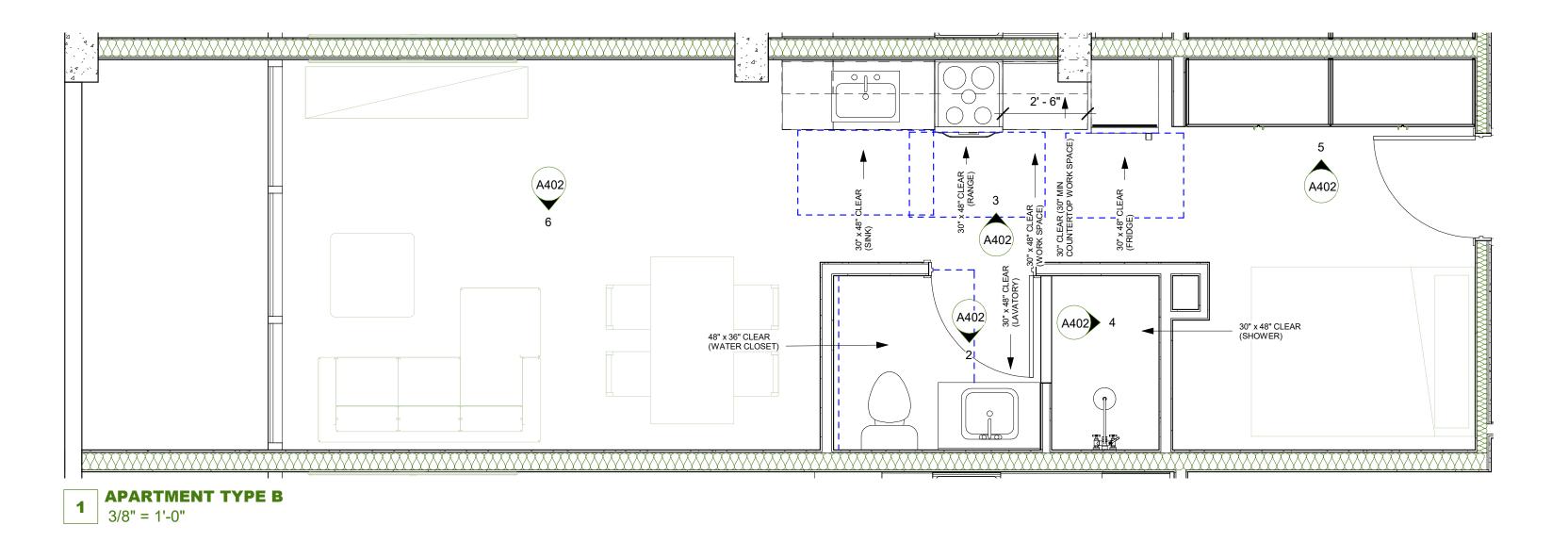


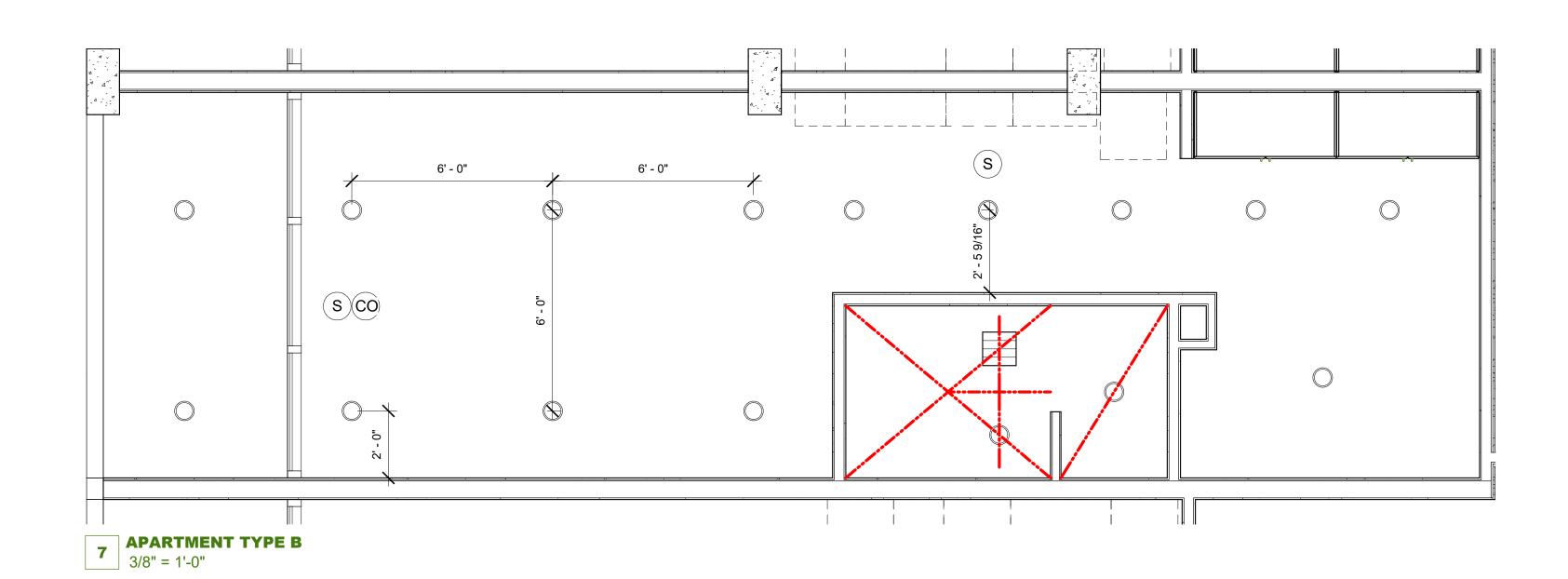
B SHOWER 3/8" = 1'-0"

B CLOSETS 3/8" = 1'-0"



B LIVING ROOM 3/8" = 1'-0"

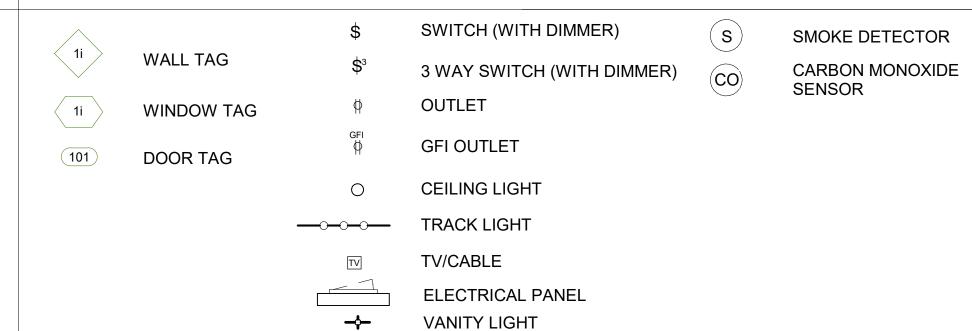




SHEET NOTES

- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
 FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
- 3. BASE CABINETS (INCLUDING TOE-BOARD AND SHELVING) DIRECTLY UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3)

LEGEND



J S P
DESIGN STUDIO

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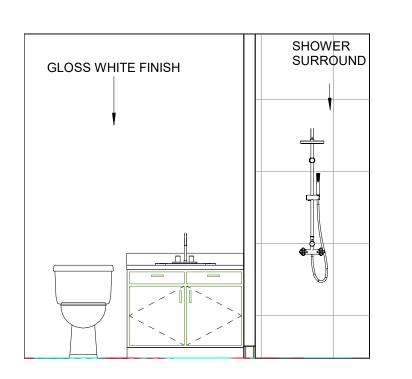
JSP Project Number jpcl01

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Date 05/30/2022

Scale As indicated

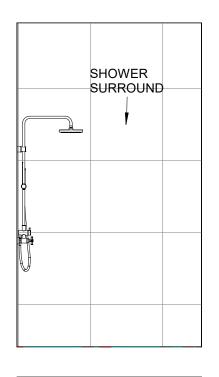
ENLARGED APARTMENT TYPE B



WOOD CABINET-<u></u> — <u>6</u> ← CONCRETE COLUMN-COUNTER TOP

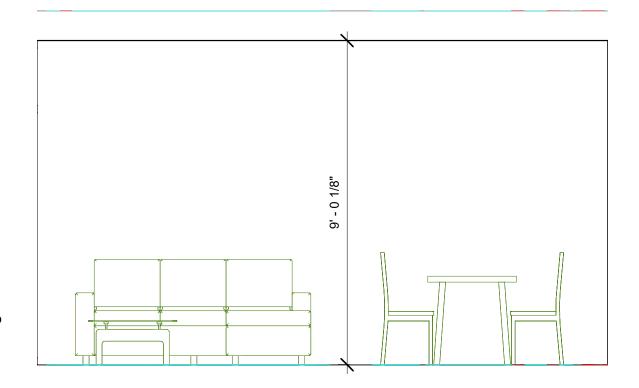
2 C BATHROOM 3/8" = 1'-0"

