



July 2022


Sectional Planning Area Plan

Village 8 West

Otay Ranch, City of Chula Vista, California







Sectional Planning Area (SPA) Plan
for
Village 8 West
Otay Ranch, City of Chula Vista, California

As Adopted December 17, 2013
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Chapter 1

Introduction



1 - Introduction



Source: Duany Plater-Zyberk & Company

1.1 BACKGROUND

On October 28, 1993 the Chula Vista City Council and the San Diego County Board of Supervisors adopted the Otay Ranch General Development Plan/Subregional Plan (GDP) as a means of implementing the City of Chula Vista General Plan. The GDP resulted from the culmination of over 5 years of planning and provides clear direction and policies regarding the type and intensity of uses that will occur within the roughly 23,000-acre Otay Ranch. Proposed land uses include a series of urban villages, a resort community, the Eastern Urban Center (EUC), industrial parks, rural residential estates, the University/Regional Technology Park (RTP) with associated housing and commercial uses, and extensive open space. The Otay Ranch Resource Management Plan (RMP) open space preserve consists of approximately 11,375 acres and will complete the City of Chula Vista's greenbelt system while implementing the Chula Vista Multiple Species Conservation Program (MSCP) Subarea Plan. As the Otay Ranch area has developed over time, the GDP has been periodically amended to address land use and circulation issues specific to individual villages. Chula Vista General Plan and General Development Plan amendments necessary to address these issues have been processed and approved for Village 8 West.

On December 17, 2013, the City of Chula Vista adopted the Village 8 West Sectional Planning Area (SPA) Plan by Resolution No. 2013-270 with the Form Based Code regulations adopted by Ordinance No. 3295. The Applicant, HomeFed Village 8, LLC has proposed revisions to the adopted SPA Plan as reflected in this amended Village 8 West SPA Plan and associated Chula Vista General Plan and General Development Plan (GDP) Amendment.

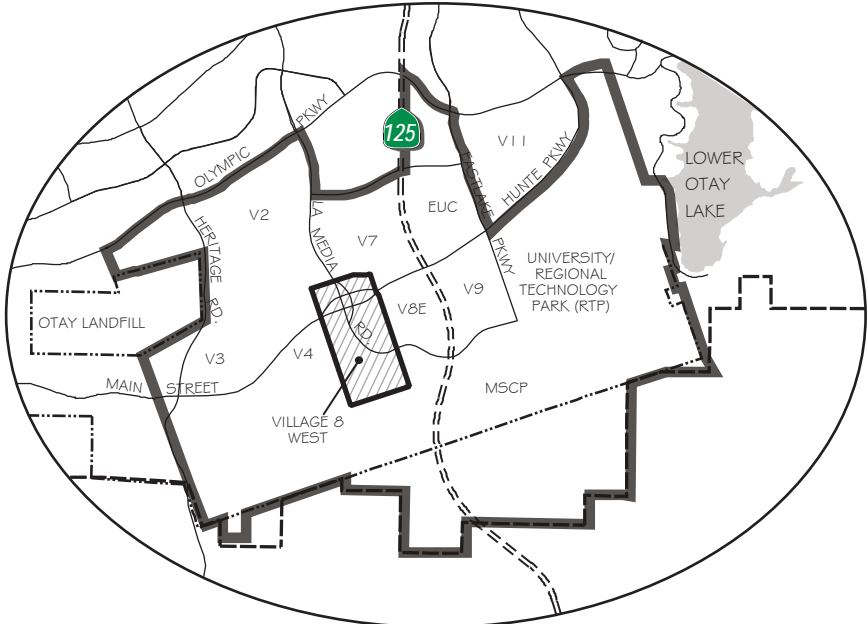
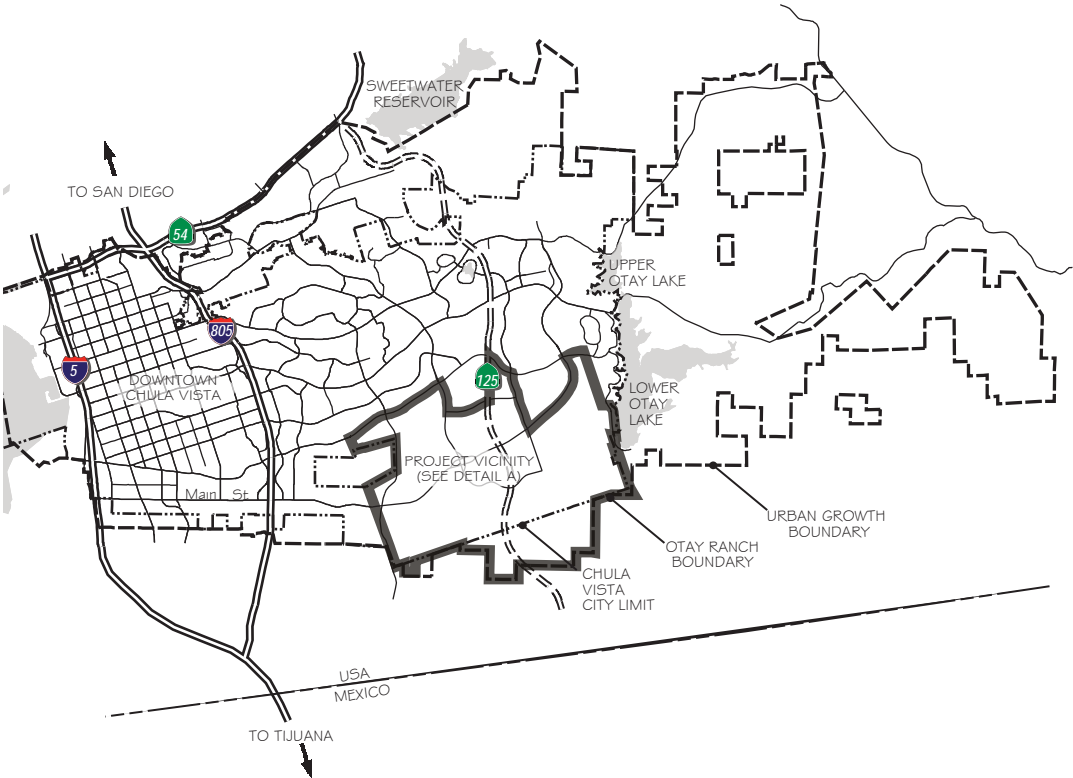
1.2 SCOPE AND PURPOSE

A central component of the Otay Ranch GDP is the “village” concept. Each village is approximately 1 square mile and is defined by a village core. Village cores consist of facilities and services needed to serve the every-day needs of its residents. Such uses include schools, shops, parks, and civic facilities. The density allowed pursuant to this SPA Plan is the result of the City’s General Plan policy which states that projects providing extraordinary benefits to the City are allowed more density. The proposed increased densities are contingent upon Otay Land Company (OLC) providing land to the City of Chula Vista for the University/RTP pursuant to the Land Offer Agreement (LOA). The highest density residential uses occur in and around the core in the form of mixed-use housing and retail as well as high-density attached homes. Residential densities decrease near the outer edges of each village to provide diversity in housing and serve a wide range of lifestyles and economic levels within each village. Most village cores include a transit stop. Higher residential densities at the core are intended to support commercial uses by activating the village core during all hours of the day and promote more walkable communities by providing facilities and services within a quarter mile of most homes. The village concept also promotes more efficient public transit and increased ridership by providing strong activity centers in each village and making transit close and convenient for most residents.

This Sectional Planning Area (SPA) Plan for Village 8 West refines and implements this village concept along with the remaining goals, objectives, and policies of the Otay Ranch GDP adopted in 1993 and amended in 1998, 2005 and 2012, and the 1995 City of Chula Vista General Plan as amended in 2005 and 2012. This plan is provided as required by the Otay Ranch GDP and pursuant to Title 19, Zoning, of the Chula Vista Municipal Code (CVMC). This SPA plan defines, in more detail, the development parameters for Village 8 West, including the intensity and location of development, the character and form of each neighborhood, design criteria, primary transportation patterns, open space and recreational amenities, and infrastructure and services necessary to support the community.

1.3 LOCATION AND REGIONAL SETTING

Village 8 West is located at the southerly edge of the Otay Valley Parcel of Otay Ranch. Village 8 West is located at the intersection of Main Street (Formerly Rock Mountain Road) and La Media Parkway. Village 8 West is surrounded by Village 4 to the west, Village 7 to the north, Village 8 East to the east, and MSCP open space to the south. Village 8 West currently consists of vacant, undeveloped land. Exhibit 1.1 - Vicinity Map illustrates the regional location of the SPA and its location within the Otay Valley Parcel of Otay Ranch.



DETAIL A

Exhibit 1.1 - Vicinity Map

1.4 DOCUMENT ORGANIZATION

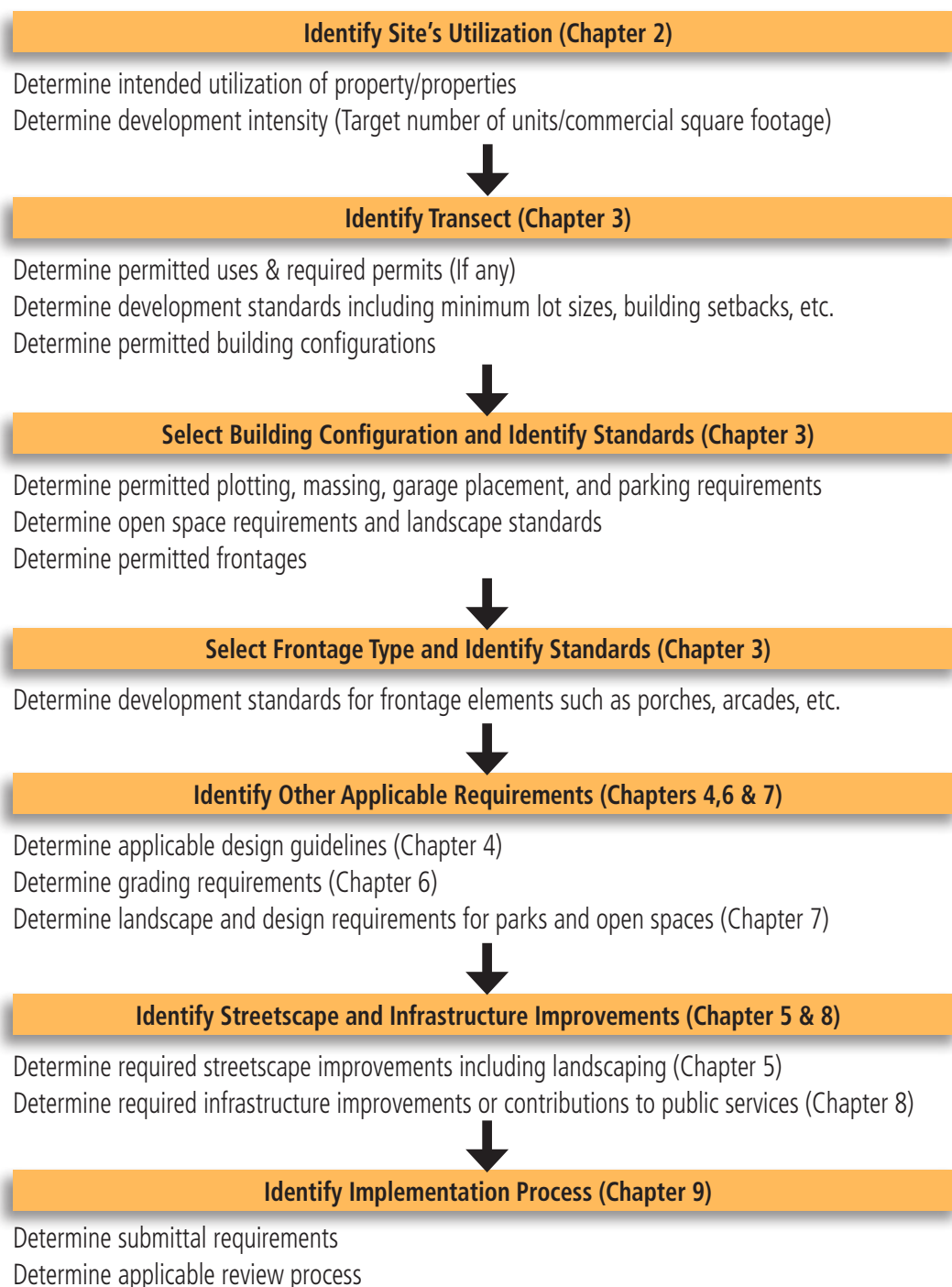
1.4.1 SPA Plan and the Form-Based Approach

Traditionally SPA plans have been accompanied by Planned Community (PC) District Regulations and a Design Plan. While each SPA plan described the project in general land use terms and established a series of community roadway classifications, the Planned Community (PC) District Regulations determined the development standards for the project in a traditional zoning code format. This Euclidian method of land use planning, which focuses solely on the segregation of incompatible land uses, does little to control the physical form and character of a place. Therefore, a Design Plan was also required to establish community character through architecture and landscape requirements. The resulting documents often included numerous redundancies, took more time to review, were often cumbersome to use, and did not allow design flexibility.

The Village 8 West SPA Plan provides a different approach by implementing form-based regulations and standards. The intent is to provide the same information in a single, concise, user-friendly document. The Congress of New Urbanism (CNU) created Form-based Codes (FBC) to address the shortcomings of traditional Euclidean zoning and create a more place-based planning tool. Form-based codes take the emphasis off of use and focus on the physical relationships between buildings, streets, and public spaces. Form-based codes approach the development of land by regulating the form, character, and street presence of buildings to focus attention on the public presentation of buildings, creating a public realm that is comfortable for pedestrians. The relationship of these elements plays a greater role in creating a place and establishing its identity than the uses that occur within. Uses are still controlled but they play a secondary role to the creation of walkable, pedestrian friendly communities and streetscapes. Moreover, this approach eliminates the need for separate PC District Regulations and a Design Plan by providing a more integrated approach to defining neighborhoods in terms of form and character.

1.4.2 How to Use this Document

To proceed through this document, first reference Exhibit 2.1 - Site Utilization Plan, to identify the organization and intensity of development proposed for each parcel within the SPA. The site utilization will determine if the parcel is intended for parks, open space, schools, community purpose facilities (CPF), residential uses, commercial uses, or mixed-use. Table 2.1 - Site Utilization Summary identifies the targeted number of units and density for each parcel. Once the site's utilization has been determined, identify the transect and zone by referencing Exhibit 3.2 - Regulating Plan, which identifies the appropriate form of each use. The transect and zone will determine required permits, building setbacks and placement, parking requirements, and other development standards. The transect will also identify appropriate building configuration(s). After selecting a suitable building configuration, the building configuration standards should be used to identify appropriate access, plotting, frontages, and more. Frontages are defined in further detail within the frontage standards. Then, reference applicable architectural and landscape design guidelines in Chapter 4, grading standards in Chapter 6, and park and open space standards in Chapter 7. Reference applicable street standards in Chapter 5 and public improvements in Chapter 8. Finally, determine required submittal materials and the applicable review process in Chapter 9. Exhibit 1.2 - SPA Flow Chart provides a guide to using this SPA plan for the evaluation of parcels and the process of submitting and reviewing development applications.

**Exhibit 1.2 - SPA Plan Flow Chart**

1.4.3 Supporting Documents

In accordance with the Otay Ranch GDP, the following additional documents were prepared as part of the adopted Village 8 West SPA Plan (2013); updated or supplemental Appendices to the SPA Plan were prepared for the SPA Amendment and are described below:

A. Public Facilities Finance Plan (Appendix A)

The Public Facilities Finance Plan (PFFP) implements the City of Chula Vista Growth Management Program and Ordinance. The intent of the document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City's General Plan, Growth Management Program, and the Otay Ranch General Development Plan. The PFFP ensures that development of Village 8 West will not adversely impact the City's Quality of Life Standards. The PFFP also contains a fiscal analysis identifying capital budget impacts on the City as well as maintenance and operation costs for each proposed phase of development. The PFFP components include an analysis of infrastructure facilities, such as water and sewer, and the provision of community services and facilities including fire protection and emergency services, law enforcement, libraries, schools, and parks. The analysis and provisions of the PFFP fulfill the GDP requirements for SPA-level Master Facility Plans for most facilities associated with the development of Village 8 West. This plan has been provided as Appendix A of this document. The Village 8 West Supplemental PFFP was prepared to address the SPA Amendment and is also included as Appendix A.

B. Air Quality Improvement Plan and INDEX Model (Appendix B)

The purpose of the Air Quality Improvement Plan (AQIP) is to respond to the growth management policies of the City of Chula Vista and those policies and regulations established at the broadest geographic level (State and Federal) in order to minimize air quality impacts during and after construction of projects within the villages. An updated AQIP was prepared for the SPA Amendment and is provided as Appendix B.

C. Non-Renewable Energy Conservation Plan (Appendix C)

The Otay Ranch GDP requires that each SPA plan prepare a Non-Renewable Energy Conservation Plan. This plan identifies measures to reduce the use of non-renewable energy resources through, but not limited to transportation, building design and use, lighting, recycling, and alternative energy sources. This plan has been updated to address the SPA Amendment as well as current energy conservation requirements and is provided as Appendix C of this document.

D. Preserve Edge Plan (Appendix D)

In accordance with the Otay Ranch Resource Management Plan (RMP), a Preserve Edge Plan is to be developed for all SPAs that contain areas adjacent to the MSCP Preserve. The purpose of the Preserve Edge Plan is to identify allowable uses within appropriate land use designations for areas adjacent to the MSCP Preserve. This plan has been updated to address the SPA Amendment and is provided as Appendix D of this document.

E. Agriculture Plan (Appendix E)

The 1993 Otay Ranch Program EIR requires the preparation of an Agriculture Plan concurrent with the approval of any SPA affecting on-site agricultural resources. This plan describes the types of agriculture activities being allowed as an interim use including buffering guidelines designed to prevent potential land use interface impacts related to noise, odors, dust, insects, rodents, and chemicals that may accompany agricultural activities and operations. This plan has been provided as Appendix E of this document.