4 3/8" = 1'-0"

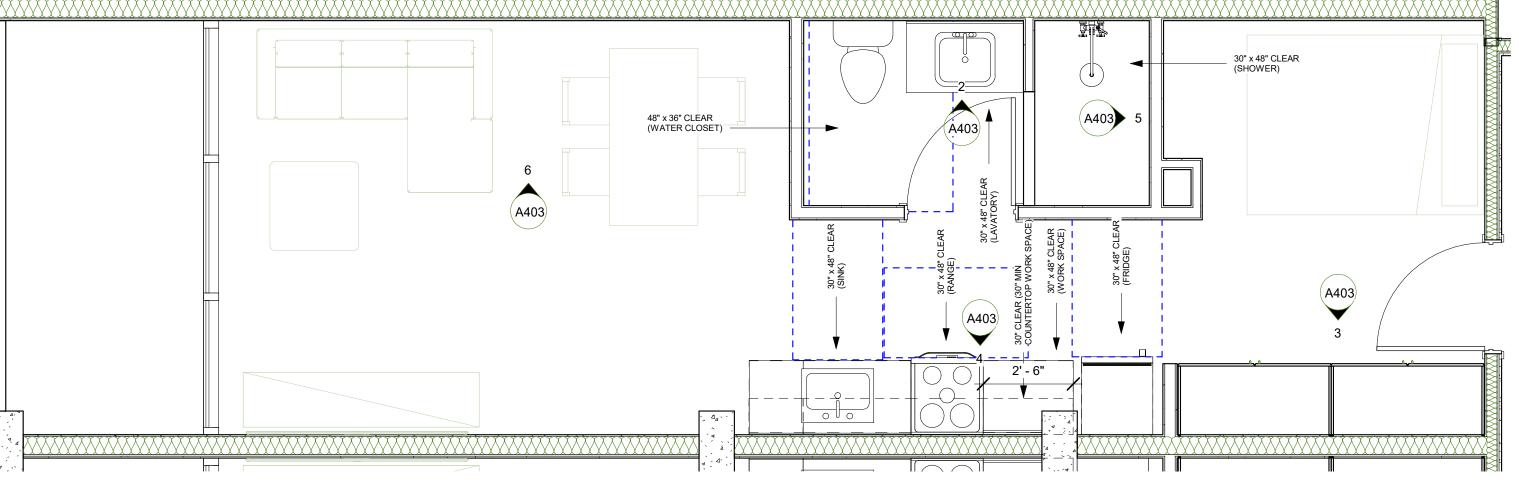


5 C SHOWER 3/8" = 1'-0"

3 C CLOSETS 3/8" = 1'-0"



6 C LIVING ROOM 3/8" = 1'-0"



1 APARTMENT TYPE C 3/8" = 1'-0"

SHEET NOTES

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SWITCH (WITH DIMMER) SMOKE DETECTOR WALL TAG 3 WAY SWITCH (WITH DIMMER) CARBON MONOXIDE SENSOR OUTLET WINDOW TAG **GFI OUTLET** 101 DOOR TAG

CEILING LIGHT

LEGEND

TRACK LIGHT TV/CABLE

ELECTRICAL PANEL VANITY LIGHT

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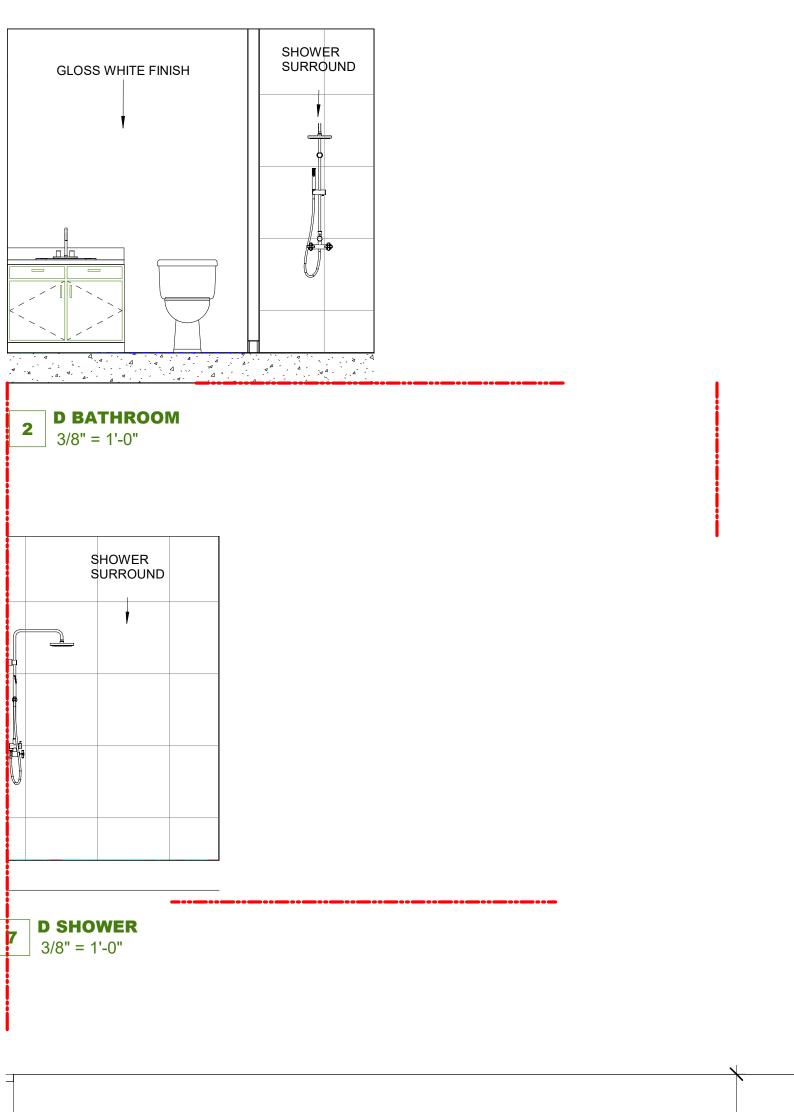
CLEVELAND ST. **APARTMENTS**

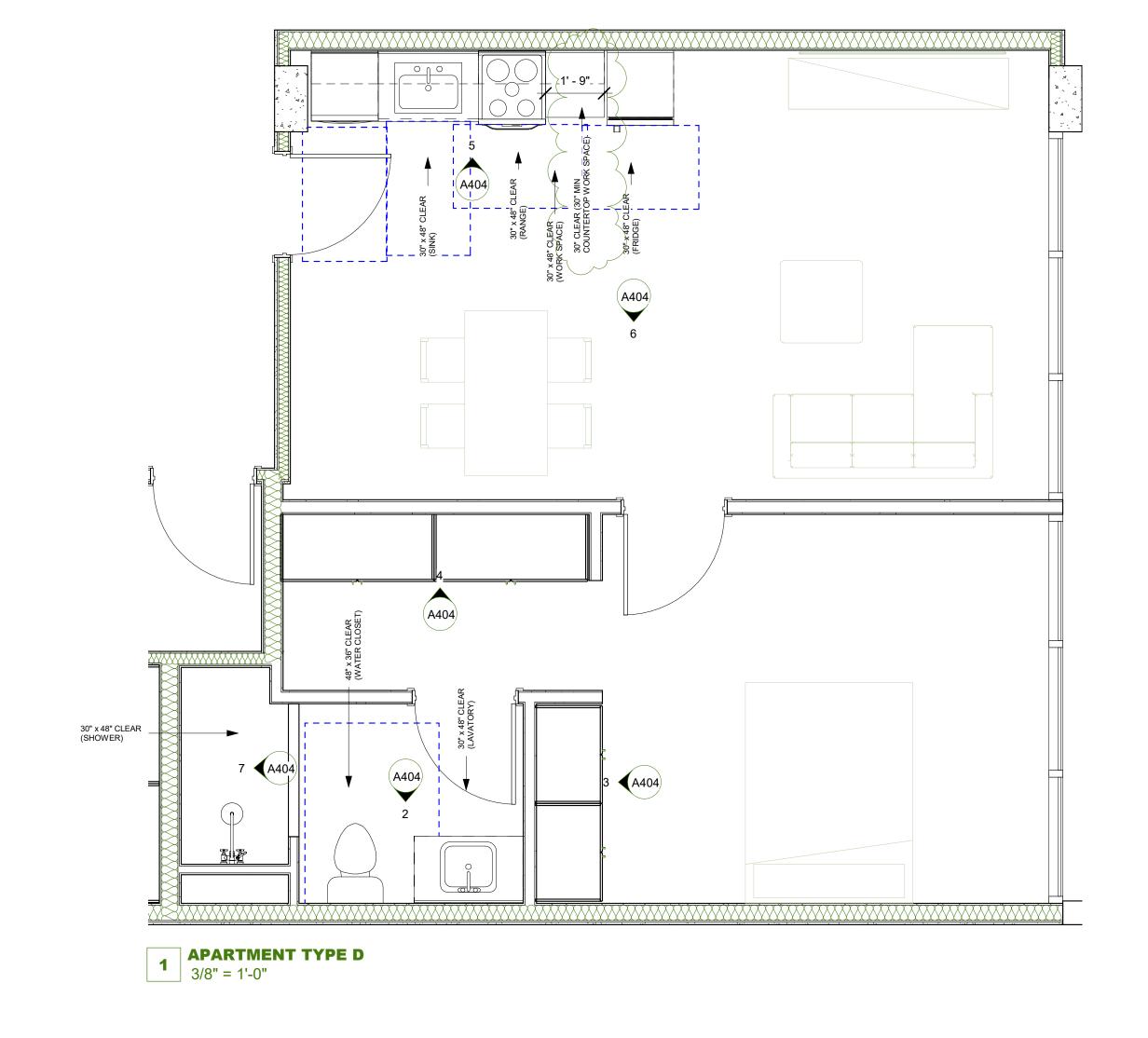
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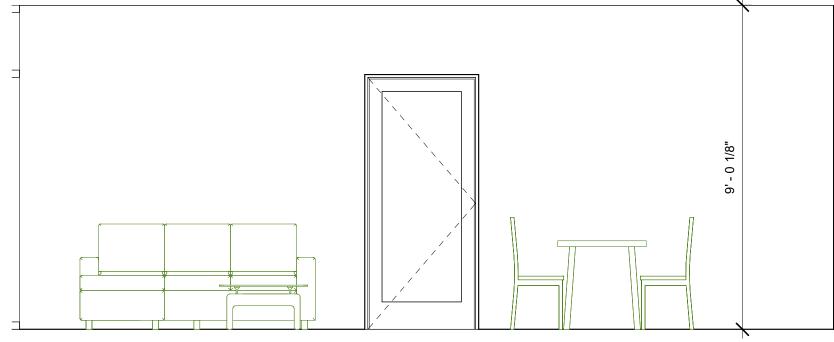
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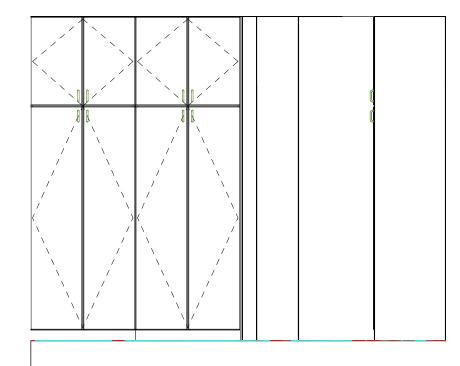
jpcl01 JSP Project Number 000000 AHJ Project Number 05/30/2022 As indicated

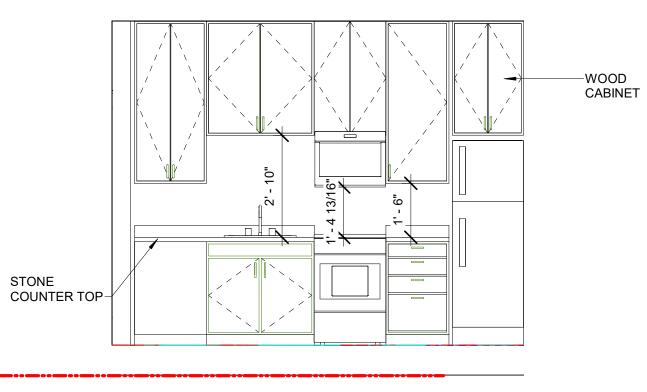
ENLARGED APARTMENT TYPE C











6 D LIVING ROOM 3/8" = 1'-0"

D CLOSET HALLWAY BEDROOM 3/8" = 1'-0"

3 D CLOSET BEDROOM 3/8" = 1'-0"

5 D KITCHEN 3/8" = 1'-0"

SHEET NOTES

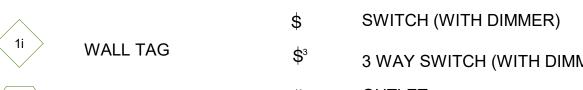
- SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (CBC 1133A.6)
- BASE CABINETS (INCLUDING TOE-BOARD AND SHELVING) DIRECTLY UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3)