F. Fire Protection Plan (Appendix F)

In accordance with the requirements of the City of Chula Vista Fire Department, Chapter 47 of the 2007 California Fire Code or the currently adopted version, a Fire Protection Plan (FPP) has been provided for all new development in the Village 8 West Urban Wildland Interface. The purpose of the Fire Protection Plan is to identify appropriate measures that will reduce the risk of fire and protect the life, safety, and property of residents living adjacent to wildland areas that are susceptible to fire. This plan has been provided as Appendix F of this document. The Village 8 West Fire Protection Plan Addendum and Figures Updates Memo (2019) was prepared to address the SPA Amendment and is also included as part of Appendix F.

G. Water Conservation Plan (Appendix G)

The purpose of the Water Conservation Plan (WCP) is to respond to the growth management policies of the City of Chula Vista, which are intended to address the long term need to conserve water in new developments, to address short term emergency measures, and to establish standards for water conservation. The Otay Ranch Village 8 West TM/SPA Amended Water Conservation Plan evaluation was prepared to address the SPA Amendment and is also provided as Appendix G of this document.

H. Affordable Housing Program (Appendix H)

The City of Chula Vista Housing Element requires that residential development with 50 or more dwelling units provide a minimum of 10% of the total dwelling units for low and moderate income households. Of these units, one-half (5% of the total project) are to be designated available to low income households and the remaining one-half (5% of the total project) to moderate income households. In order to guarantee the provision of affordable housing opportunities, the City requires that a specific Affordable Housing Program (AHP), consistent with the Housing Element, be prepared by the developer. The Affordable Housing Program is implemented through an Affordable Housing Agreement between the City and the developer. This Program has been updated to address the SPA Amendment and is provided as Appendix H of this document.

I. Community Purpose Facility Master Plan (Section 3.3.8)

The City of Chula Vista Municipal Code requires the preparation of a Community Purpose Facility Master Plan as a component of a SPA Plan. This plan identifies the location of sites, acreages, and facilities to be provided in the village. The Community Purpose Facility Master Plan is provided as Section 3.3.8, Community Purpose Facility (CPF) Zone.

J. Park, Recreation, Open Space, and Trails Plan (Chapter 7)

The Otay Ranch GDP requires that all SPA Plans prepare a Parks, Recreation, Open Space and Trails Plan. This plan is intended to identify locations, potential facilities, ownership, maintenance, and phasing of park, recreation, and trail facilities to be provided in the SPA. As part of the new form-based format, information on trails has been provided in Chapter 5, Circulation & Corridor Design, as part of the multi modal transportation approach. Information on parks, recreation, and open space is provided as Chapter 7, Parks & Open Space.

1.4.4. Technical Studies and Plans

Where additional project-specific study and planning is needed, the following separate technical studies and plans for the villages have been prepared and submitted concurrently with the Village 8 West SPA Plan:

1. Otay Ranch Village 8 West Traffic Impact Analysis Report; Prepared by RBF Consulting, April 17, 2012, updated March 8, 2013.
2. Revised Geotechnical Investigation, Village 8 West Otay Ranch, Chula Vista, California; Prepared by Advanced Geotechnical Solutions Inc, October 22, 2010.
3. Phase 1 Environmental Site Assessment, Otay Ranch Village 8 West, Chula Vista, California; Prepared by GEOCON Incorporated, as Revised March 22, 2011.
4. Paleontological Resource Assessment, Otay Ranch - Parcel B, Village 8 West, City of Chula Vista, San Diego County, California; Prepared by Department of Paleo Services San Diego Natural History Museum, September 2, 2010.
5. Cultural Resource Survey and Test for Otay Ranch Village 8 West Chula Vista, San Diego County, California; Prepared by Gallegos & Associates, February 2009; As revised by Noah Archaeological Consulting, July 2010.
6. Cultural Resource Survey and Test for Otay Ranch Village 8 West, Chula Vista, San Diego County, California; Confidential Appendix; Prepared by Gallegos & Associates, February 2009; As revised by Noah Archaeological Consulting, July 2010.
7. Otay Land Company, Village 8 West Biological Resources Report; Prepared by URS, May 2013.
8. Final Overview of Water Service for Otay Ranch Village 8 West; Prepared by Dexter Wilson Engineering, Inc. November 2010.
9. Final Overview of Sewer Service for Otay Ranch Village 8 West; Prepared by Dexter Wilson Engineering, Inc. November 2010.

10. Otay Ranch Village 8 West Sectional Planning Area, Project Noise Technical Report; Prepared by ATKINS, December 10, 2012.
11. Otay Water District, Water Supply Assessment and Verification Report, Otay Ranch Village 8 West; Prepared by Robert Kennedy, P.E. Associate Civil Engineer Otay Water District in consultation with Dexter Wilson Engineering, Inc. and San Diego County Water Authority, November 2010
12. Preliminary Tentative Map, Otay Ranch Village 8 West, Chula Vista Tract No. 09-04; Prepared by Hale Engineering, February 21, 2012.
13. Preliminary Drainage Study for Otay Ranch Village 8 West, Chula Vista Tract No. 09-04; Prepared by Hale Engineering, December 8, 2011.
14. Hydromodification Study for Otay Ranch Village 8 West, Chula Vista Tract No. 09-04; Prepared by Hale Engineering, August 26, 2011.
15. Preliminary Water Quality Technical Report, Otay Ranch Village 8 West, Chula Vista Tract No. 09-04; Prepared by Hale Engineering, December 8, 2011.
16. Otay Ranch Village 8 West Sectional Planning Area Project, Air Quality Technical Report; Prepared by ATKINS, December 10, 2012.

In addition to the above-listed technical reports and studies, the following analyses were completed to support the Addendum to the 2013 EIR and analyze the proposed revisions to the Chula Vista General Plan, Otay Ranch GDP, this SPA Plan and the Village 8 West revised Tentative Map:

17. Otay Ranch Village 8 West – Air Quality and Greenhouse Gas Update, prepared by Dudek, October 2019.
18. Otay Ranch Village 8 West – Biological Resources, prepared by ICF, June 2019.
19. Geotechnical Review of the Revised Tentative Map, Otay Ranch Village 8 West, prepared by Advanced Geotechnical Solutions, July 2019.
20. Amended TM Drainage Study for Village 8 West, prepared by Hale Engineering, October 2019.
21. Priority Development Project (PDP) Storm Water Quality Management Plan for Amended TM for Village 8 West, prepared by Hale Engineering, January 2020.
22. Otay Ranch Village 8 West Project – Noise Update, prepared by Dudek, October 2019.
23. Otay Ranch Village 8 West Trip Generation Review, prepared by Chen Ryan, February 2020.
24. Otay Ranch Village 8 West SPA Amendment Water Evaluation, prepared by Dexter Wilson Engineering, Inc., October 2019.
25. Otay Ranch Village 8 West SPA Amendment Sewer Evaluation, prepared by Dexter Wilson Engineering, Inc., October 2019.
26. Cultural and Paleontological Resources Review for the Revised Village 8 West Tentative Map, prepared by Brian Smith & Associates, July 2019.

1.5 LEGAL SIGNIFICANCE AND CEQA

The project is subject to the requirements of the California Environmental Quality Act (CEQA). The provisions of CEQA will be implemented by the City as part of the approval process for the Village 8 West SPA Plan. All mitigation measures and monitoring activities identified and incorporated into the project as a part of the CEQA process shall be implemented through the Village 8 West SPA Plan or other appropriate components of the Village 8 West SPA Plan. All future discretionary permits will need to be consistent with the Village 8 West SPA Plan.

1.6 LAND OFFER AGREEMENT

The Village 8 West SPA Plan is consistent with the applicable provisions of the Land Offer Agreement, as amended and approved by City Council on February 13, 2013.

1.7 RELATIONSHIP TO OTHER APPROVED PLANS AND DOCUMENTS

The Village 8 West SPA Plan is consistent with the City of Chula Vista General Plan (GP) and the Otay Ranch General Development Plan (GDP), as amended. A detailed description of the Village 8 West SPA Plan's consistency with the GDP is provided in Chapter 10.

Subdivision maps, improvement plans, and other development proposals submitted concurrently with or after the adoption of this SPA Plan will provide the necessary detailed plans for construction of project's within the SPA as described in this document. These plans, the construction process, and the ultimate uses/activities that occur within the SPA shall be consistent with the applicable provisions of the Village 8 West SPA Plan and related documents. In addition to the supporting documents, technical studies, and plans directly related to this SPA (as listed in Sections 1.4.3 and 1.4.4), development within the SPA shall comply with the following city-wide documents and/or have be amended as needed for consistency:

1. City of Chula Vista General Plan (GP)
2. Otay Ranch General Development Plan (GDP)
3. Otay Ranch Resource Management Plan, Phases 1 and 2 (Any reference to Otay Ranch Resource Management Plan (RMP) herein shall mean RMP 1 and 2)
4. Multi-Species Conservation Plan Subarea Plan (MSCP)
5. City of Chula Vista Parks and Recreation Master Plan (2018)
6. City of Chula Vista Greenbelt Master Plan
7. City of Chula Vista Library Master Plan
8. City of Chula Vista Fire Master Plan and Subarea Master Plan, 1997
9. Site Specific Sectional Planning Area Fire Facility and Emergency Response Analysis
10. Airport Land Use Compatibility Plan (ALUCP) for Brown Field
11. Chula Vista, California - 2010 Fire Facility/Deployment Master Plan
12. Otay Valley Regional Park (OVRP) Concept Plan, 2016



Chapter 2

Development Concept



2 - Development Concept



Source: Duany Plater-Zyberk & Company

2.1 DESIGN INFLUENCE

The City of Chula Vista General Plan, the Otay Ranch General Development Plan (GDP), and the Overall Otay Ranch Design Plan describe the basic design concept for the Otay Ranch villages. The site plan for Village 8 West is based upon those guiding documents, the unique characteristics of the site, and surrounding existing and proposed development in adjacent SPAs.

Village 8 West's land use and circulation pattern are designed to reflect new urbanist and traditional town planning principles including the pedestrian and transit-oriented village concept described in the Otay Ranch GDP. These principles provide the primary framework for the Village 8 West SPA Plan. This village concept intensifies residential densities and commercial uses at the heart of the community to enhance transit use, promote walkability, and create vibrant commercial and public spaces that promote social interaction and a strong community identity. This is achieved through the use of transect, form-based planning and urban couplets that establish the appropriate intensity, scale, and form along public streetscapes and create intimate, pedestrian friendly streets and corridors. An urban couplet consists of a pair or "couple" of one-way streets designed to handle the same volume of traffic as a single two-way arterial road. Two urban couplets promote activity in the Village 8 West Town Center by allowing arterial traffic to travel efficiently and safely through the Town Center rather than around the Town Center, thereby increasing the visibility, exposure, and long-term viability of the businesses within. These urban couplets organize traffic to allow for a better mix of vehicles, bicycles, pedestrians, and transit.

Other influences reflect on-site conditions and characteristics such as landforms, viewsheds, sustainability, and architectural integrity of completed Otay Ranch villages and surrounding uses. Transect, form-based planning allows for smooth transitions to the natural areas adjacent to the site. This transition supports a development pattern that respects the natural topography, views, and physical connection to the Otay River Valley, promoting the enjoyment and preservation of these natural resources. A focus on form allows greater flexibility in the expression of architectural style while still achieving quality architecture and streetscapes.

2.2 PHILOSOPHY AND OBJECTIVES

The guiding philosophy and key planning principles for Village 8 West include the following:

1. Create a recognizable “place” that is unique, attractive, and full of cultural and social diversity.
2. Develop distinctive design standards and invest in design excellence to create inspiring and memorable places; emphasize the appearance and qualities of the public realm; create streetscapes, pathways, and public spaces of beauty, interest, and functional benefit to pedestrians.
3. Encourage development patterns that promote orderly growth, prevent urban sprawl, and promote effective resource management.
4. Protect and enhance the natural environment and increase the quality of life. Design neighborhoods with compact and multi-dimensional land use patterns that ensure a mix of uses and joint optimization of transportation modes to minimize the impact of cars, promote walking and bicycling, and provide access to employment, education, recreation, entertainment, shopping, and services.
5. Create an appropriately scaled and economically healthy Town Center. Include a wide range of commercial, residential, cultural, civic, recreational uses, and businesses that serve the daily needs of nearby residents.
6. Establish a pedestrian and transit-oriented village with an intense, vibrant Town Center to reduce reliance on the automobile and promote walking and the use of bicycles, buses, and regional transit.
7. Encourage community development in mixed-use and compact pedestrian oriented forms to accommodate all income levels and lifestyles.
8. Foster a compact form facilitated by “form-based planning,” resulting in efficient infrastructure investments and advanced opportunities to provide socially diverse housing.
9. Retain and recruit a skilled and motivated workforce to ensure economic stability into the future by providing attainable housing opportunities. Promote jobs that match the skills of existing and future residents through provision of housing opportunities and choices and by providing an opportunity for the City to attract a university or related uses by dedication of land for such purposes.
10. Promote synergistic uses and graceful transitions within the SPA and between the SPA and neighborhoods of adjacent SPAs to balance activities, services, and facilities. Integrate Village 8 West with existing Otay Ranch development, including connectivity to the Greenbelt.
11. Implement the goals, objectives, and policies of the Chula Vista General Plan, the Otay Ranch General Development Plan, the Chula Vista Greenbelt Master Plan, and the Otay Valley Regional Park Concept Plan.
12. Encourage the interactivity of a wide range of people, promote community diversity, and enrich the human experience by providing a broad variety of public spaces and housing types and styles that appeal to all ages, incomes, and lifestyles.
13. Establish a plan that is fiscally responsible and viable with consideration of existing and anticipated economic conditions.

2.3 SITE UTILIZATION

Exhibit 2.1 - Site Utilization Plan and Table 2.1 - Site Utilization Summary implement the land uses contemplated by the Otay Ranch GDP for this area. The Site Utilization Plan and Summary work together and assign a general utilization to each transect within the SPA. Uses include an elementary school, a variety of parks, various open space areas, attached and detached residential units, and mixed-use areas. In addition to defining each transect's utilization, individual planning areas are also assigned a targeted number of dwelling units and a range of commercial square feet. These targets and ranges, as shown in Table 2.1 - Site Utilization Summary, are only estimates. Units and commercial square footage may be transferred between planning areas pursuant to Section 9.3.2.B. of this SPA plan.

2.3.1 Community Structure

The Village 8 West SPA Plan strives to create a new community centered around a pedestrian oriented, mixed-use Town Center. Uses are envisioned to include retail, office, high density residential, institutional, social, and community services that support adjacent residential neighborhoods. Such uses might include restaurants, coffee shops, dry cleaners, grocery stores and opportunities for shopping and entertainment. These interchangeable mixed-use components create a 24-hour activity center for the community ensuring a safe, healthy, and vibrant heart for the community.

The mixed-use Town Center is organized to create a series of corridors that emulate a traditional urban neighborhood within a system of "blocks" or planning areas. Block sizes and circulation through the Town Center have been carefully defined to maximize walkability and promote a vibrant and active Town Center area. Blocks are defined by two urban couplets. Rather than divert traffic away from and around the Town Center, the couplets bring arterial traffic through the Town Center to promote activity, increase visibility, and ensure the long-term viability of businesses within. Couplets, which consist of a pair or "couple" of one-way streets, are designed to accommodate similar volumes of traffic as traditional two-way arterials with improved turning movements, through movements, and pedestrian scale. The reduced overall width of the street creates a more intimate streetscape, benefiting the overall appearance and environment for all users including drivers, bicyclists, and pedestrians. The increased activity also supports transit use, thereby achieving the goal of a multi-modal, pedestrian oriented Town Center.

The intensity of development within the SPA is organized such that densities and neighborhood form transition gracefully from the Town Center to the edges of development. Densities south of the Town Center gradually decrease toward the Otay River Valley while corridor setbacks increase according to adjacent densities and neighborhood forms. Within the mixed-use Town Center, corridors are well defined by taller buildings and reduced or zero setbacks. Setbacks within the multi-family neighborhoods are greater than those in the Town Center but are still well defined by buildings. Beyond the Town Center, the main arterial through the community, La Media Parkway is characterized by a landscaped setback that has an average minimum measurement of 75-feet. Within the lowest density neighborhoods, corridors are defined by lower profile buildings, and deeper building setbacks. Within these varying development intensities and neighborhood forms, a multitude of housing opportunities are available including opportunities for affordable and new generational housing in the intensified Town Center and adjacent neighborhoods.

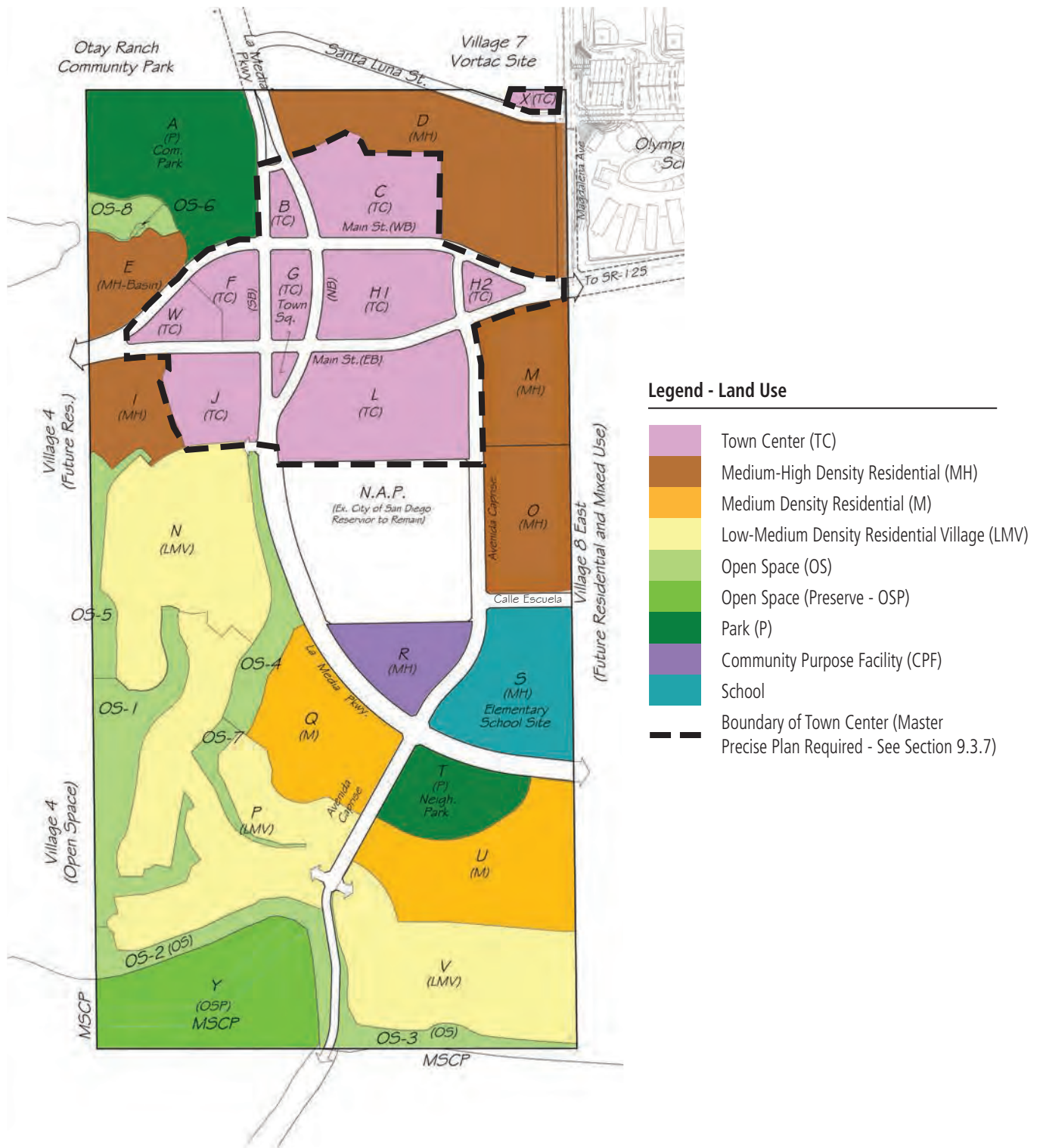


Exhibit 2.1 - Site Utilization Plan

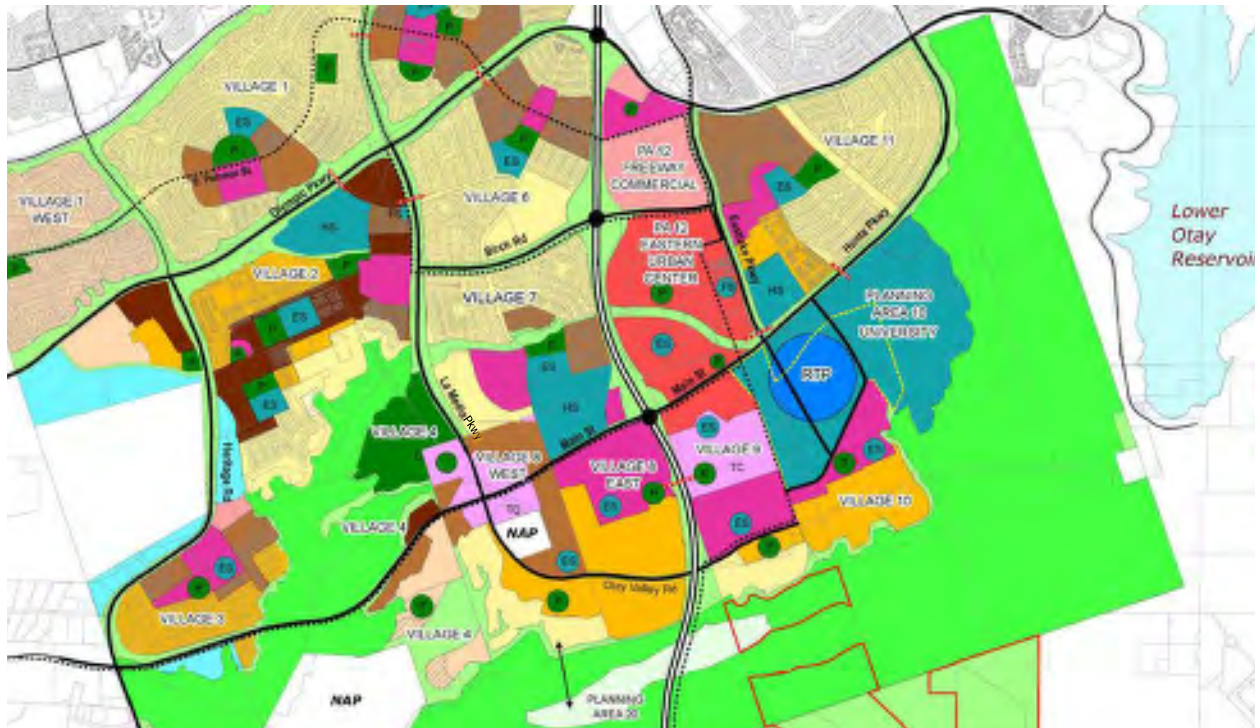


Table 2.1 - Site Utilization Summary

Commercial and Residential						Public, Quasi Public, and Other				
Town Center - 18-45 du/ac						Community Purpose Facility (CPF)⁽⁴⁾				
Planning Area	Gross Acres	Transect ⁽¹⁾	Target Res. Units ⁽²⁾	Com'l Min. ^{(2) (3)}	Com'l Max ^{(2) (3)}	Planning Area	GDP Land Use	Gross Acres	Transect ⁽¹⁾	Description
B ¹	1.2	T-4:TC	-	5,620	5,620	R-A - R-C	MH	5.5	SD:CPF	CPF
C	8.6	T-4:TC	267	0	0	Subtotal		5.5		
F	2.8	T-4:TC	175	10,000	10,000	Potential School (S) Sites⁽⁵⁾				
W	2.3	T-4:TC	-	-	-	Planning Area	GDP Land Use	Gross Acres (Ac.)	Transect ⁽¹⁾	Description
H-1A –1D	7.5	T-4:TC	-	84,000	106,000	S	MH	11.1	T:3:NC	Elementary
H-2	1.2	T-4:TC	-	0	12,000	Subtotal		11.1		
J ²	5.5	T-4:TC	196	0	0	Parks (P)				
L-a – L-d	14.0	T-4:TC	555	17,380	166,380	Planning Area	GDP Land Use	Gross Acres (Ac.)	Transect ⁽¹⁾	Classification
X	0.7	T-4:TC	-	-	0	A	P	15.1	SD:P	Community
Subtotal	43.8		1,193	117,000	300,000	G-1-2	TC	2.8	SD:P	Town Square
Medium-High Density Residential - 11-18 du/ac						T	P	5.5	SD:P	Neighborhood
Planning Area	Gross Acres	Transect ⁽¹⁾	Target Res. Units ⁽²⁾	Com'l Min. ^{(2) (3)}	Com'l Max ^{(2) (3)}	Subtotal		23.4		
D	18.3	T-3:NC	272			Open Space (OS)				
E	5.1	T-3:NC	-	Basin		Planning Area	GDP Land Use	Gross Acres (Ac.)	Transect ⁽¹⁾	Classification
I	6.1	T-3:NC	84			Y	OSP	15.6	T-1:OSP	MSCP Preserve
M	8.3	T-3:NC	116			OS 1-8	OSP	28.7	T-1:OSP	Open Space
O	8.7	T-3:NC	108			Subtotal		44.3		
Subtotal	46.5		580			Other				
Medium Density Residential Attached/Detached - 6-11 du/ac						Planning Area	GDP Land Use	Gross Acres (Ac.)	Transect ⁽¹⁾	Description
Planning Area	Gross Acres	Transect ⁽¹⁾	Target Res. Units ⁽²⁾	Com'l Min. ^{(2) (3)}	Com'l Max ^{(2) (3)}	Right-of-way	NA	34.8	N/A	Arterials
Q	11.1	T-2:NG	106			Subtotal		34.8		
U	15.6	T-2:NG	127			TOTAL		119.1		
Subtotal	26.7		233			SPA Total Area: 300.7 Gross Acres⁽⁶⁾				
Low-Medium Density Residential Village - 3-6 du/ac						Planning Area	GDP Land Use	Gross Acres (Ac.)	Transect ⁽¹⁾	Description
Planning Area	Gross Acres	Transect ⁽¹⁾	Target Res. Units ⁽²⁾	Com'l Min. ^{(2) (3)}	Com'l Max ^{(2) (3)}	N				
N	20.1	T-2:NE	117			P				
P	25.4	T-2:NE	115			V				
V	19.1	T-2:NE	96			Subtotal		64.6		328
Subtotal	64.6		328			TOTAL		181.6		2,334
TOTAL	181.6		2,334	117,000	300,000					

Notes:

1. Transects are defined in Chapter 3.
2. See Chapter 9 regarding Intensity Transfers and minimum commercial square footage requirements.
3. 17,000 sf of office and 100,000 sf of retail for the low range; 50,000 sf of office and 250,000 sf of retail for the high range (excludes Live/Work)
4. As Defined by CVMC 19.48.
5. The Elementary School site will revert to the underlying Medium-High Residential land use if it is not accepted by the school district.
6. Acreage does not include 19.2-acre San Diego Reservoir.
7. 185 DUs are authorized on Parcels F and W combined. Final unit allocation to be determined at Design Review.
8. Limited community-oriented retail may occur in the Town Square. The amount of retail to be determined during preparation of the Town Square Park Master Plan.



Source: Otay Ranch General Development Plan



Exhibit 2.2 - Surrounding Uses



2.3.2 Relationship to Surrounding Uses

Village 8 West is surrounded by open space, existing development, and planned development as shown in Exhibit 2.2 - Surrounding Uses. The relationship to these uses was carefully considered during the planning process. This section describes how this SPA Plan addresses the existing and planned uses that occur adjacent to Village 8 West.

A. Village 7

To the North, Village 7 has been planned in accordance with the traditional village model consisting of predominantly Low-Medium Village (LMV) residential neighborhoods, a small mixed-use village core, and limited multi-family uses adjacent to State Route 125 (SR-125). Village 7 is bounded by La Media Parkway on the west, which currently terminates at the northerly boundary of Village 8 West. East of La Media Parkway and immediately north of Village 8 West, an existing Vortac site is designated for future Low-Medium Village (LMV) and Mixed-Use (MU) development. The already constructed Olympian High School and Magdalena Avenue form the northeasterly corner of Village 8 West. Santa Luna Street connects La Media Parkway and Magdalena Avenue and separates the Vortac Site and Village 8 West. Main Street is planned along the southerly boundary of the high school but has not been fully constructed.

The proposed Plan for Village 8 West extends La Media Parkway and Main Street, providing a connection between Village 8 West and Village 7. As described in Chapter 5 , Circulation & Corridor Design, the existing Village Pathway along the west side of Magdalena Avenue will also be extended into and through the Town Center and is planned to extend west into Village 4.

B. Village 8 East

To the east, Village 8 East is also planned according to the traditional village model. A village core that abuts the easterly edge of Village 8 West is surrounded by Medium-High (MH) density residential uses which is surrounded by Low-Medium Village (LMV) density residential. All 3 of these land uses form the easterly edge of Village 8 West. La Media Parkway and Main Street are planned to provide roadway connections between Village 8 West and Village 8 East. Main Street will form the northerly boundary of Village 8 East.

In response to the planned development of Village 8 East, Village 8 West allows for the continued development pattern of a walkable community by providing additional roadway and pedestrian connections between the villages.

C. MSCP/OVRP

South of Village 8 West, open space extends along the entire edge of the SPA. This open space is part of the City of Chula Vista Multiple Species Conservation Program (MSCP) Plan, Otay Valley Regional Park (OVRP) Conceptual Plan, and the Otay Ranch Resource Management Plan (RMP) Preserve.

The SPA Plan for Village 8 West respects the adjacencies to sensitive open space areas within the MSCP Preserve by designating the adjacent development areas for the lowest density residential development proposed by the plan. In addition, a buffer of open space, the Preserve Edge, provides a buffer between this development and the MSCP area. Lighting, landscaping, and irrigation in the Preserve Edge, perimeter slopes, and adjacent residential uses are controlled by the SPA and the accompanying Village 8 Preserve Edge Plan (Appendix D) to limit disruption to the naturally occurring plant and animal species that occur within the MSCP area. Fire protection measures are also considered within the SPA and the accompanying Village 8 Fire Protection Plan (Appendix F) to address this wildland-urban interface. The SPA Plan for Village 8 West also respects adjacencies to the OVRP by providing a dedicated right-of-way for future vehicular access to the community park as well as a Greenbelt Trail connection. Refer to Section 5.6.13.

D. Village 4

Village 4 forms the remainder of the Village 8 West boundary, which currently consists of undeveloped lands. The City of Chula Vista adopted the Otay Ranch portion of Village Four SPA Plan and Tentative Map in May 2018.

The development edge between Village 8 West and Village 4 was coordinated to ensure compatibility between the two Plans. Future residential development proposed in Village 4 has been designed as an extension of the development proposed in Village 8 West. Main Street is planned for future extension through Village 4. The Community Park planned for Village 4 has been extended into Village 8 West. Both the Village 4 portion and the Village 8 West portion will be designed as one single Community Park as illustrated and discussed in Chapter 7, Parks and Open Space. Finally, pedestrian connections and the Village Pathway and neighborhood trail have been designed for future extension into Village 4.

E. City of San Diego Reservoir Site

The existing City of San Diego reservoir site is located in the center of the Village 8 West SPA. Since there are no plans to relocate the reservoir outside of the site, the Village 8 West SPA Plan does not include the City of San Diego reservoir site as part of the Site Utilization Plan. Although no significant changes are anticipated to the site, limited grading and screening are proposed to ensure compatibility between the reservoir property and adjacent planned uses. Screening and grading will be subject to review and approval of the City of San Diego.



Chapter 3

Development Code



3 - Development Code



Source: Duany Plater-Zyberk & Company

3.1 INTRODUCTION

The Development Code is intended to serve as the Planned Community (PC) District Regulations for Village 8 West. Unlike traditional PC District Regulations, this Code has been designed as a form based code to better address the physical form of the various zones and transects that occur within the SPA. The new code incorporates all the necessary regulations required by traditional PC District Regulations in a new format while providing greater product flexibility.

3.1.1 Applicability

Every attempt has been made to generate coherent and consistent standards and guidelines for the development of Village 8 West. When the provisions of this code remain silent on a particular issue, the City of Chula Vista's Zoning Code or previously adopted ordinances shall prevail. The provisions of this development code are not intended to abrogate any existing easements, covenants, or other agreements.

3.1.2 Organization

All development, redevelopment, subdivisions, and new land uses within Village 8 West shall comply with all applicable requirements of this chapter, as follows:

A. Regulating Plan

The Regulating Plan assigns development regulations to the various properties identified by Exhibit 2.1- Site Utilization Plan by establishing 5 transects and 9 zones.

B. Zone Standards

Zone standards regulate key aspects of private buildings that affect the public realm. Zone standards are determined on a zone-by-zone basis, regulating the permitted building configuration, lot configurations, uses, building setbacks, and building separations within the Zone. General regulations applying to all parcels within Village 8 West are followed by zone-specific standards.

C. Building Configuration Standards

Building Configuration standards apply to all applicable zones, regulating the permitted frontage type, plotting, primary pedestrian access, vehicle access, parking, and open space requirements.

D. Frontage Type Standards

Frontage type standards determine the relationship between the private frontage of buildings and the public streetscape to create a cohesive and expressive neighborhood experience.

E. Performance Standards

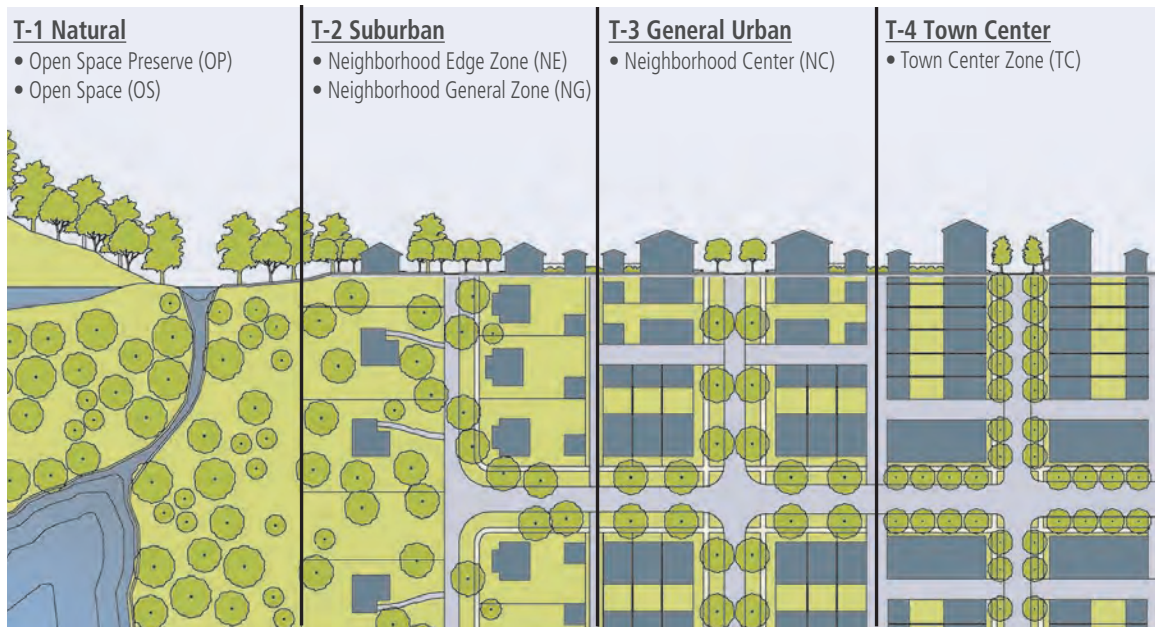
Performance standards apply to all parcels within Village 8 West regardless of transect or zone. Performance standards regulate the on-going operation of uses within the SPA to ensure noise, odor, and other issues resulting from the on-going operation of each use do not negatively impact neighborhoods and the community.