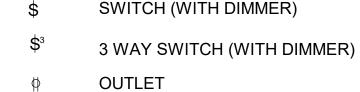


101

WINDOW TAG

DOOR TAG





GFI OUTLET

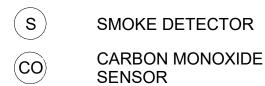
CEILING LIGHT

TRACK LIGHT

VANITY LIGHT

ELECTRICAL PANEL

TV/CABLE



ENLARGED APARTMENT TYPE D

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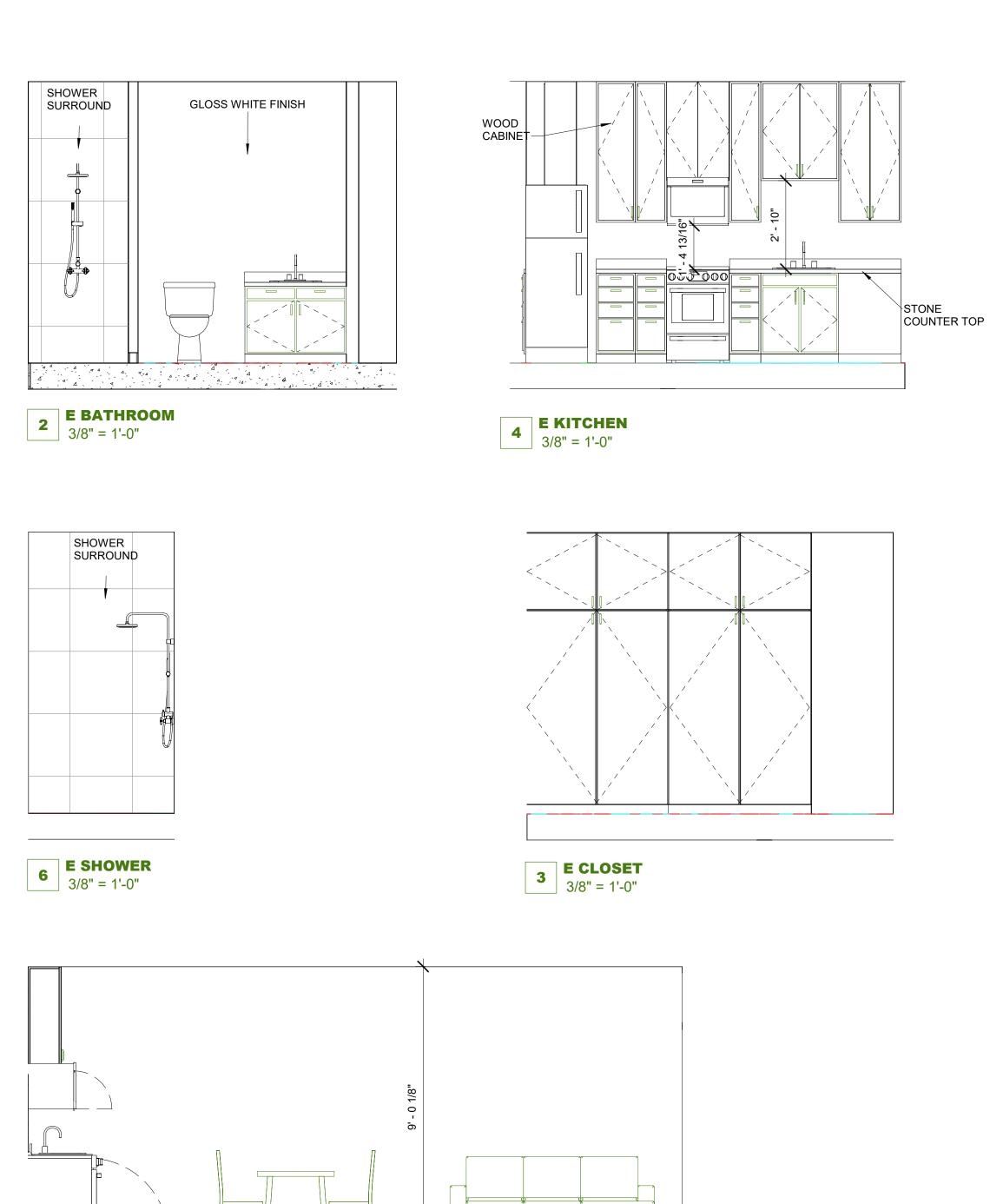
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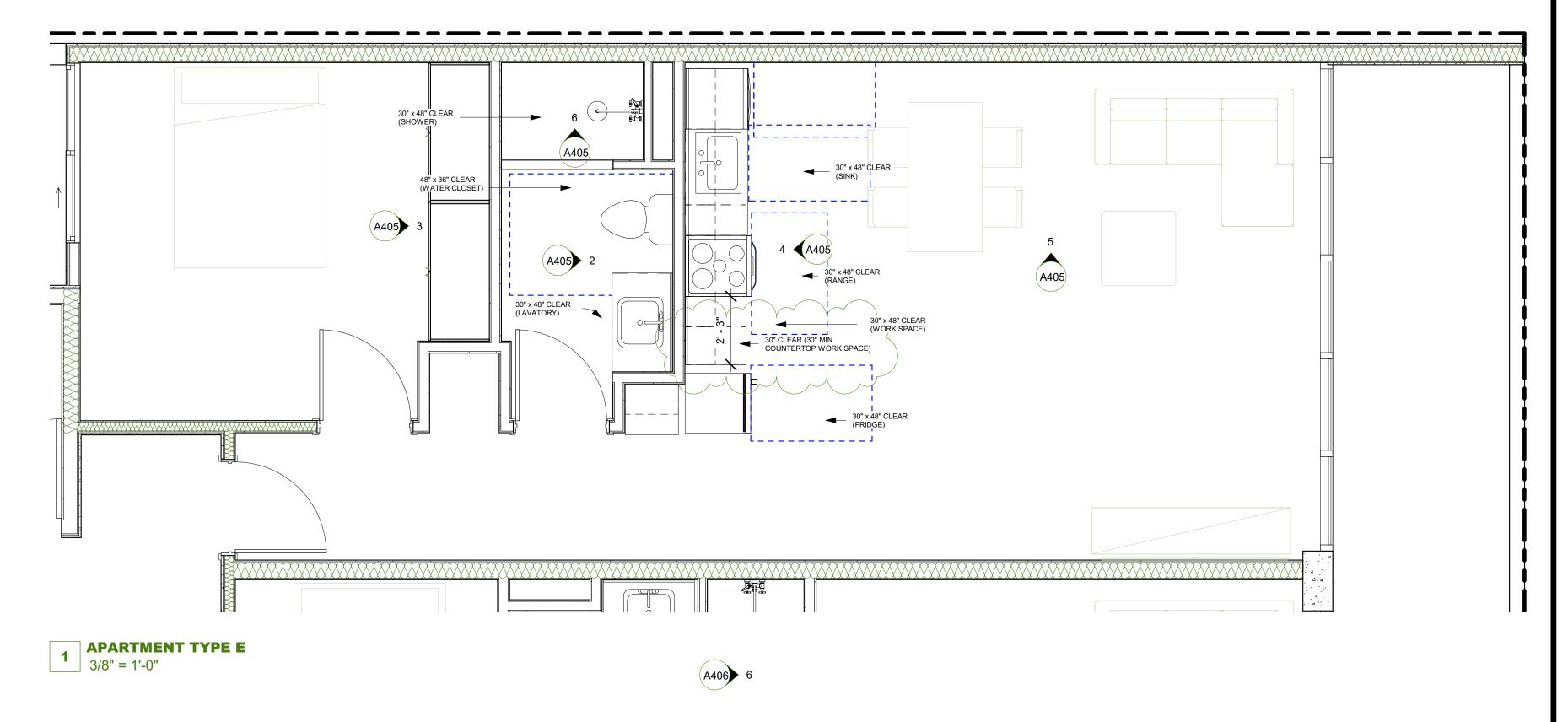
CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date 1 Revision 1

JSP Project Number jpcl01 000000 AHJ Project Number 05/30/2022 As indicated Scale





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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

No. Date Description

Date 1 Revision 1

JSP Project Number jpcl01

AHJ Project Number 000000

Date 05/30/2022

Scale As indicated

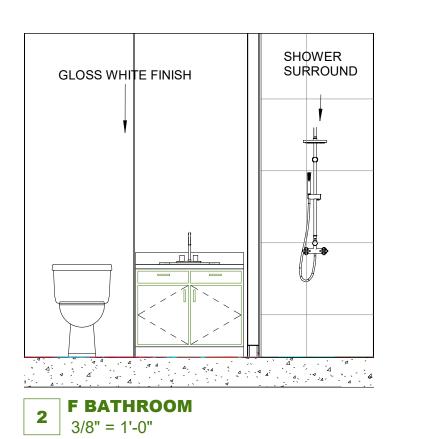
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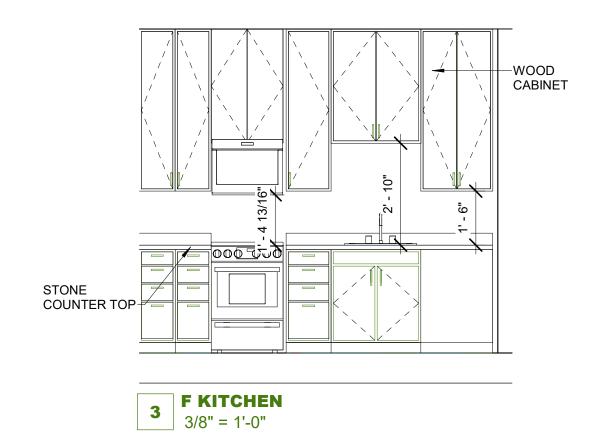
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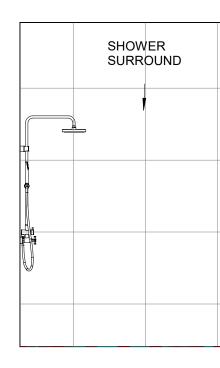
VANITY LIGHT

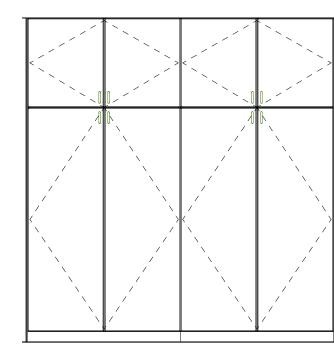
SHEET NOTES LEGEND SWITCH (WITH DIMMER) SMOKE DETECTOR SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES WALL TAG FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE 3 WAY SWITCH (WITH DIMMER) CARBON MONOXIDE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT SENSOR GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE OUTLET WINDOW TAG REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT **GFI OUTLET** 101 LEAST 10 SECONDS. (CBC 1133A.6) DOOR TAG BASE CABINETS (INCLUDING TOE-BOARD AND SHELVING) DIRECTLY CEILING LIGHT UNDER KITCHEN SINK AND WORK SURFACE TO BE REMOVEABLE WIHTOUT USE OF SPECIALIZED TOOLS OR SPECIALIZED TRACK LIGHT KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE CLEARANCE (PER CBC 1133A.3) TV/CABLE **ELECTRICAL PANEL**