F. Sign Regulations

Sign regulations apply to all parcels within Village 8 West regardless of Transect or Zone. Sign regulations provide standards for appropriate size and design of signage within the SPA.

3.1.3 Transects and Zones

In form-based planning, the built environment is organized as a range of geographic and development “transects” or cross sections. A key objective of transect-based planning is the creation of integrated environments that are internally coherent with seamless transitions. Successful, integrated environments are based on the selection and arrangement of all the components that contribute to a particular type of environment. Each Transect is composed of elements that support and intensify its local character: zone, building configuration, lot configuration, land use, frontage type, and other physical elements of the human environment. Through the transect, planners are able to specify different urban contexts that have the function and intensity appropriate for their location.



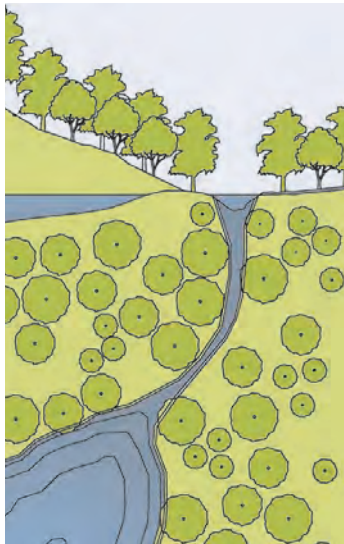
Source: Duany Plater-Zyberk & Company (Transects have been adapted to fit the SPA)

Exhibit 3.1 - Transects

The Transects within Village 8 West capitalize on established transects utilized by Smart Code development. The following locally adapted transects provide organization for development that focuses activity within the Town Center, transitioning into residential opportunities and rural open space at the edges. Transects are further divided into zones, allowing for greater diversity and smoother transition between transects. Development is organized into 5 transects and 9 zones as listed below:

- T-1 Natural (encompassing OP and OSP Zones)
- T-2 Suburban (encompassing NE and NG Zones)
- T-3 General Urban (encompassing NC Zone)
- T-4 Town Center (encompassing TC Zone)
- SD Special District (P and CPF)

The SPA covers diverse topography and development intensities. Viewed as a north-south cross section, the site ranges from the open space of the Otay River Valley on the south to the future mixed-use areas of the Town Center on the north. The transects are based on this development range as shown in Exhibit 3.1 - Transects. The highest development intensities are located in the Town Center (T-4) Transect, gradually transitioning into lower levels of development intensity near the river corridor. The Special District (SD) Transect, which is not illustrated in Exhibit 3.1 - Transects, includes designated parks, and a community purpose facility site.



Source: Duany Plater-Zyberk & Company

A. Transect 1 (T-1): Open Space Preserve (OSP) and Open Space (OS)

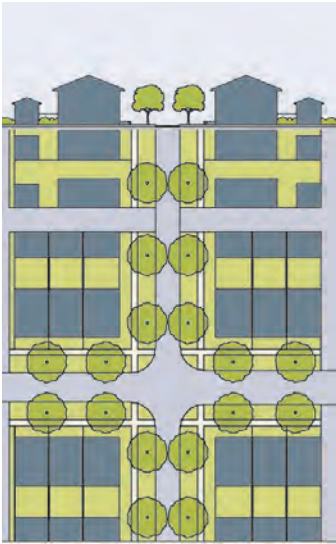
T-1 is comprised of areas reserved for limited recreation, passive open spaces, and habitat preserve, providing a transition from natural areas to the built environment. T-1 is characterized by rolling hills adjacent to the Otay River bed. T-1 demonstrates a respect for natural topography and integration of perimeter manufactured slopes. This transect is highlighted by low-intensity recreation, hiking trails, and staging areas. Open Space Preserve (OSP) Zone also includes portions of the Multiple Species Conservation Plan (MSCP) subarea. These uses are considered T-1 due to their minimal development. T-1 is defined by the Open Space Preserve (OSP) Zone and Open Space (OS) Zone.



Source: Duany Plater-Zyberk & Company

B. Transect 2 (T-2): Neighborhood Edge (NE) and Neighborhood General (NG)

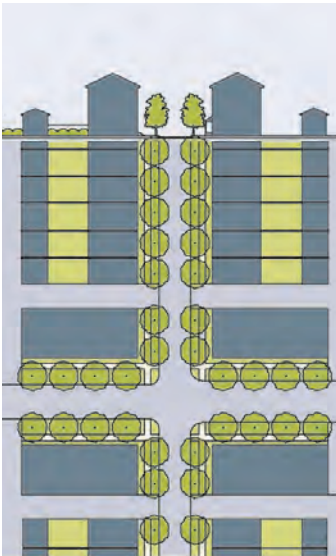
T-2 consists of Residential Land Uses as a transition from open space to greater concentrations of development. Residential opportunities are planned in a traditional manner with a focus on coherent neighborhoods of distinct character. The Neighborhood Edge (NE) Zone is characterized by 1 and 2 story detached single-family homes in southern portions of the transect while the Neighborhood General (NG) Zone is characterized by 2-story attached and detached cluster homes in northern portions of the transect. There is a focus on private front yards and a distinct separation of private lots from the public street. Planting is naturalistic with setbacks relatively deep and blocks typically larger. This transect is defined by the Neighborhood Edge (NE) Zone and the Neighborhood General (NG) Zone.



Source: Duany Plater-Zyberk & Company

C. Transect 3 (T-3): Neighborhood Center (NC)

T-3 consists of Residential Land Uses and a potential elementary school. Streets typically define medium sized blocks. T-3 is characterized by a mix of residential and public/quasi-public uses in a pedestrian-oriented environment. There is a focus on common open space and strong pedestrian linkages along public sidewalks and internal development pathways. This transect is defined by the Neighborhood Center (NC) Zone.



Source: Duany Plater-Zyberk & Company

D. Transect 4 (T-4): Town Center (TC)

T-4 consists of mixed use development including retail, office, and attached residential in an urban setting. Couplets define a pattern of streets and blocks to promote walking and circulation efficiency. T-4 is characterized by a horizontal and vertical mix of uses, with retail and office on the ground level and attached residential and office above. Attached residential can also be located adjacent to residential and office uses outside the couplet. Building configurations are limited to those that provide limited or no setbacks, strong pedestrian-scaled frontages, and opportunities to de-emphasize parking fields. This transect intends to create an active and vibrant Town Center to support the daily needs of the adjacent villages. This Transect is defined by the Town Center (TC) Zone.

E. Special District (SD): Parks (P) and Community Purpose Facility (CPF)

SD includes designated lands for the development of parks and community purpose facilities. Parks are located to provide recreational opportunities for residents within walking distance of their homes and to provide relief from the urban fabric. This transect is defined by the Parks (P) Zone and the Community Purpose Facility (CPF) Zone.

3.2 REGULATING PLAN

Exhibit 3.2 - Regulating Plan, establishes zones applied to each property within Village 8 West. Zones dictate building configurations, building placement and design, and land uses within each transect's zone.

The Regulating Plan is a synthesis of development opportunities that respond to the topography and constraints of the site, adjacent uses, landowner development program, and the evolving development needs of the City. Zones have been identified to incorporate a range of residential, recreation, education, social, hospitality, and retail opportunities into an integrated, pedestrian-oriented community.

3.3 ZONE STANDARDS

The following zone standards regulate the configuration of lots and the placement of buildings within the various zones identified by the Regulating Plan. This section starts with general regulations that apply to all zones and then provides specific standards for each zone. This section regulates the configuration of lots and placement of buildings not withstanding the requirements of Appendix F - Fire Protection Plan.



Legend - Transect : Zone

- T-1: Open Space Preserve (OSP)
- T-1: Open Space (OS)
- T-2: Neighborhood Edge (NE)
- T-2: Neighborhood General (NG)
- T-3: Neighborhood Center (NC)
- T-4: Town Center (TC)
- SD: Park (P)
- SD: Community Purpose Facility (CPF)
- Boundary of Town Center (Master Precise Plan Required - See Section 9.3.7)



Exhibit 3.2 - Regulating Plan

3.3.1 General Regulations Applying to all Zones

The following regulations apply to all zones within Village 8 West.

A. Accessory Buildings and Structures

Accessory uses and accessory buildings customarily appurtenant to a permitted use are allowed subject to the requirements of Section 19.58.020 CVMC, Uses: Accessory Structures. For purposes of this document, attached and detached garages shall be considered an accessory structure.

Attached and detached accessory buildings and structures, except accessory dwelling units (ADUs), shall meet all of the requirements for location of the main structure as constructed or required by the zone, whichever is less restrictive, except as herein provided:

1. All attached and detached accessory buildings and structures (enclosed or unenclosed) shall be subject to building permit review. Such accessory buildings shall not be allowed to encroach into required setbacks, except as otherwise permitted herein.
2. Detached accessory buildings may be located within an interior side yard or rear yard, provided that such a structure is located no closer than 5 feet to an interior side or rear lot line, is at least 6 feet from the main structure, does not exceed 1 story in height (15 feet measured from finished pad grade to tallest roof ridge), does not exceed 30% of the required yard area, does not exceed the minimum lot coverage required by the zone, and does not encroach into any fuel modification zones.
3. Open structures may be allowed to encroach into the rear yard setback subject to the approval of the Development Services Director. The design and type of open structure shall be approved by the Development Services Director.
4. Architectural features of accessory buildings and structures, which constitute non-usable floor space such as interior fireplaces, eaves, awnings, chimneys, wing walls, etc. shall be subject to the same encroachment requirements as the primary building.

B. Accessory Dwelling Units (ADU)

Accessory dwelling units (ADUs) provide excellent opportunities for affordable housing. ADUs are regulated in part by California Senate Bill (SB) 1069 and Assembly Bill (AB) 2299 which amended Government Code Section 65852.2 and became effective January 1, 2017. In addition, ADUs shall be subject to the Chula Vista Municipal Code (CVMC) Section 19.58.022 Accessory dwelling units, which allows a setback of no less than five feet from the side and rear property line as long as the ADU does not occupy more than 30% of the required rear yard setback. In addition, a detached ADU shall be a minimum of six feet from the primary residence.

C. Zero Setbacks and Reciprocal Use Easements (RUEs)

As an alternative to traditional plotting configurations, utilization of “zero setbacks” or reciprocal use easements (RUE) are permitted on all detached building configurations where identified in the applicable zone standards. Buildings may be plotted as follows:

- 1. Zero Lot: One building is plotted directly on a lot line with zero setback (zero lot line), to allow the neighboring lot a larger private side yard space. A reciprocal use easement (RUE) is granted for drainage and allows the property owner limited access to maintain building walls, foundations, and drainage facilities when required. (See Exhibit 3.3 - Zero Lot Line.)
- 2. RUE Lot: Buildings are plotted with conventional setbacks but fencing is constructed and an RUE is granted to allow the benefitting property owner utilization of the adjacent lot’s side yard as private yard space. This configuration may be more desirable than a zero lot configuration for fire rating of walls in construction. (See Exhibit 3.4 - RUE Lot.)

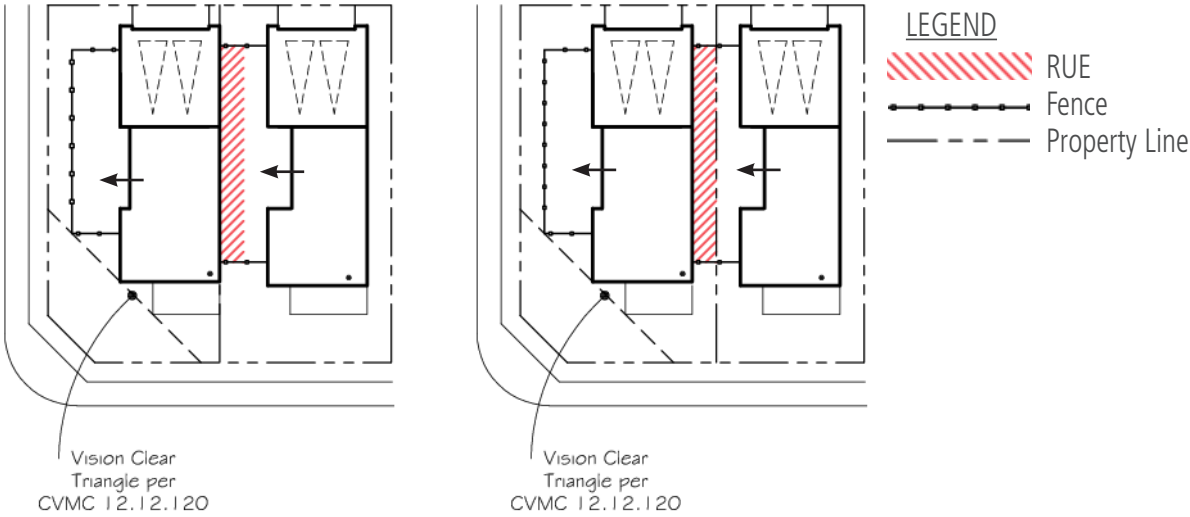


Exhibit 3.3 - Zero Lot-Line

Exhibit 3.4 - RUE Lot

- Paired Lots: Buildings are designed and plotted to fit together along a common property line while maintaining the required setback. Paired lots are typically plotted with “Z” lot lines and a RUE is granted for both lots. Paired lots may also use a zero lot configuration. (See Exhibit 3.5 - Paired Lots.)

Where “Z” lot lines or RUEs are utilized, interior setbacks shall be reduced to accommodate the configuration; however, the aggregate side setbacks (sum of required interior/side street setbacks) and minimum building separations shall remain consistent with the zone standards. These lot configurations shall meet the California Building Code and the requirements of this document. The minimum street side setback shall apply for all lots with secondary street frontage.

Where building configurations utilize “zero setbacks” within a zone, the building separation identified for the zone shall take precedence over the side setback requirement identified. However, the minimum street side setback shall still apply for lots with street side frontage.

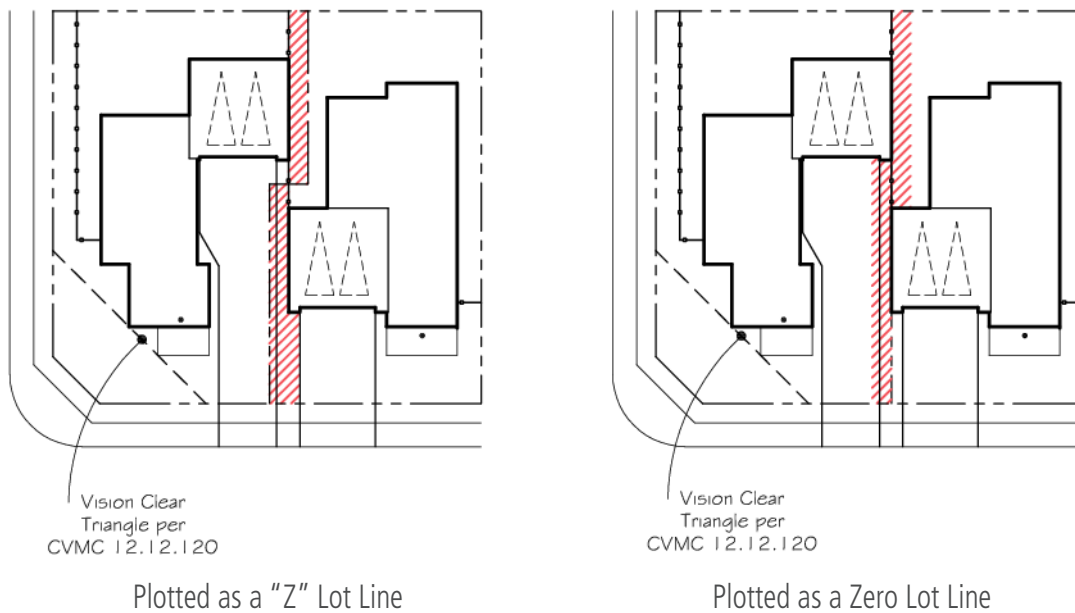
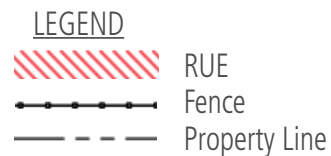


Exhibit 3.5 - Paired Lots



D. Height Exceptions and Permitted Building Encroachments

Height exceptions and encroachments into building setbacks are permitted where identified by the zone. In addition, the following shall apply to all zones:

1. "Outdoor living spaces" shall include cantilevered balconies, walled and/or raised courtyards, porches, stoops and California Rooms; all are permitted to encroach into minimum setbacks as specified by each zone.
2. "Architectural projections" shall include bay windows, interior fireplaces, eaves, and media niches; all are permitted to encroach into minimum setbacks as specified by each zone.
3. Encroachments shall not conflict with public utilities, Village Pathways, and Regional Trails. Where necessary, utility easements may be reduced or expanded to accommodate utility infrastructure.
4. Mezzanine floors shall not be counted as a story when determining building height.
5. Buildings shall not encroach into intersection visibility triangle setbacks for corner conditions as defined in Chula Vista Municipal Code Section 12.12.120, Vision clearance - Intersection requirements.
6. Height limitations specified within this SPA shall not apply to spires, belfries, cupolas, clock towers, domes, monuments, weather vanes, windmills, chimneys, flagpoles, parapet walls extending not more than 4 feet above the limiting height of the buildings, elevator shafts, stairwells accessing roofs and other similar architectural elements. Height limitations shall also not apply to fire and hose towers, distribution and transmission towers, lines and poles, water tanks, masts and aerials, cellular towers, and mechanical equipment.
7. Height exceptions and encroachments must be implemented in conformance with applicable building code requirements.