5 E LIVING ROOM 3/8" = 1'-0"



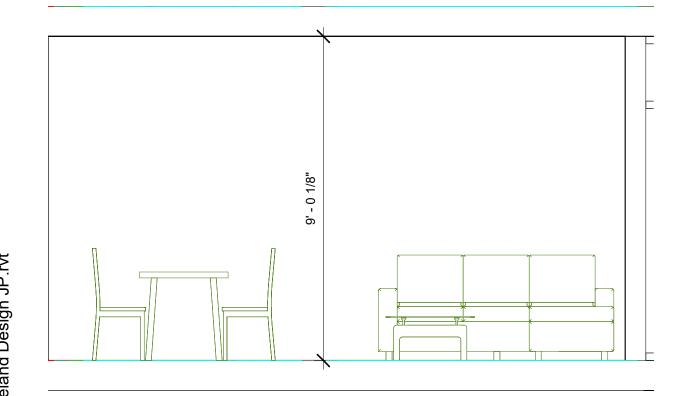


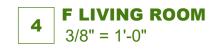


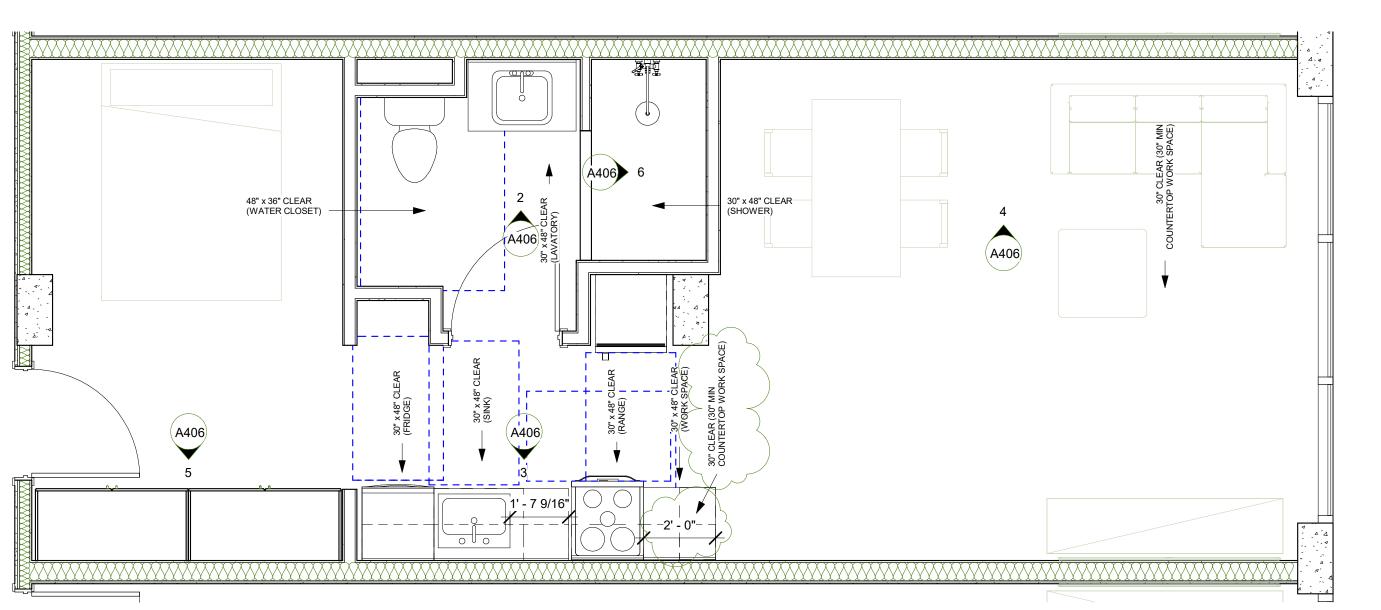










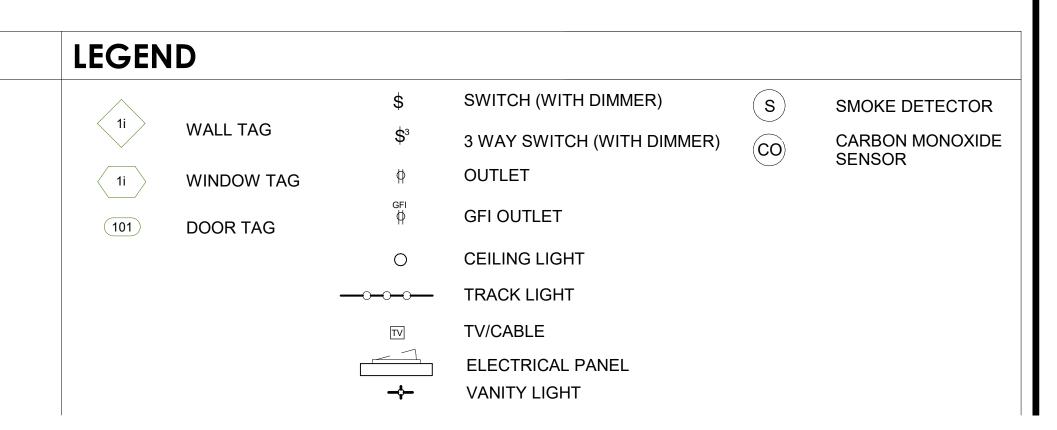


1 APARTMENT TYPE F 3/8" = 1'-0"

SHEET NOTES

1. SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES
2. FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE
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JS

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

No. Date Description

1 Date 1 Revision 1

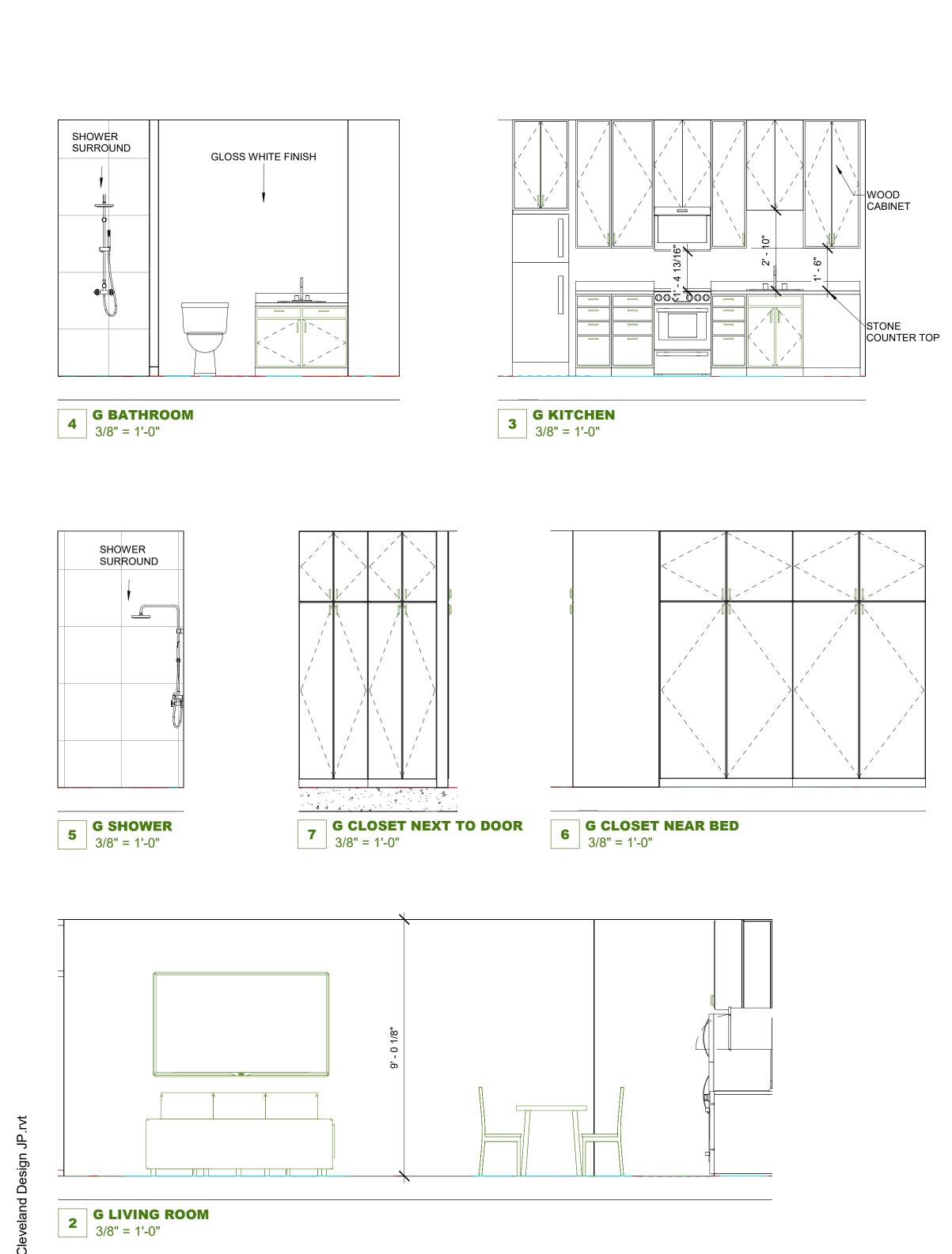
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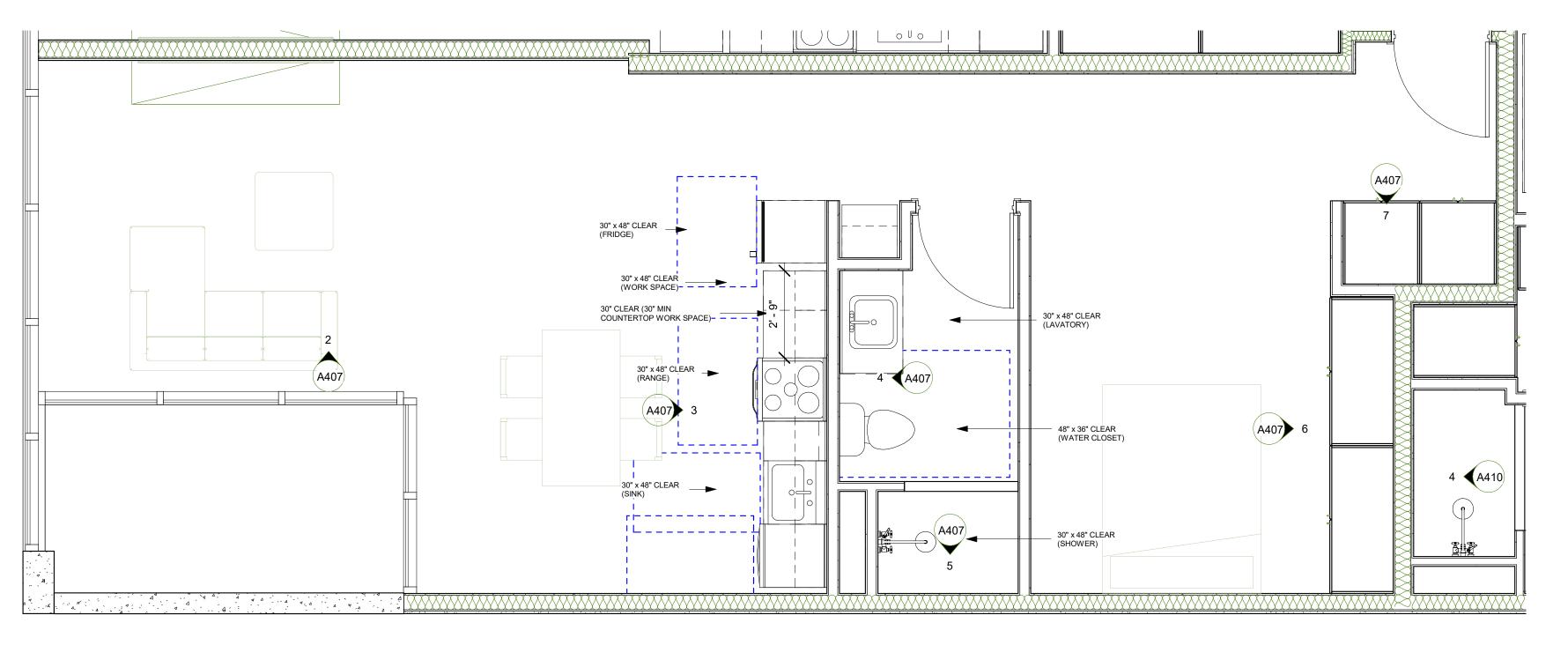
AHJ Project Number 000000

Date 05/30/2022

Scale As indicated

ENLARGED APARTMENT TYPE F





1 APARTMENTS TYPE G 3/8" = 1'-0"

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THE USE OF THIS INFORMATION FOR ANY OTHER PURPOSES THAN WHAT ARE

CLEVELAND ST.

APARTMENTS

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FOR ANY PURPOSE WHATSOEVER
WITHOUT PERMISSION OF JSP DESIGN
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DRAWINGS SHALL HAVE PRECEDENCE

OVER SCALED DIMENSIONS.

WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS,

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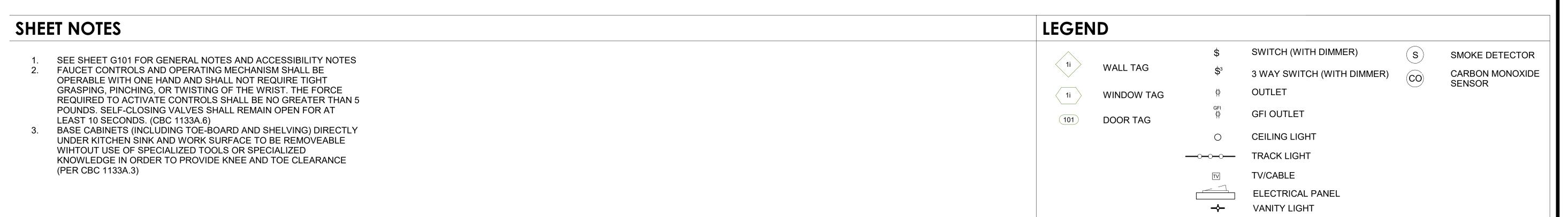
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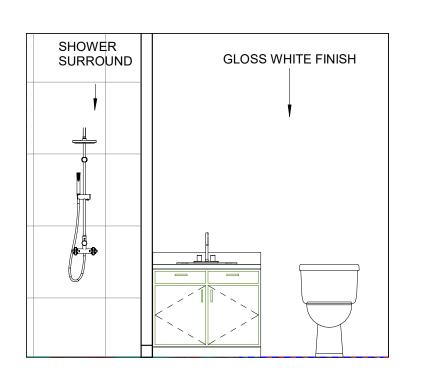
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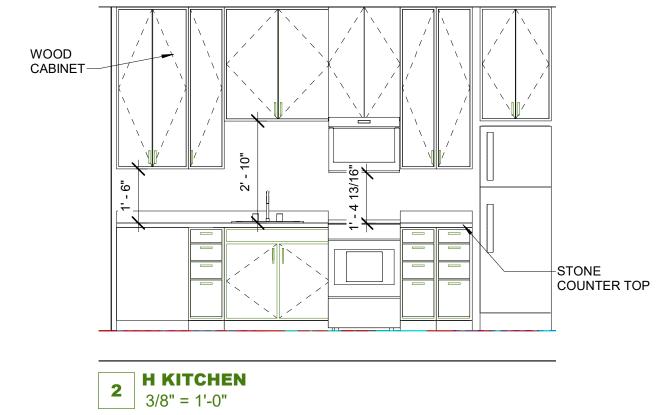
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ENLARGED APARTMENT TYPE G