E. Brownfield Airport Compatibility

1. This SPA Plan requires that subsequent submittals and development comply with Part 77 of Federal Aviation Regulations.
2. Airport Influence Area: Village 8 West is approximately 50% in Airport Influence Review Area 1 and 50% in Airport Influence Review Area 2. Airport Influence Area compliance is gained by the City of Chula Vista submitting SPA documents to the Airport Land Use Commission (ALUC). Based on a determination by ALUC, additional requirements may be imposed.
3. Noise Compatibility: Approximately 50% of Village 8 West is within the 55-60 dB CNEL. The other 50% receives no noise impacts from aircraft operations. Properties within the 55-60 dB CNEL category are identified and subject to current federal, state, and local noise standards and guidelines.
4. Safety: Village 8 West is outside the Aircraft Safety Impact Zones.
5. Part 77 Airspace: Village 8 West is within the Part 77 Airspace Study Area. Projects within the study area may not exceed the height standards established by the Federal Aviation Administration (FAA) as identified by the Code of Federal Regulations Title 14, Part 77. All applicable discretionary applications within the Part 77 Airspace Study Area shall be routed to the San Diego County Regional Airport Authority (SDCRAA) for review and comment, utilizing SDCRAA's routing/application form.
6. Terminal Instrumental Procedures (TERPS) Airspace: Village 8 West is within the TERPS Airspace Influence Area. Coordination with the ALUC is required and is achieved through the process for Part 77 compliance.
7. Over Flight: Village 8 West is mostly within the Over Flight Zone. Properties within the Over Flight Zone require real estate disclosures and the recordation of an Overflight Agreement with the County Recorder's Office utilizing the City's template. Prior to approval of the First Final Map, the applicant shall record a Brown Filed Municipal Airport Overflight Agreement with the County Recorder's Office and provide a single copy of the agreement to the Development Services Director.
8. Prior to issuance of construction permits for any properties within the Part 77 Airspace Study Area, the applicant must obtain a determination of no hazard to air navigation from the Federal Aviation Administration (FAA) for any structure that meets FAA notification criteria. A copy of the FAA determination must be provided prior to issuance of permits.

F. Parking

All parking shall be provided as specified by the applicable building configuration. Additional parking standards are as follows unless otherwise modified by the applicable building configuration:

1. Residential Garages and Driveways
 - a. All garage doors shall be roll up doors.
 - b. Driveway aprons accessed by common access lanes shall be 5 feet deep or less or shall be 17 feet deep or greater, measured from face of garage door to edge of lane, to prevent parked cars from blocking common vehicle access lanes.
 - c. Driveway aprons accessed from public streets shall be a minimum of 17 feet deep, measured from the face of garage door to the closest edge of sidewalk or street-adjacent trail to prevent parked cars from blocking sidewalks, trails, or the street.
 - d. Each required interior garage space and carport space shall have a minimum dimension of 10 feet wide x 20 feet deep and shall not be obstructed. The minimum floor area of a 2-car garage shall be 400 square feet. The minimum floor area of a single car garages shall be 240 square feet, to provide storage area as well as a parking space.
 - e. Townhome garages accessed by common lanes shall maintain a minimum dimension of 30 feet from garage face to garage face.
 - f. Additional garage, enclosed, covered, or unenclosed spaces may be sized to accommodate standard cars or Low Speed Vehicles (LSVs).
2. Common Vehicle Access Lanes
 - a. All common access lanes shall be 2 directional and have a minimum width of 20 feet clear for travel and fire access.
 - b. All parking spaces, drive approaches, and lanes shall be designed for adequate maneuverability with a minimum back-up distance of 24 feet.
3. Vehicle Parking Spaces
 - a. The minimum number of spaces shall be provided as specified for each building configuration or as otherwise agreed upon pursuant to a shared parking agreement as described in Section 3.8.
 - b. Parking spaces shall not obstruct access to other units or their designated parking space(s).
 - c. Handicapped parking shall be provided in accordance with Title 24, California Handicap Accessibility Requirements.
 - d. Standard parking space dimensions shall be a minimum of 9 feet wide x 19 feet deep. Spaces with a depth of 17 feet and 2 feet of overhang onto curb are permitted to fulfill this requirement. Wherever a 2-foot overhang occurs, a minimum 48-inch pedestrian walkway shall be maintained with minimal impacts to planting areas.
 - e. Parallel parking spaces shall be a minimum of 23 feet x 9 feet.
 - f. Parking spaces shall not obstruct sidewalks, trails, or other pedestrian corridors.
 - g. Compact parking space dimensions shall be a minimum of 7.5 feet wide x 15 feet deep. Compact spaces may be used to fulfill up to 25% of the required parking for commercial and unassigned attached residential spaces.
 - h. Parking aisles shall meet the minimum widths specified in the City of Chula Vista Parking Table.

4. Motorcycle Parking*
 - a. Uses requiring 25-100 parking spaces shall provide at least 1 dedicated motorcycle space.
 - b. Uses with more than 100 parking spaces required shall provide 1 motorcycle space per 100 automobile spaces.
5. Bicycle Parking
 - a. Bicycle parking shall be provided as specified by the applicable building configuration and CalGreen.
 - b. Bicycle parking located within buildings, garages, or private yard spaces that are not accessible to the public shall be considered secure spaces and do not require additional security devices. All other bicycle parking shall be permanently anchored with the ability to secure both the wheels and the frame and shall meet the requirements of CalGreen.
 - c. Bicycle parking facilities shall be located pursuant to the requirements of CalGreen and in highly visible areas to the greatest extent feasible in order to minimize theft and vandalism and encourage use.
 - d. Bicycle parking shall be located to prevent parked bicycles from blocking sidewalks and other pedestrian corridors, maintaining a minimum of 4 feet for pedestrians to pass.
 - e. Bicycle parking provided in garage spaces shall not encroach into required vehicle parking areas.
6. Paving
 - a. All off-street parking areas, including driveways and parking lots, shall provide a durable and dustless surface.
 - b. Parking areas shall be graded and drained to dispose of all surface water.
 - c. Porous paving is permitted for surface lots if properly engineered.
 - d. All surface parking areas shall be designed in accordance with the Village 8 Water Quality Technical Report.
7. Lighting of Parking Areas
 - a. Lighting shall be provided in all parking areas for safety.
 - b. Lighting shall be designed so as to minimize light spillage onto adjacent properties.
 - c. Lighting shall meet the requirements of CVMC Section 19.62.120 Parking areas-Lighting arrangements.
8. Surface Parking Lot Screening and Landscaping
 - a. Provide a minimum 5-foot landscaped setback between parking lots and adjacent buildings. Provide a 10-foot minimum landscape buffer setback between parking areas and public rights-of-way.
 - b. For parking areas consisting of 5 or more consecutive spaces, parking setbacks adjacent to public rights-of-way shall be landscaped to screen parking to a minimum height of 3.5 feet.

*Motorcycle parking requirements are applicable to non-residential uses only.

Any approved combination of planting, walls, and/or decorative features, which are visually compatible with the community aesthetic values, may be utilized.

- c. The total parking area shall be landscaped in accordance with the City's Landscape Manual and Shade Tree Policy #576-19.
 - d. All planting areas, walls, fences, and services areas shall be separated from parking areas by 1-foot horizontal concrete curb or step out.
9. Parking Structures
- a. Stand-alone above-ground parking structures are only permitted in the Town Center Zone. Refer to Section 4.3.7, Parking Lots and Structures, for design guidelines applicable to above ground parking structures.
 - b. Subterranean parking structures are permitted in any zone provided they do not encroach into public rights-of-way.
10. Parking Lot and Parking Structure Access
- a. Entries into parking lots and structures shall be designed to be convenient and easy to find through location and/or signage.
 - b. Adequate vehicle stacking distance at entrances to paid or gated parking facilities shall be provided to reduce traffic impacts on adjacent public streets. Maximum driveway width along public streets is 24 feet.
 - c. Parking lot/structure entry design, including stacking and secondary access, shall be reviewed at the site plan level.

G. Lighting

1. All lighting shall comply with CVMC Section 19.66.100 Glare, which prohibits direct sky reflected glare.
2. Lighting shall be provided along streets, trails, and other pedestrian corridors as well as within parks and other public spaces to provide safety and deter graffiti.
3. Required lighting levels shall be determined at site plan review so that it may be designed to respond to the specific use and surrounding conditions of the site.

H. Interim Uses

The following interim uses are permitted:

1. Crop farming, tree farming, and nurseries shall be permitted as an interim use in any zone, provided the area in which the use will occur has not been subdivided or plotted into any parcel less than one acre in size. Any buildings including but not limited to farm buildings, packing sheds, and greenhouses shall be subject to a conditional use permit.
2. Surface parking lots shall be permitted as an interim use in the Town Center (TC) Zone subject to approval of the Development Services Director. Interim parking lots are not subject to the parking lot landscaping requirements contained herein.

I. Temporary Uses

The following temporary buildings, structures, and uses shall be permitted during construction and residential unit sales with the location of use subject to approval of the Developments Services Director. All temporary structures associated with residential sales and construction shall be removed no later than 60 days after the sale of the last house.

1. Contractor's Office and/or Storage - Temporary structures including the housing of tools and equipment or that contain supervisory offices used in connection with construction projects.
2. Temporary Recycling of Construction Materials - Demolition materials to be reused as part of the construction process, subject to the conditions as may be imposed by the tentative tract map approval and/or the development agreement.
3. Temporary Tract/Sales Office/Pavilion - Temporary tract sales pavilion within a commercial mobile home until a model home becomes available for use as a sales office.
4. Model Homes - Model homes, their garages, parking lots, and private recreation facilities are temporary uses and may be used as offices for the first sale of homes within a recorded tract and subsequent similar tracts utilizing the same architectural designs, subject to the regulations of the City of Chula Vista governing said uses and activities, Unless otherwise determined by the Zoning Administrator, an administrative Conditional Use Permit and administrative Design Review shall be required for model home sites. At the discretion of the Zoning Administrator, the Conditional Use Permit may be referred to the Planning Commission or the Design Review Board, respectively, for a decisions. Otherwise, administrative procedures shall be used.
5. The following temporary buildings, structures, and uses shall be permitted throughout the life of the SPA development with the location of use subject to approval of the Developments Services Director:
6. Carnivals, Fairs, and Festivals - Temporary carnivals, fairs, and festivals shall be subject to the provisions of Chula Vista Municipal Code 19.58.042 and shall require and Administrative Conditional Use Permit.
7. Seasonal Sales - Outdoor seasonal sales including Christmas tree lots, pumpkin patches, and similar uses shall require and Administrative Conditional Use Permit.
8. Certified Farmers Market - Subject to the provisions of Chula Vista Municipal Code 19.58.148 and 19.54; shall require a Conditional Use Permit.

3.3.2 T-1: Open Space Preserve (OSP) Zone

The Open Space Preserve (OSP) Zone is intended to protect natural areas that are part of the City of Chula Vista's Multiple Species Conservation Plan (MSCP) Subarea. In Village 8 West, these lands consist of one 15.6-acre parcel in the southwest corner of the SPA, adjacent to the Otay River Valley. This Zone allows for habitat preserves pursuant to the regulations of the MSCP Subarea Plan, the Otay Ranch Resource Management Plan (RMP), and the Otay Valley Regional Park (OVRP) Concept Plan.



Key Map
(N.T.S.)

A. T-1: OSP Permitted Land Uses

The primary use for this zone is Habitat Preserve. Only under limited circumstances may certain uses other than Habitat Preserve be permitted, as determined by the City of Chula Vista to be compatible with the goals and objectives of the City's MSCP Subarea Plan and the Otay Ranch Resource Management Plan (RMP).

Only under limited circumstances may certain amenities and facilities be permitted within the Preserve, as determined by the City to be compatible with the goals and objectives of the City's MSCP Subarea Plan and Otay Ranch RMP. Any proposed amenities or facilities within the Preserve shall be subject to the prior review and approval of the Development Services Director.

Any proposed uses other than open space preserve shall be subject to prior review and approval of the Development Services Director and any applicable management agencies.

B. Other Applicable Requirements

All uses within the T-1: Open Space Preserve (OSP) Zone shall be subject to compliance with the following:

1. Chapter 7 - Parks and Open Space
2. City of Chula Vista MSCP Subarea Plan
3. Otay Ranch RMP
4. City of Chula Vista Greenbelt Master Plan
5. Village 8 West Fire Protection Plan (Appendix F)
6. Requirements of Army Corps of Engineers, Wildlife Agencies, and/or other applicable management entities

3.3.3 T-1: Open Space (OS) Zone

The Open Space (OS) Zone is intended to integrate perimeter slopes and other undevelopable areas within the SPA. Portions of the Open Space Zone are located within the Preserve Edge, a 100-foot buffer zone adjacent to the MSCP Preserve. The Preserve Edge is also regulated by the Village 8 West Preserve Edge Plan. The 100-foot buffer also serves as the 100-foot Fuel Management Zone, per the Village 8 West Fire Protection Plan.

A. T-1: PE Permitted Land Uses

No structures other than fencing and walls shall be permitted. Perimeter fences and walls shall be built and landscaped in such a way as to minimize visual impacts on the MSCP Preserve and the Otay Valley Regional Park.

Trails and associated signage, benches, and trail amenities may be permitted, subject to the review and approval of the Development Services Director (or their designee). Trail signage shall meet the requirements of the Greenbelt Master Plan and MSCP Plan.

B. Other Applicable Requirements

All uses within the T-1: Open Space (OS) Zone shall be subject to compliance with the following:

1. Chapter 7 - Parks and Open Space
2. City of Chula Vista Final MSCP Subarea Plan
3. Otay Ranch RMP
4. City of Chula Vista Greenbelt Master Plan
5. Village 8 West Fire Protection Plan (Appendix F)
6. Village 8 West Preserve Edge Plan (Appendix D)



Key Map
(N.T.S.)

Table 3.1: Residential Development Standards Summary

Requirement	T-2: Neighborhood Edge (NE) Zone	T-2: Neighborhood General (NG) Zone
Lot Configuration		
Lot Width: (measure at center of lot)	40' (min.); 45' (min.) at corner lots	20' (min.); 25' (min.) at corner lots
Lot Size:	3,480 S.F.	2,700 S.F. (also based on home configuration)
Lot Coverage (max.):	70%	80%
Building Height :	35' (max.); 2-story OR nested 3rd story (max.)	35' (max.); 2-story OR nested 3rd story (max.); Up to 40% of units along each street frontage may be 3-story; 45 feet maximum
Plotting:	Front loaded or Side loaded; Traditional, Zero Lot Line, RUE Configurations	Front Loaded or Lane Loaded; Traditional, Zero Lot Line, and RUE Configurations
Minimum Building Setbacks from Property Line		
Front:	7' to living or side of swing-in garage or 17' from garage face	7' to living or side of swing-in garage or 17' from garage face
Interior Side:	5' to living 25' to swing-in garage	5' 10' to SD or T-2: NE Zones"
Exterior Side:	10' to living	10' to living
Rear:	15' to living area 10' for outdoor living area (for 50% of homes width) 5' to single-story DAB	10'
Rear Common Lane:	N/A	5' (min.) OR 17' to garage face 5' to living area 5' to DAB/ADU
Parking/Lane/Drive Aisle:	N/A	N/A
Minimum Building Separations		
Front to Adjacent Building:	N/A	20' (min.); 25' (min.) at 3rd story
Rear to Rear/Rear to Side:	N/A	20' (min.); 25' (min.) when lane is present
Side to Side:	N/A	10' (min.)
Paseo/Service Area between Buildings:	N/A	N/A
Permitted Encroachments		
Street:	Based on Corridor Standards (Ch. 5)	Based on Corridor Standards (Ch. 5)
Interior Side:	2'	N/A
Rear Property Line:	10' to living area for 50% of lot width	N/A
Rear Common Lane:	0'	N/A
Lane/Motorcourt:	N/A	No first story encroachments; 2' for second story encroachments
Common Area:	N/A	5' for Outdoor Living Spaces; 2' for Projections length of combined encroachments shall not exceed 50% of the building's frontage
Building Side-to-Side:	N/A	2' for Projections for single-family detached and duplex; 0' for Projections for multi-family attached
Open Space/Park/T-2 NE:	N/A	2' for Projections

Notes:

Private and Common Open Space: See Section 3.4.1 - 3.4.10, subsection E for requirements.

SD: Community Purpose Facility (CPF) Zone: See Section 3.3.8 for development standards.

Table 3.1: Residential Development Standards Summary

Requirement	T-3: Neighborhood Center (NC) Zone	T-4: Town Center (TC) Zone
Lot Configuration		
Lot Width: (measure at center of lot)	20' (min.); 25' (min.) at corner lots	To be determined during Design Review
Lot Size:	2,000 S.F. for detached configurations; lot size to be determined during Design Review for attached and semi-attached configurations	Design Review
Lot Coverage (max.):	90%	N/A
Building Height :	3 stories (max.); 45' (max.)	4-stories (max.);60' (max.)
Plotting:	Front Loaded or Lane Loaded; Traditional, Zero Lot Line, and RUE configurations permitted; Shall provide frontage along all public roadways	Close to sidewalk except where pedestrian plazas and spaces occur; Shall provide frontage along all public roadways.
Minimum Building Setbacks from Property Line		
Front:	N/A	N/A
Interior Side:	5'	N/A
Rear:	10'	N/A
Rear Common Lane:	5' to living area 5' (min.) OR 17' to garage face	N/A
Parking/Lane/Drive Aisle:	N/A	5' (min.)
Minimum Building Separations		
Front to Adjacent Building:	20'	0'
Rear to Rear/Rear to Side:	20' (30' when lane is present)	0'
Side to Side:	10'	0'
Paseo/Service Area between Buildings:	N/A	20' (min.)
Permitted Encroachments		
Street:	Based on Corridor Standards (Ch. 5)	Based on Corridor Standards (Ch. 5)
Interior Side:	N/A	N/A
Rear Property Line:	N/A	N/A
Rear Common Lane:	N/A	N/A
Lane/Motorcourt:	No first story encroachments; 2' for second story encroachments	No first story elements below 8'; 3' (max.) for elements 8' or more above sidewalk
Common Area:	5' for Outdoor Living Spaces; 2' for Projections	Paseo/Service Area between Buildings: 5' (max.)
Building Side-to-Side:	No encroachments	N/A
Open Space/Park/T-2 NE:	N/A	N/A

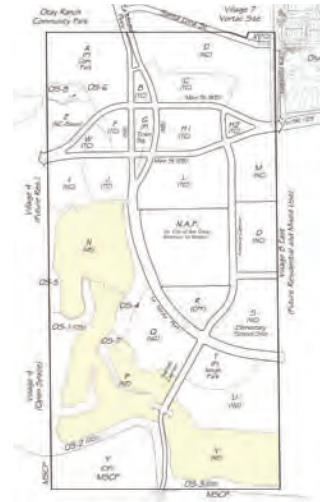
Notes:

Private and Common Open Space: See Section 3.4.1 - 3.4.10, subsection E for requirements.