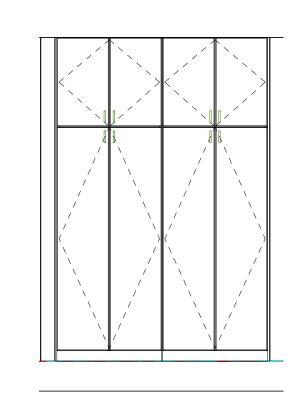


3 H BATHROOM 3/8" = 1'-0"

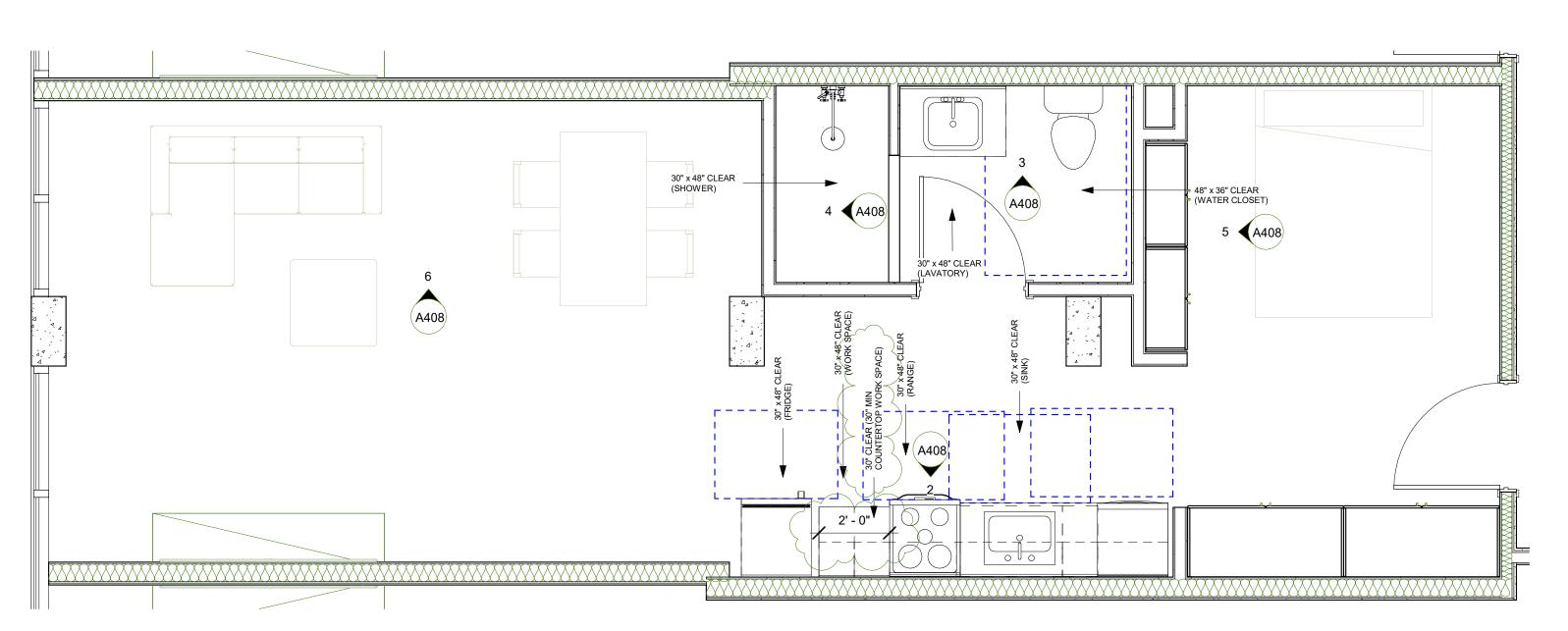


SHOWER
SURROUND

4 3/8" = 1'-0"



5 H CLOSET 3/8" = 1'-0"



1 3/8" = 1'-0"

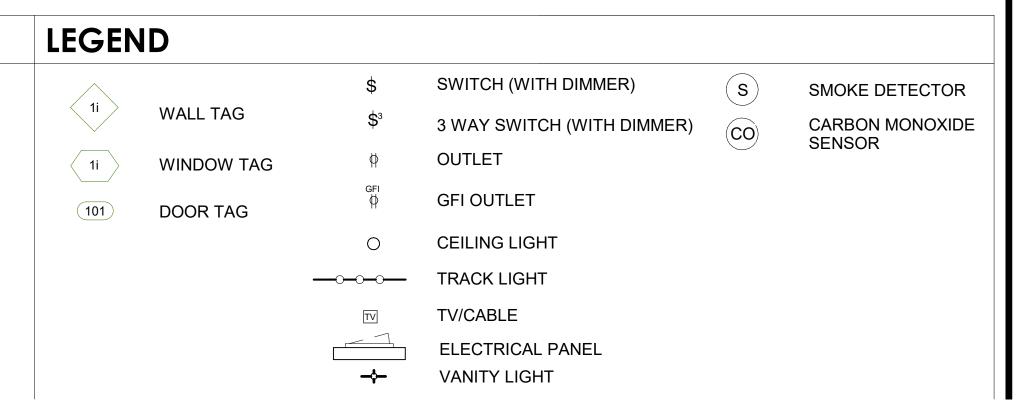


SHEET NOTES

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CLEVELAND ST. APARTMENTS

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

No.DateDescription1Date 1Revision 1

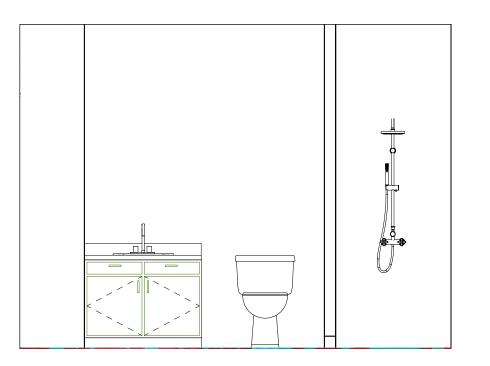
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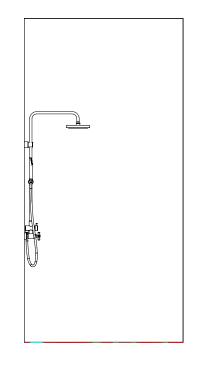
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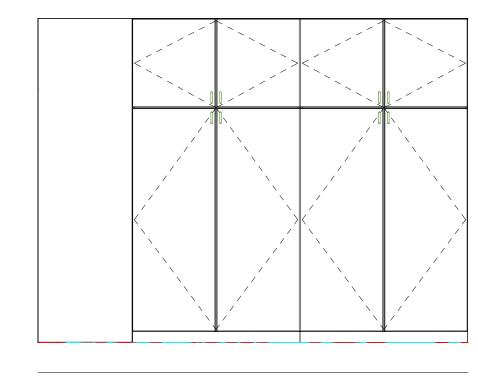




4 I BATHROOM 3/8" = 1'-0"

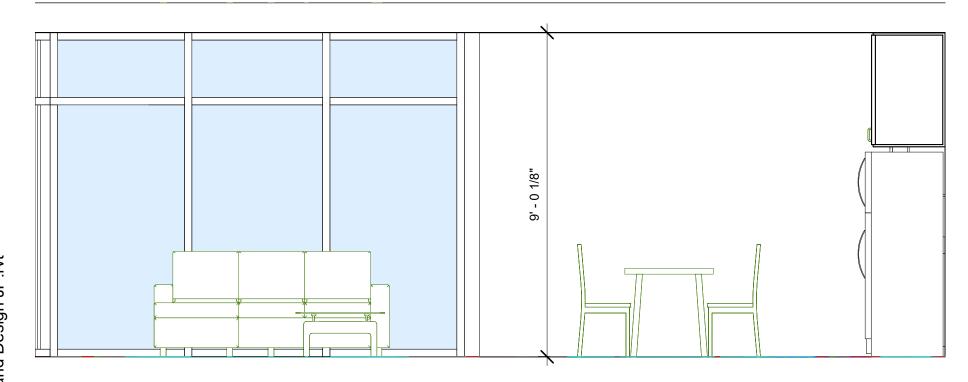
3 | KITCHEN | 3/8" = 1'-0"



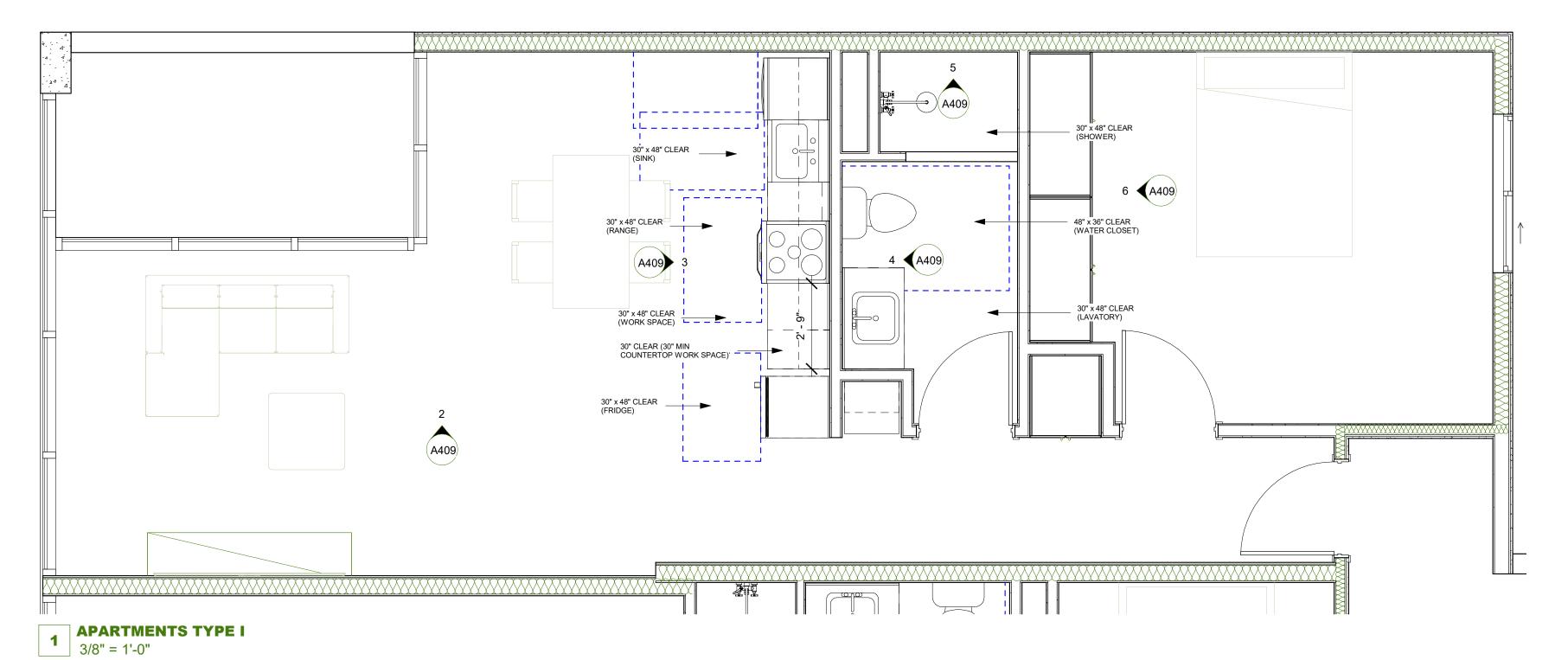


5 | SHOWER | 3/8" = 1'-0"

6 I CLOSET 3/8" = 1'-0"



2 I LIVING ROOM 3/8" = 1'-0"



SHEET NOTES

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LEGEND SWITCH (WITH DIMMER) SMOKE DETECTOR WALL TAG 3 WAY SWITCH (WITH DIMMER) CARBON MONOXIDE SENSOR OUTLET WINDOW TAG **GFI OUTLET** 101 DOOR TAG CEILING LIGHT TRACK LIGHT TV/CABLE **ELECTRICAL PANEL** VANITY LIGHT

S

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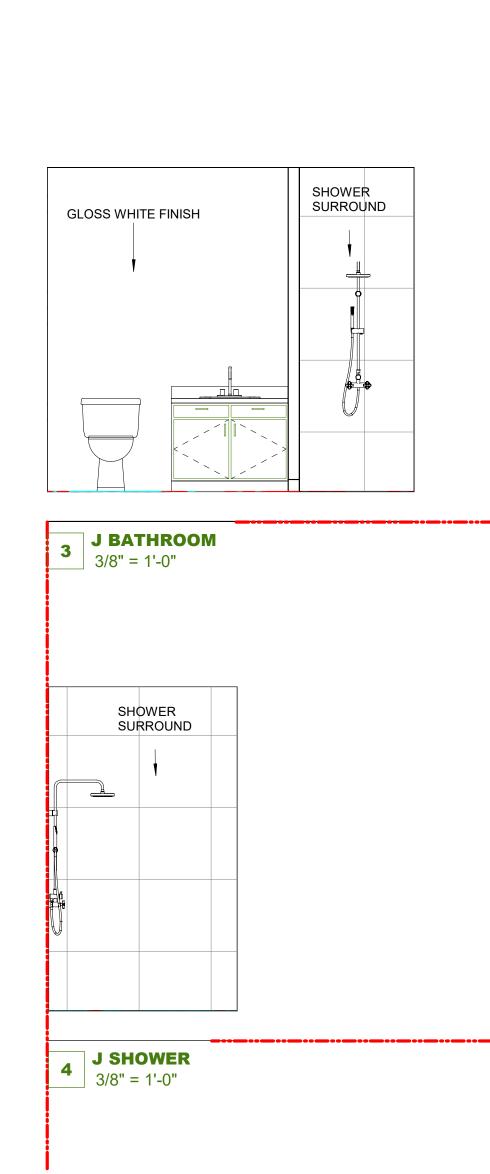
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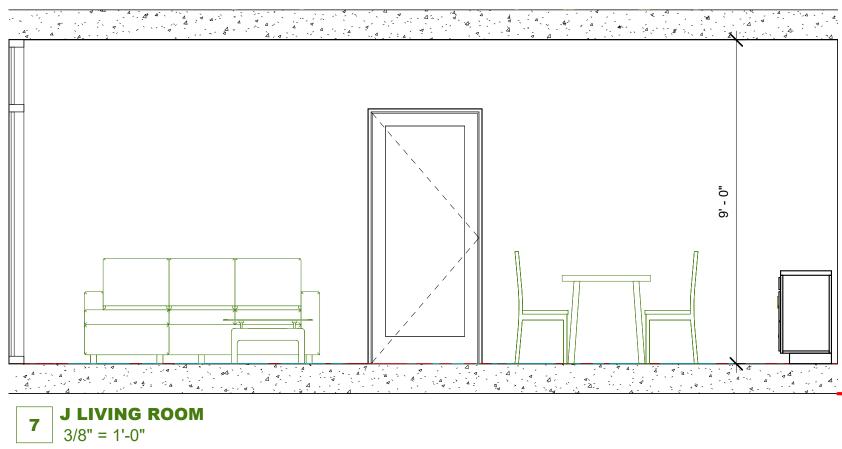
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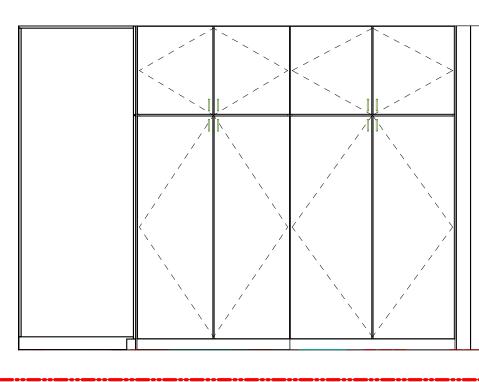
Date 05/30/2022

Scale As indicated

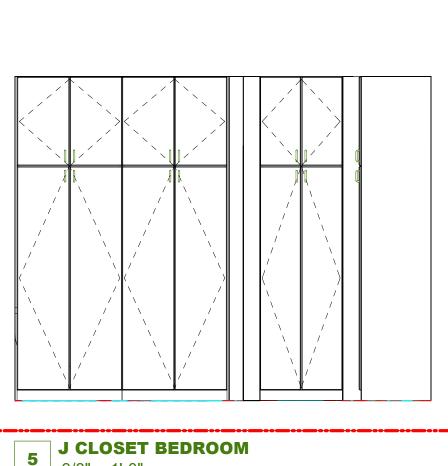
ENLARGED APARTMENT TYPE I







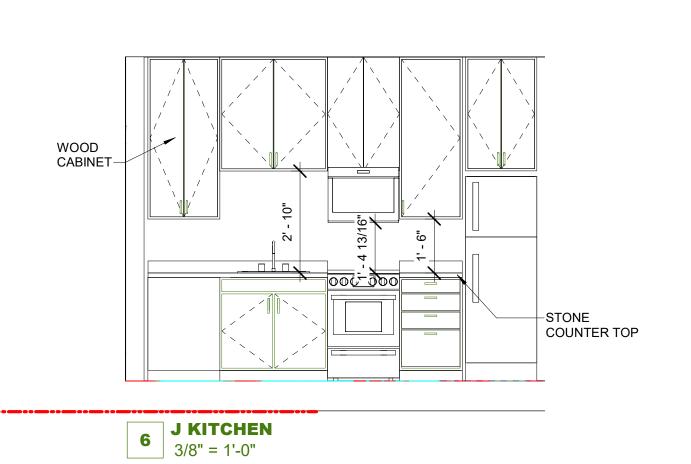




1 APARTMENTS TYPE J 3/8" = 1'-0"



30" x 48" CLEAR (SHOWER)



A410

48" x 36" CLEAR (WATER CLOSET)

(PER CBC 1133A.3)

SHEET NOTES

SEE SHEET G101 FOR GENERAL NOTES AND ACCESSIBILITY NOTES FAUCET CONTROLS AND OPERATING MECHANISM SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE

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LEGEND

30" x 48" CLEAR

SWITCH (WITH DIMMER)

WALL TAG 3 WAY SWITCH (WITH DIMMER) OUTLET

WINDOW TAG

101 DOOR TAG

GFI OUTLET

CEILING LIGHT TRACK LIGHT

TV/CABLE **ELECTRICAL PANEL** VANITY LIGHT

DRAWINGS.

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CLEVELAND ST. **APARTMENTS**

4350 CLEVELAND AVE, SAN DIEGO, CA 92103

Date 1 Revision 1

JSP Project Number jpcl01 000000 AHJ Project Number 05/30/2022 As indicated Scale

ENLARGED APARTMENT TYPE J

SMOKE DETECTOR

CARBON MONOXIDE

SENSOR