SD: Community Purpose Facility (CPF) Zone: See Section 3.3.8 for development standards.

3.3.4 T-2: Neighborhood Edge (NE) Zone

The primary intent of the Neighborhood Edge (NE) Zone is to provide a transition between the natural environment and residential development. This zone will reflect a single-family detached character with park and trail connections to adjacent open space. This zone will utilize a development pattern suitable for hill-top conditions and view lots.



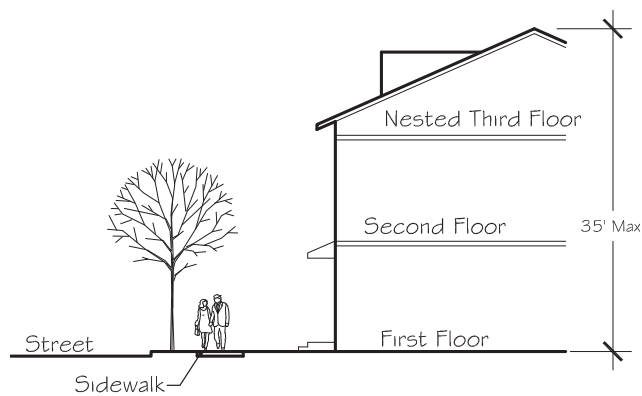
Key Map
(N.T.S.)

A. Permitted Building Configurations (See Section 3.4, Building Configurations)

1. Conventional Home
2. Neighborhood Recreation Facility
3. Innovative

B. Lot Configuration

1. Lot Width: 40 feet minimum; corner lots 45 feet minimum (measured at center of lot)
2. Lot Size: 3,480 square feet minimum
3. Lot Coverage: 70% maximum
4. Building Height : 35 feet maximum; 2 story or nested 3rd story maximum
5. Plotting: Front Loaded or Side Loaded; Traditional, Zero Lot Line, and RUE configurations permitted



T-2: NE Maximum Height

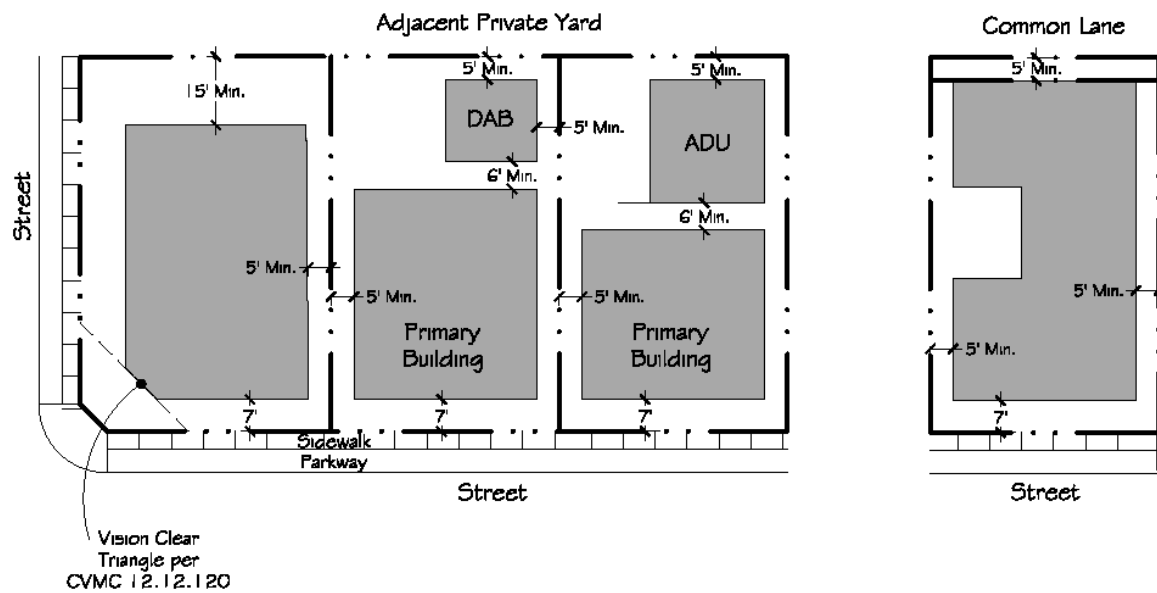
C. T-2: NE Permitted Land Uses

Use	Permit	Other Applicable Regulations
Residential Uses		
Assisted Living/Nursing Home/Convalescent Home (6 patients or fewer)	P	
Assisted Living/Nursing Home/Convalescent Home (more than 6 patients)	CUP	CVMC 19.58.110, CVMC 19.54.020
Group Residence (Dormitories, Boarding Houses, etc.)	CUP	
Home Occupation	A	
Live/Work	N	
Mobile Home	N	
Multi-Family	N	
Shopkeeper	N	
Single Family	P	
Other Uses		
Day Care Facility (Commercial)	N	
Day Care Facility (Home based, 7-12 children)	LFD	CVMC 19.58.147
Day Care Facility (Home based, up to 6 children)	P	
Fire/Police Station	P	
Private Educational Facility	CUP	CVMC 19.54.020
Public Educational Facility	P	
Religious or Spiritual Institution	CUP	CVMC 19.58.110, 19.54.020
Retail Commercial, Office, and Service Commercial	N	
Social or Fraternal Organizations	CUP	CVMC 19.58.100
Temporary Uses	P/CUP	Section 3.3.1(I)
Water Quality Basins	P	
Recreational Facilities		
Athletic Fields and Sport Courts	P	
Bicycle & Pedestrian Trails & Associated Signage	P	
Community Garden	A	
Community Center/Recreation Center (Public or Private)	CUP	CVMC 19.58.100
Parks (Public or Private)	P	
Picnic Areas, Benches, Barbecue Facilities	P	
Playgrounds (Public or Private)	P	
Swim Center/Community Pool (Public or Private)	CUP	CVMC 19.58.040
Utilities + Equipment		
Cellular Tower	CUP	CVMC 19.89
Roof Mounted Satellite Dishes smaller than or equal to 36 inches in diameter	P	
Roof Mounted Satellite Dishes larger than 36 inches in diameter	CUP	CVMC 19.22.030
Utility Substation/Gas Regulator	CUP	CVMC 19.58.140
Secondary/Accessory Uses		
Accessory Buildings, Structures, and Uses	P	Section 3.3.1 A, CVMC 19.58.020
Accessory Dwelling Units (ADUs)	P	Section 3.3.1 B, CVMC 19.58.022

A = Administrative Conditional Use Permit /P =Permitted /CUP =Conditional Use Permit/N = Not Permitted/LFD = Large Family Daycare Permit
 (Note: Uses not listed may be permitted or conditionally permitted if the zoning administrator determines said use is of the same general character as any permitted or conditionally permitted use listed above)

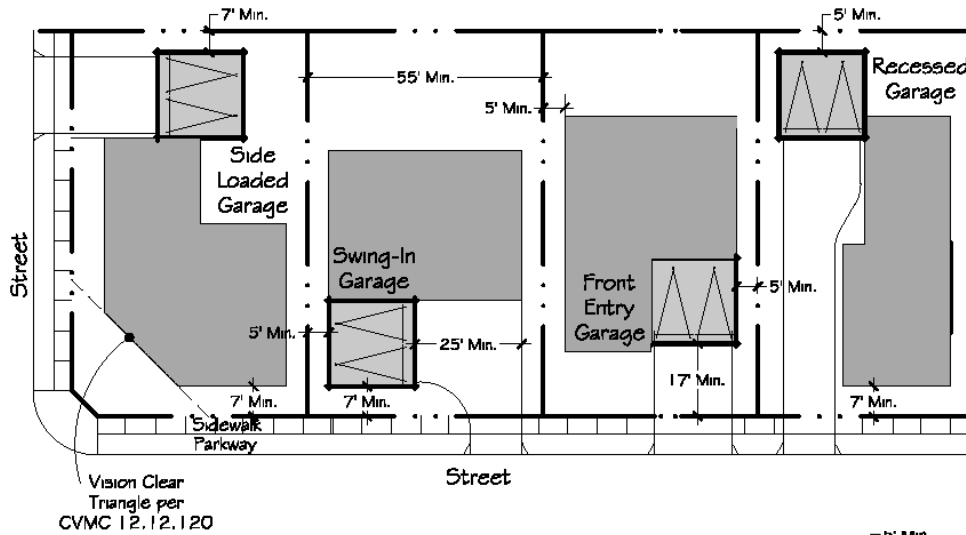
D. Minimum Building Setbacks from Property Line

- 1. Front: 5 feet to living area or side of garage
- 2. Interior Side: 5 feet to living area
25 feet to face of garage door (turn-in garage)
- 3. Exterior Side: 10 feet to living area or side of garage
- 4. Rear Property Line: 15 feet to living area for front loaded homes
(Front Loaded Homes) 10 feet to accessory dwelling unit (ADU)
5 feet to single story detached accessory building (DAB)
- 5. Rear Common Lane: 5 feet minimum or 17 feet minimum to garage face
(Lane Loaded Homes) 5 feet to living area
5 feet minimum or 17 feet minimum to garage face
5 feet to DAB/ADU



T-2: NE Living Area Setbacks - Front Loaded Lots

T-2: NE Setbacks - Lane Loaded Lots



T-2: NE Garage Setbacks - Front Loaded Lots

Legend - Setbacks

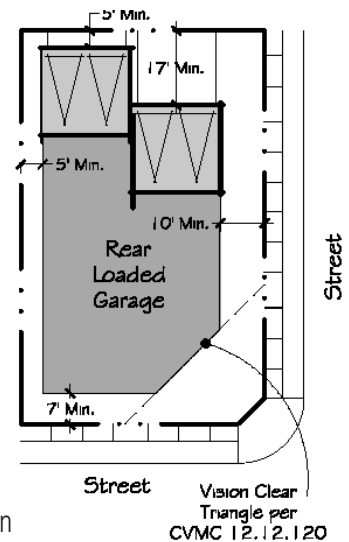


E. Permitted Encroachments
(See Section 3.3.1.D, Height Exceptions and Permitted Encroachments)

Encroachment into required setbacks are permitted as follows:

1. Street: See applicable corridor standards in Chapter 5, Circulation & Corridor Design
2. Interior Side: 2 feet
3. Rear Property Line: 15 feet to living area; may be reduced to 10 feet for 50% of the home for Outdoor Living Spaces
4. Rear Common Lane: 0 feet

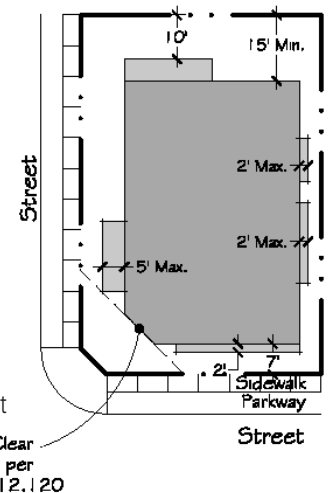
*Public Right-of-Way: Encroachments into the public right-of-way subject to a City of Chula Vista Encroachment Permit.



T-2: NE Garage Setbacks- Lane Loaded Lots

F. Open Space Requirements
(See Section 3.4.1, Building Configurations for specific private and common open space requirements)

Legend - Encroachments



T-2: NE Permitted Encroachments

3.3.5 T-2: Neighborhood General (NG) Zone

The primary intent of the Neighborhood General (NG) Zone is to provide for attached residential and detached residential cluster neighborhoods compatible with single family neighborhoods. These homes provide a transition from the T-2: NE Zone to the higher density T-3: NC Zone. While residential uses are intended as the primary use for the NG Zone, secondary non-residential uses that foster a functional and walkable neighborhood are permitted.



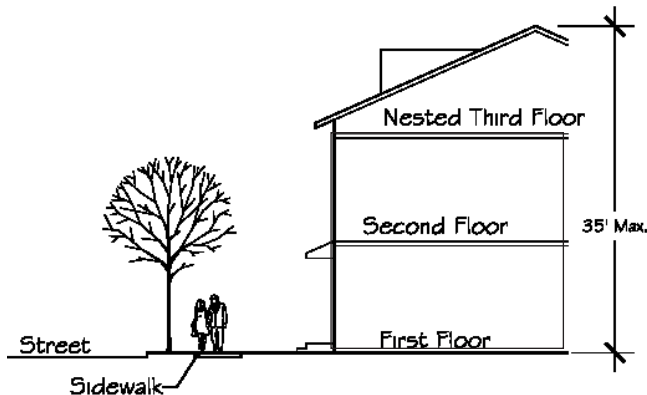
Key Map
(N.T.S.)

A. Permitted Building Configurations (See Section 3.4, Building Configurations)

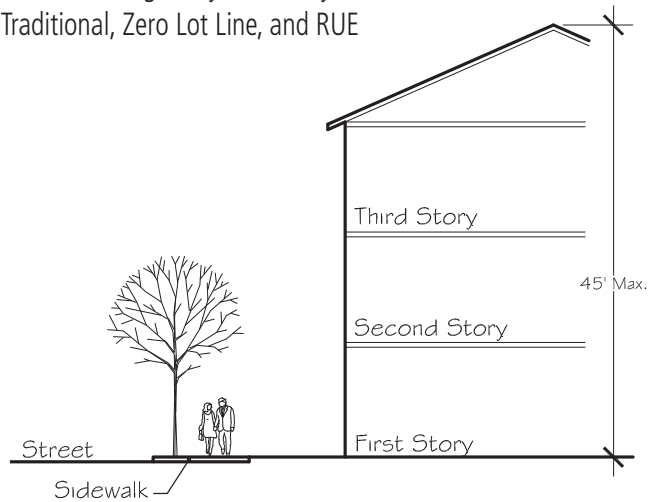
1. Conventional Home
2. Motor Court
3. Linear Green Court
4. Bungalow Green Court
5. Villa House
6. Row House
7. Neighborhood Recreation Facility
8. Innovative

B. Lot Configuration

1. Lot Width: 20 feet; 25 feet for corner lots (measured at center of lot)
2. Lot Size: 2,700 square feet minimum for detached configurations; Lot size to be determined by the site plan for attached and semi-attached configurations
3. Lot Coverage: 80% maximum
4. Building Height: 35 feet maximum; 2 story or nested 3rd story maximum
Up to 40% of units along each street frontage may be 3-story; 45 feet maximum
5. Plotting: Front Loaded or Lane Loaded; Traditional, Zero Lot Line, and RUE configurations permitted



T-2: NG Maximum Height



T-2: NG Maximum Height (Up to 40% of units per street frontage)

C. T-2: NG Permitted Land Uses

Use	Permit	Other Applicable Regulations
Residential Uses		
Assisted Living/Nursing Home/Convalescent Home (6 patients or fewer)	P	
Assisted Living/Nursing Home/Convalescent Home (more than 6 patients)	CUP	CVMC 19.58.110, CVMC 19.54.020
Group Residence (Dormitories, Boarding Houses, etc.)	CUP	
Home Occupation	A	
Live/Work	N	
Mobile Home	N	
Multi-Family	P	
Shopkeeper	N	
Single Family	P	
Other Uses		
Day Care Facility (Commercial)	N	
Day Care Facility (Home based, 7-12 children)	LFD	CVMC 19.58.147
Day Care Facility (Home based, up to 6 children)	P	
Fire/Police Station	P	
Private Educational Facility	CUP	CVMC 19.54.020
Public Educational Facility	P	
Religious or Spiritual Institution	CUP	CVMC 19.58.110, 19.54.020
Retail Commercial, Office, and Service Commercial	N	
Social or Fraternal Organizations	N	CVMC 19.58.100
Temporary Uses	P/CUP	Section 3.3.1(l)
Water Quality Basin	P	
Recreational Facilities		
Athletic Fields and Sport Courts	P	
Bicycle & Pedestrian Trails & Associated Signage	P	
Community Garden	A	
Community Center/Recreation Center (Public or Private)	CUP	CVMC 19.58.100
Parks (Public or Private)	P	
Picnic Areas, Benches, Barbecue Facilities	P	
Playgrounds (Public or Private)	P	
Swim Center/Community Pool (Public or Private)	CUP	CVMC 19.58.040
Utilities + Equipment		
Cellular Tower	CUP	CVMC 19.89
Roof Mounted Satellite Dishes smaller than or equal to 36 inches in diameter	P	
Roof Mounted Satellite Dishes larger than 36 inches in diameter	CUP	CVMC 19.22.030
Utility Substation/Gas Regulator	CUP	CVMC 19.58.140
Secondary/Accessory Uses		
Accessory Buildings, Structures, and Uses	P	Section 3.3.1 A, CVMC 19.58.020
Accessory Dwelling Units (ADUs)	P	Section 3.3.1 B, CVMC 19.58.022

A = Administrative Conditional Use Permit /P =Permitted /CUP =Conditional Use Permit/N = Not Permitted/LFD = Large Family Daycare Permit
(Note: Uses not listed may be permitted or conditionally permitted if the zoning administrator determines said use is of the same general character as any permitted or conditionally permitted use listed above)

D. Minimum Building Setbacks from Property Lines

- 1. Front: 7 feet to living area or side of garage
- 2. Interior Side: 5 feet
10 feet to SD or T-2: NE Zones
- 3. Rear Property Line: 10 feet to living area for 50% of lot width
5 feet to single story accessory structures/garage
- 4. Rear Common Lane: 5 feet minimum or 17 feet minimum to garage face
5 feet to single story accessory structures

E. Minimum Building Separations

- 1. Front to Adjacent Building: 20 feet minimum; 25 feet minimum for third-story massing
- 2. Rear to Rear/Rear to Side: 20 feet minimum; 25 feet minimum when lane is present
- 3. Side to Side: 10 feet minimum

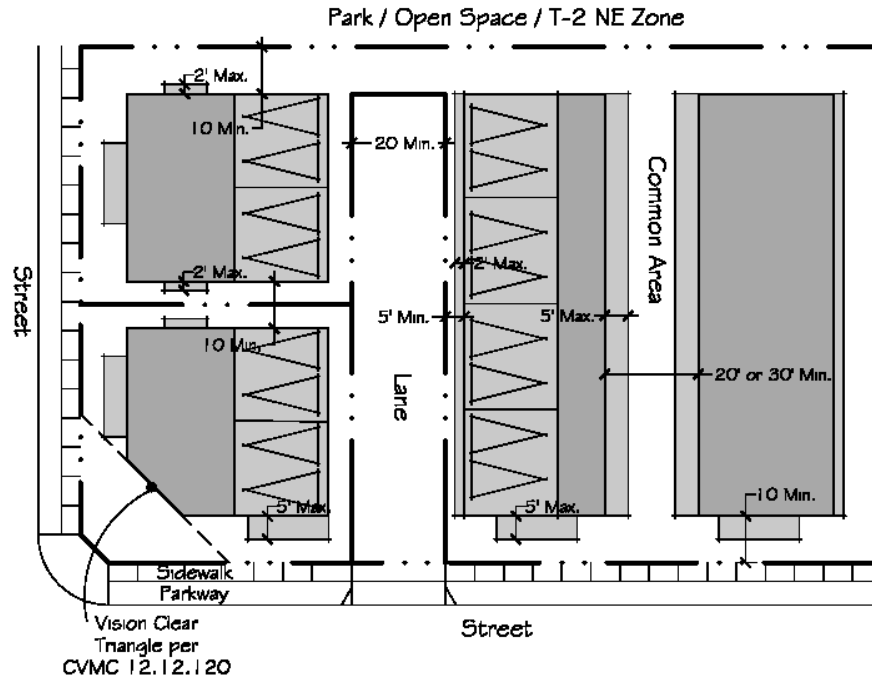
**F. Permitted Encroachments
(See Section 3.3.1.D, Height Exceptions and Permitted Encroachments)**

Encroachment of outdoor living spaces and architectural projections into required setbacks are permitted as follows:

- 1. Street See applicable corridor standards in Chapter 5, Circulation & Corridor Design
- 2. Lane/Motorcourt: No first story encroachments
2 feet for second story encroachments
- 3. Common Area: 5 feet for Outdoor Living Spaces; 2 feet for Projections
length of combined encroachments shall not exceed
50% of the building's frontage
- 4. Building Side-to-Side: 2 feet for Projections for single-family detached and duplex
0 feet for Projections for multi-family attached
- 5. Open Space/Park/T-2 NE: 2 feet for Projections

*Public Right-of-Way: Encroachments into the public right-of-way subject to a City of Chula Vista Encroachment Permit.

**G Open Space Requirements
(See Section 3.4.1, Building Configurations for specific private and common open space requirements)**



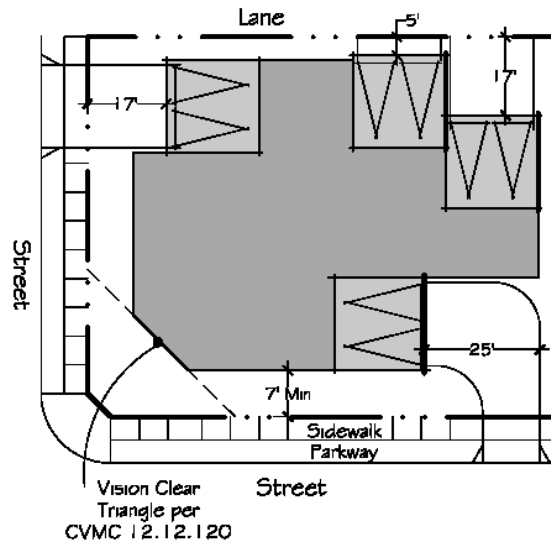
T-2: NG Setbacks and Permitted Encroachments

Legend - Setbacks and Permitted Encroachments

- Living Area
- Outdoor Living Area/
Permitted Encroachment

Legend - Parking Setbacks

- Living Area
- Garage



3.3.6 T-3: Neighborhood Center (NC) Zone

The primary intent of the Neighborhood Center (NC) Zone is to provide for higher-density residential neighborhoods that foster walkability and provide a transition from residential neighborhoods to the mixed-use character of the Town Center. While residential uses are intended as the primary use for the NC Zone, secondary non-residential uses that foster a functional and walkable neighborhood are permitted.

A. Building Configurations Permitted (See Section 3.4, Building Configurations)

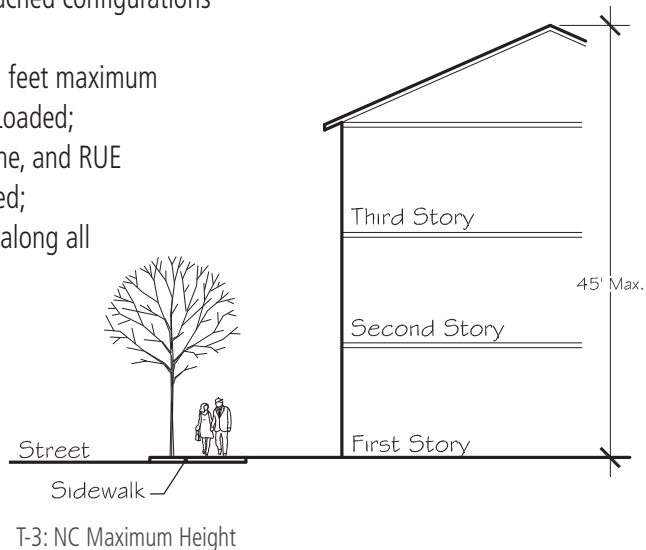
1. Conventional Home
2. Motor Court
3. Linear Green Court
4. Bungalow Green Court
5. Villa House
6. Row House
7. Stacked Units
8. Live/Work
9. Neighborhood Recreation Facility
10. Innovative

B. Lot Configuration

1. Lot Width: 20 Feet; 25 feet for corner lots
2. Lot Size: 2,000 square feet for detached configurations; lot size to be determined by the site plan for attached and semi-attached configurations
3. Lot Coverage: 90% Maximum
4. Building Height: 3 stories maximum; 45 feet maximum
5. Plotting: Front Loaded or Lane Loaded; Traditional, Zero Lot Line, and RUE configurations permitted; Shall provide frontage along all public roadways.



Key Map
(N.T.S.)



C. T-3: NC Permitted Land Uses

Use	Permit	Other Applicable Regulations
Residential Uses		
Assisted Living/Nursing Home/Convalescent Home (6 patients or fewer)	P	
Assisted Living/Nursing Home/Convalescent Home (more than 6 patients)	CUP	CVMC 19.58.110, CVMC 19.54.020
Group Residence (Dormitories, Boarding Houses, etc.)	CUP	
Home Occupation	A	
Live/Work	P	
Mobile Home	N	
Multi-Family	P	
Shopkeeper	N	
Single Family	P	
Age-Qualified	P	
Other Uses		
Ambulance/Emergency Services/Urgent Care	CUP	CVMC 19.58.110 and 19.54
Day Care Facility (Commercial)	N	
Day Care Facility (Home based, 7-12 children)	LFD	CVMC 19.58.147
Day Care Facility (Home based, up to 6 children)	P	
Fire/Police Station	P	
Private Educational Facility	CUP	CVMC 19.54.020
Public Educational Facility	P	
Religious or Spiritual Institution	CUP	CVMC 19.58.110,19.54.020
Retail Commercial, Office, and Service Commercial	N	
Social or Fraternal Organizations	N	CVMC 19.58.100
Temporary Uses	P/CUP	Section 3.3.1(l)
Water Quality Basin	P	
Recreational Facilities		
Athletic Fields and Sport Courts	P	
Bicycle & Pedestrian Trails & Associated Signage	P	
Community Garden	A	
Community Center/Recreation Center (Public or Private)	CUP	CVMC 19.58.100
Parks (Public or Private)	P	
Picnic Areas, Benches, Barbecue Facilities	P	
Playgrounds (Public or Private)	P	
Swim Center/Community Pool (Public or Private)	CUP	CVMC 19.58.040
Utilities + Equipment		
Cellular Tower	CUP	CVMC 19.89
Roof Mounted Satellite Dishes smaller than or equal to 36 inches in diameter	P	
Roof Mounted Satellite Dishes larger than 36 inches in diameter	CUP	CVMC 19.22.030
Utility Substation/Gas Regulator	CUP	CVMC 19.58.140
Secondary/Accessory Uses		
Accessory Buildings, Structures, and Uses	P	Section 3.3.1 A, CVMC 19.58.020
Accessory Dwelling Units (ADUs)	P	Section 3.3.1 B, CVMC 19.58.022

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(Note: Uses not listed may be permitted or conditionally permitted if the zoning administrator determines said use is of the same general character as any permitted or conditionally permitted use listed above)

D. Building Setbacks from Property Lines

- 1. Street: See applicable corridor standards in Chapter 5, Circulation & Corridor Design
- 2. Interior Side: 5 feet
- 3. Rear Property Line: 10 feet
- 4. Rear Common Lane: 5 feet to living area
5 feet minimum or 17 feet to garage face

E. Minimum Building Separations

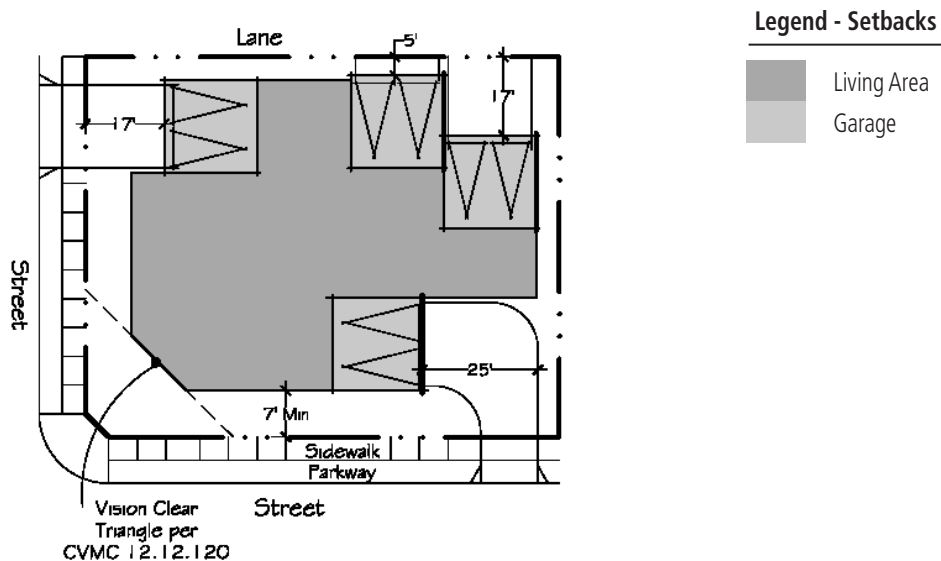
- 1. Front to Adjacent Building: 20 feet
- 2. Rear to Rear/Rear to Side: 20 feet (30 feet when lane is present)
- 3. Side to Side: 10 feet

E. Permitted Encroachments (See Section 3.3.1.D, Height Exceptions and Permitted Encroachments)

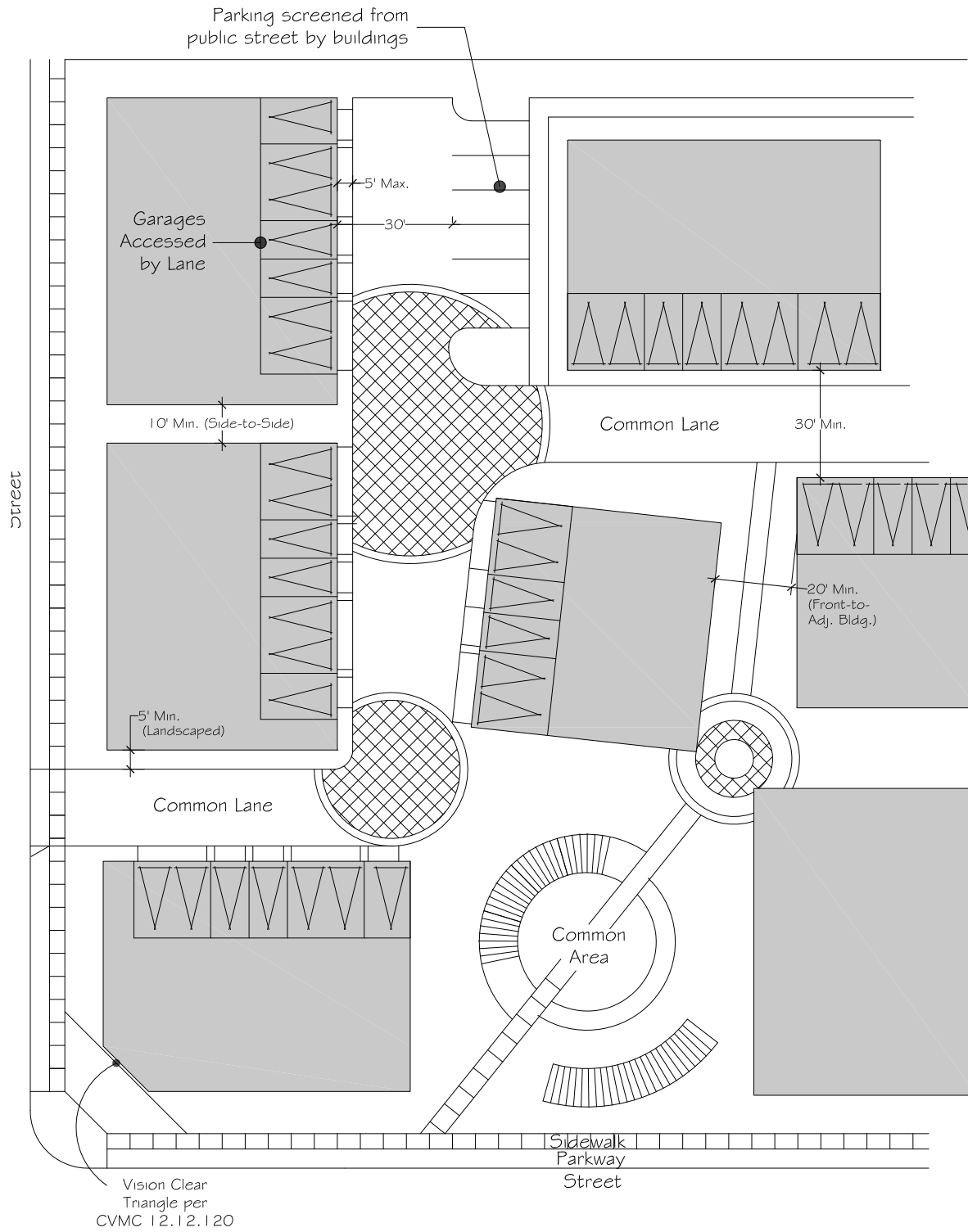
- 1. Street: See applicable corridor standards in Chapter 5, Circulation & Corridor Design
- 2. Lane/Motorcourt: No first story encroachments
2 feet for second story encroachments
- 3. Common Areas: 5 feet for Outdoor Living Spaces
2 feet for Projections
- 4. Building Side-to-Side: no encroachments

*Public Right-of-Way: Encroachments into the public right-of-way subject to a City of Chula Vista Encroachment Permit.

F. Open Space Requirements (See Section 3.4.1, Building Configurations for specific private and common open space requirements)



T-3: NC Lot Configuration and setbacks



T-3: NC lot configuration and setbacks

3.3.7 T-4: Town Center (TC) Zone

The primary intent of the Town Center (TC) Zone is to provide for mixed-use development that supports adjacent residential neighborhoods and fosters walkability. Uses within the Town Center will include a mix of retail sales and services with high-density attached homes. The Town Center is intended to be an urban walkable zone characterized by pedestrian-oriented ground floor units, public plazas, and other pedestrian spaces that promote a vibrant 24-hour activity center and living environment. A Master Precise Plan shall be prepared for this zone in accordance with Section 9.3.7.



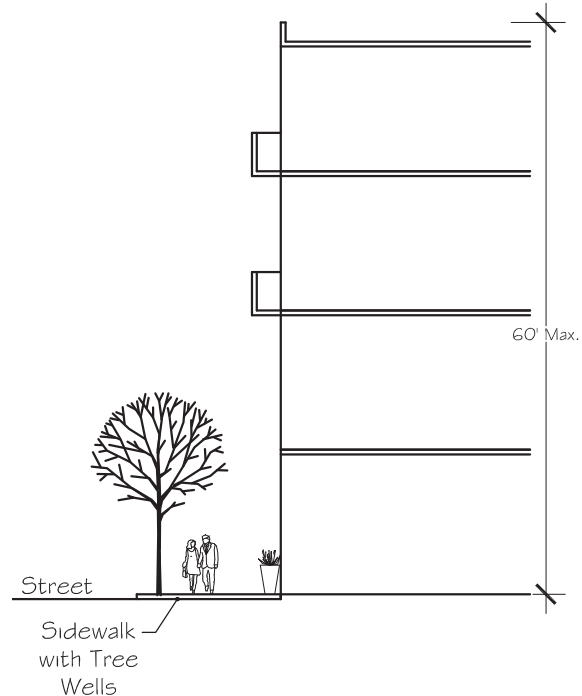
Key Map
(N.T.S.)

A. Building Configurations Permitted (See Section 3.4, Building Configurations)

1. Rowhouse
2. Stacked Units
3. Live/Work (Attached and Semi-attached)
4. Shopkeeper (Attached and Semi-attached)
5. Commercial Block
6. Neighborhood Recreation Facility
7. Community Purpose Facility
8. Innovative

B. Lot Configuration

1. Lot Width/Size: To be determined by the site plan
2. Lot Coverage: No maximum
3. Building Height: 4 stories maximum; 60 feet maximum
4. Plotting: Close to sidewalk except where pedestrian plazas and spaces occur; Shall provide frontage along all public roadways.



T-4 TC Maximum Height

C. T-4: TC Permitted Land Uses

Use	Permit	Other Applicable Regulations
Administrative and Professional Offices		
Banks and Financial Institutions	P	
Chiropractic and Acupuncture Offices	P	
Medical and Dental Offices	P	
Pharmacy Associated with Medical Office	P	
Professional Offices	P	
Telework Center	P	
Veterinary Clinic/Animal Hospital (small animals only)	CUP	CVMC 19.58.050
Automobile Related Uses		
Automobile Parts Store	P	
Automobile Rental (not including car share)	N	
Automobile Repair (up to 4 bays)/Towing	CUP	CVMC 19.58.280
Car Share	P	CVMC 19.40.030
Car Wash	CUP	CVMC 19.58.060
Drive-through Establishments	CUP	CVMC 19.58.120
Gas Station (Throughput less than 3.6 million gallons per year)	CUP	CVMC 19.58.280
Parking Garage or Lot/Shared parking facility	A	SPA Sections 3.3.1.F and 4.3.7; Applicable Building Configuration Standards
Personal Services		
Art/ Photography/Music Studio	A	
Barber or Beauty Shop/ Nail Salon/Suntan Parlor	P	
Coin Operated Laundry Facility/Laundry Service	P	
Dry Cleaner Storefront (off-site processing only/no perchloroethylene)	P	
Dance/Physical Fitness Studio or Health Club (less than 2000 square feet)	P	
Dance/Physical Fitness Studio or Health Club (2000 square feet or larger)	CUP	
Massage Therapy/Day Spa	P	
Palm/Psychic Reading Service	P	
Tailor/Seamstress Shop/Shoe Repair	P	
Tattoo Parlor	P	
Residential Uses		
Assisted Living/Nursing Home/Convalescent Home (6 patients or fewer)	P	
Assisted Living/Nursing Home/Convalescent Home (more than 6 patients)	CUP	CVMC 19.58.110, CVMC 19.54.020
Group Residence (Dormitories, Boarding Houses, etc.)	CUP	
Home Occupation	A	
Live/Work	P	
Mixed Use Residential	P	
Mobile Home	N	
Multi-Family	P	
Shopkeeper	P	
Single Family	N	

A = Administrative Conditional Use Permit /P =Permitted /CUP =Conditional Use Permit/N = Not Permitted/LFD = Large Family Daycare Permit
 (Note: Uses not listed may be permitted or conditionally permitted if the zoning administrator determines said use is of the same general character as any permitted or conditionally permitted use listed above)

Use	Permit	Other Applicable Regulations
Retail and Service Commercial Uses (Excluding Big Box)		
Antique Store	P	
Appliance Store/Plumbing and Heating Store	N	
Appliance Repair, Services, and Rental	N	
Art Gallery	P	
Bakery/ Delicatessen	P	
Bar/Cocktail Lounge (See also sale of alcohol)	CUP	CVMC 19.58.115 and Chapter 5.26 CVMC
Bicycle Sales and Repair	P	
Billiard/Pool Hall/Batting Cages/Bowling Alley/Card Room/ Arcade/Skating Rink/Other Commercial Amusement	CUP	CVMC 19.58.040
Carpet/Draper Store/ Paint/Wallpaper Store	P	
Check Cashing Store/Payday Loan Facility	CUP	
Coffee/Esspresso Shop	P	
Consignment Store	P	
Convenience Market	A	
Copying, Printing, Reproduction, Mailing, and Facsimile Service	P	
Dance Hall/Night Club (See also Sale of Alcohol)	CUP	CVMC 19.58.115 and Chapter 5.26 CVMC
Drug Store/Pharmacy	P	
Floral Shop	P	
General Retail, i.e. Jewelry, Sporting Goods, Music, Home Goods, Bookstore, Camera and Video, Toys, Office Supplies, Gifts, Clothing (New), Art and Art Supply Store, Department Store, Fabric and Craft Store, Furniture Store, etc.	P	
Hardware Store (Not including Lumber Yard)	P	
Hotel or Motel	P	CVMC 19.58.210
Locksmith Shop	P	
Nursery (Plants)	P	
Pawn Shop	CUP	
Pet Store/Pet Grooming Shop	P	
Pet Day Care/Pet Hotel	CUP	CVMC 19.58.190
Restaurant, Sit Down or Take Out (See also Sale of Alcohol)	P	
Reverse Vending Machine	P	
Sale of Alcohol/Liquor Store	CUP	
Sign Shop	N	
Social or Fraternal Organizations	A	CVMC 19.58.100
Supermarket/Grocery Store	P	
Theater (Motion Picture/Independent Film/ Live Performance)	CUP	CVMC 19.58.040
Thrift Shop/Clothing Store (Used)	CUP	
Video Sales and Rentals	P	
Upholstery Shop (Furniture)	N	

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(Note: Uses not listed may be permitted or conditionally permitted if the zoning administrator determines said use is of the same general character as any permitted or conditionally permitted use listed above)

T-4: TC Zone Standards

Use	Permit	Other Applicable Regulations
Other Uses		
Ambulance/Emergency Services/Urgent Care	CUP	CVMC 19.58.110 and 19.54
Animal Hospital	CUP	CVMC 19.58.050
Broadcasting/Recording Studio	CUP	CVMC 19.54
Day Care Facility (Commercial)	A	
Day Care Facility (Home based, 7-12 children)	LFD	CVMC 19.58.147
Day Care Facility (Home based, up to 6 children)	P	
Educational Tutoring Facility	P	
Fire/Police Station	P	
Homeless Shelter	N	CVMC 19.58.110
Hospital	N	CVMC 19.58.110
Library/Museum	P	
Mortuary	CUP	CVMC 19.58.080 and CVMC 19.54
Private Educational Facility	CUP	CVMC 19.54
Public Agency or Educational Facility	P	
Religious or Spiritual Institution	CUP	CVMC 19.58.110 and CVMC 19.54
Social or Fraternal Organizations	N	CVMC 19.58.100
Temporary Uses	P/CUP	Section 3.3.1(l)
Water Quality Basin	P	
Recreational Facilities		
Athletic Fields and Sport Courts	P	
Bicycle & Pedestrian Trails & Associated Signage	P	
Community Garden	A	
Community Center/Recreation Center (Public or Private)	CUP	CVMC 19.58.100
Parks (Public or Private)	P	
Picnic Areas, Benches, Barbecue Facilities	P	
Playgrounds (Public or Private)	P	
Swim Center/Community Pool (Public or Private)	CUP	CVMC 19.58.040
Utilities + Equipment		
Electrical/Utility Substations	CUP	CVMC 19.58.140
Gas Regulator	CUP	
Roof Mounted Satellite Dishes Smaller Than or Equal to 36" in Diameter	P	
Roof Mounted Satellite Dishes Larger Than 36" in Diameter	CUP	CVMC 19.22.030 (Residential) or 19.30.040 (Commercial)
Secondary/Accessory Uses		
Accessory Structures, Buildings and Uses	P	Section 3.3.1 A, CVMC 19.58.020
Accessory Dwelling Units (ADUs)	N	Section 3.3.1 B, CVMC 19.58.022

A = Administrative Conditional Use Permit /P = Permitted /CUP = Conditional Use Permit/N = Not Permitted/LFD = Large Family Daycare Permit
 (Note: Uses not listed may be permitted or conditionally permitted if the zoning administrator determines said use is of the same general character as any permitted or conditionally permitted use listed above)

D. Minimum Building Setbacks and Separations

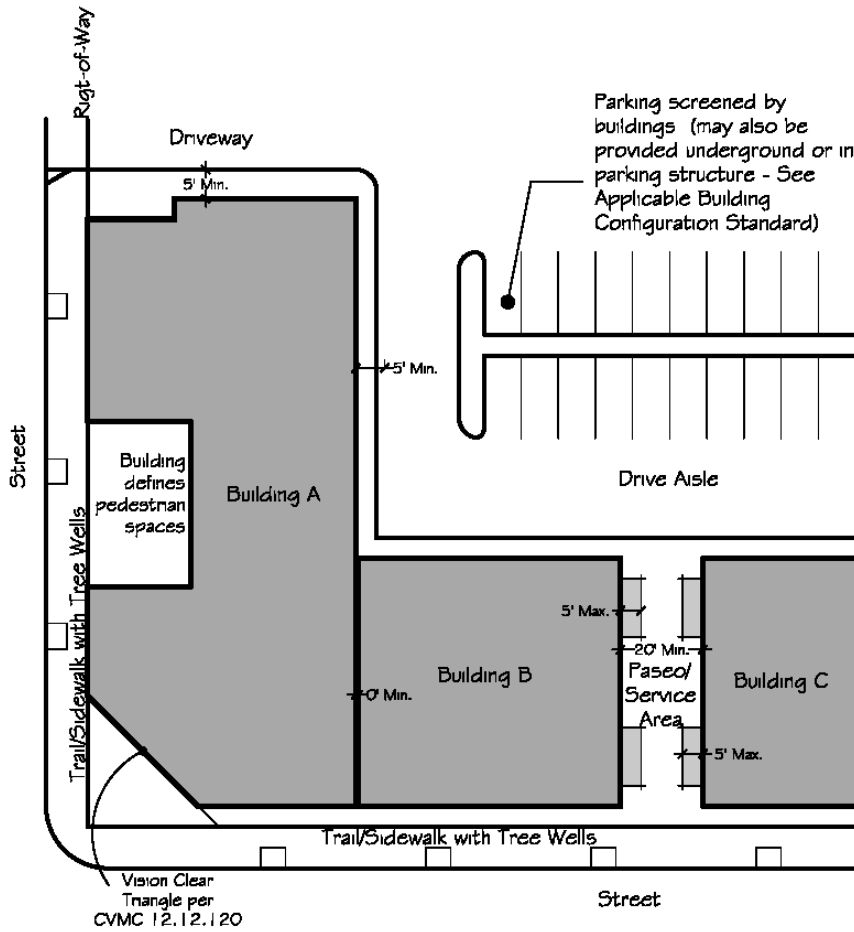
- | | |
|--|---|
| 1. Street: | See applicable corridor standards in Chapter 5, Circulation & Corridor Design |
| 2. Parking/Lane/Drive Aisle: | 5 feet minimum |
| 3. Building Separations: | 0 feet minimum |
| 4. Paseo/service area between buildings: | 20 feet minimum |

**E. Encroachments and Projections
(See Section 3.3.1.D, Height Exceptions and Permitted Encroachments)**

- | | |
|--|---|
| 1. Street | See applicable corridor standards in Chapter 5, Circulation & Corridor Design |
| 2. Lane: | No first story elements below 8 feet:
3 feet max. for elements 8 feet or more above sidewalk |
| 3. Paseo/service area between buildings: | 5 feet maximum |

*Public Right-of-Way: Encroachments into the public right-of-way subject to a City of Chula Vista Encroachment Permit.

**F. Open Space Requirements
(See Section 3.4.5 - 3.4.7, Building Configurations for specific private and common open space requirements)**



No additional setbacks are required at controlled intersections.
The Vision Clear Triangle per CVMC 12.12.120 is required at uncontrolled intersections.

Legend - Setbacks

 Habitable Area

Legend - Encroachments

 Habitable Area

T-4: TC lot configuration and setbacks

3.3.8 SD: Community Purpose Facility (CPF) Zone

The Community Purpose Facility (CPF) Zone is intended to accommodate Community Purpose Facilities in accordance with Chapter 19.48 of the City of Chula Vista Municipal Code. CPF sites are defined as lands intended for non-profit and certain for-profit uses that serve the social, cultural, and recreational needs of the community. Otay Land Company's contribution of University land in Village 9 fulfills the majority of the CPF requirement for Village 8 West. The City Council determined with the approval of this SPA Plan, that Otay Land Company's contribution of University land in Village 9 under the LOA and the one additional CPF site provided by this plan, fulfils the CPF requirements for Village 8 West. The University land and other CPF site will be available to the community for those types of uses that are similar to or fall within the public purposes of those uses allowed by Section 19.48.025 of the Chula Vista municipal code. All uses within CPF designated lands require a conditional use permit (CUP).



Key Map
(N.T.S.)

A. Building Configurations Permitted (See Section 3.4, Building Configurations)

- Community Purpose Facility
- Private Recreation Facilities

B. Lot Configuration

1. Lot Width/Size: Minimum of 4 acres
2. Lot Coverage: 90% Maximum
3. Max. Building Height: 3 stories; 45 feet maximum

C. Minimum Building Setbacks from Property Lines

1. Street: See applicable corridor standards in Chapter 5, Circulation & Corridor Design
2. Interior Side: 10 feet
3. Rear: 10 feet

D. Minimum Building Separations

1. Front to Adjacent Building: 20 feet minimum
2. Rear to Rear/Rear to Side: 20 feet minimum (30 feet minimum when lane is present)
3. Side to Side: 10 feet minimum

E. SD: CPF Permitted Land Use

Refer to CVMC Section 19.48.025 (c) for permitted uses

F. Other Applicable Requirements

All uses within the SD: Community Purpose Facility (CPF) Zone shall be subject to compliance with the following:

1. Chapter 4 - Community Design, Section 4.6, Community Use Facility Design Guidelines
2. Chapter 4 - Community Design, Section 4.75, Community Use Landscaping

3.3.9 SD: Parks (P) Zone

The Parks (P) Zone is intended to designate park locations throughout the community to ensure that adequate parkland is provided to support the proposed intensity of development within the SPA. Parks have been located to maximize access and support the walkable community envisioned by the SPA.



Key Map
(N.T.S.)

A. Building Configurations Permitted

Park buildings are exempt from Building Configuration Standards

B. SD: P Permitted Land Uses

Permitted land uses per the City of Chula Vista Parks and Recreation Master Plan or as approved by the Chula Vista Development Director. Limited community-oriented retail shall be permitted within the Town Square Park.

C. Other Applicable Requirements

All uses within the SD: Park (P) Zone shall be subject to compliance with the following:

1. Chapter 7 - Parks and Open Space
2. City of Chula Vista Park Master Plan

3.4 BUILDING CONFIGURATIONS

Village 8 West provides a diverse range of housing opportunities in residential and mixed-use configurations. Retail, office, public, quasi-public, and community uses will also add diversity to the community. The following building configuration standards establish permitted configurations of buildings within all zones. Each building shall also meet the development code requirements of the zone in which they are utilized. Building Configuration standards identify specific regulations for the configuration of buildings and lots to regulate important characteristics (pedestrian and vehicle access, open space, parking, etc.) of the built form. Additional design requirements that cover more than one building configuration can be found in the Chapter 4, Community Design. Within the building placement requirements of the applicable zone, Building configuration regulations further reinforce the desired community character to encourage quality development that suits the character of Otay Ranch.

Table 3.2: Building Configuration Standards

Building Configuration	As Permitted (P) by Transect and Zone							
	T-1		T-2		T-3	T-4	SD	
	OSP*	OS*	NE	NG	NC	TC	P**	CPF
Conventional Home			P	P	P			
Motorcourt				P	P			
Linear Green Court				P	P			
Bungalow Green Court				P	P			
Row House				P	P	P		
Villa House				P	P	P		
Stacked Units					P	P		
Live/Work					P	P		
Shopkeeper						P		
Commercial Block						P		
Innovative			P	P	P	P		
Neighborhood Recreation			P	P	P	P		P
Community Purpose Facility								P

* No Buildings are Permitted in the Open Space Preserve (OSP), Open Space (OS).

** Buildings within the Parks Zone are exempt from the Building Configuration Standards. See Section 3.4.B.

A. Purpose

This section identifies the building configurations allowed within Village 8 West and provides design standards for each configuration of building to ensure that proposed development is consistent with the Master Developer's and City's goals for building form, character, and quality within the SPA.

B. Applicability

Each proposed building shall be designed in compliance with the standards of this development code for the applicable building configuration. Non-residential buildings that have a significant impact upon community image and/or identified by the Master Developer as "Landmarks" shall be exempted from the Building Configuration standards of this section and independently reviewed as part of the Design Review process.

In addition, public and institutional buildings (such as schools, fire stations, libraries, police stations, and buildings associated with public parks) are exempt from these standards because of their unique disposition and application. Such buildings shall be subject to design review by the appropriate City department. For example, buildings associated with parks shall be reviewed and approved by the Director of Recreation.



Landmark Example

C. Allowable Building Configurations by Zone

Each building configuration described in this section is subject to the requirements of the applicable zone and the following building configuration standards. More than one building configuration may be combined on the same site or within the same building where appropriate provided both configurations are permitted within the zone. For instance, Linear Green Courts may be plotted along with Bungalow Green Courts when site constraints exist or Live/work may be plotted in the same building as Stacked Flats.

3.4.1 Conventional Home

Conventional Home is a building configuration consisting of a single-family detached home on an individual lot that is oriented toward the public street. Design of Conventional Homes shall include a variety of designs that respond to the applicable frontage type and zone. In addition to zone and frontage standards, the following standards shall apply to all Conventional Home Building Configurations:



Conventional Home Example

A. Plotting

1. Detached
2. May be plotted on a large lot or as a series of clustered small lots
3. Traditional, "Z", and RUE lot plotting permitted

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. Common Yard
2. Porch and Fence

C. Access

1. The primary pedestrian entry shall be oriented toward the public street
2. Where a lane is present, parking and services shall be accessed through the lane
3. Where a lane is not present, parking and services shall be accessed from the public street frontage

D. Minimum Required Parking

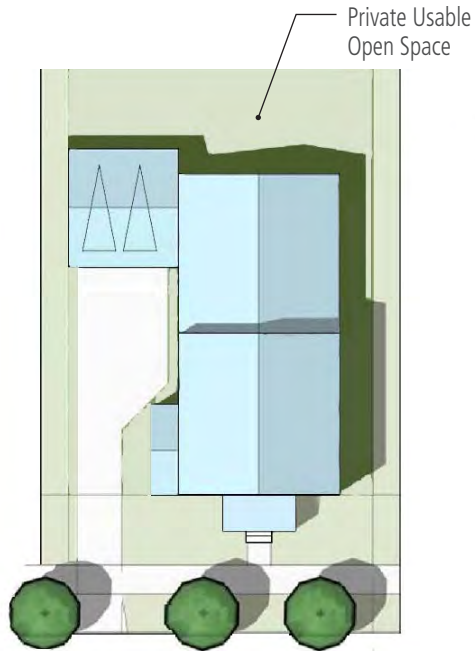
1. Vehicle: 2 garage spaces per unit

E. Open Space

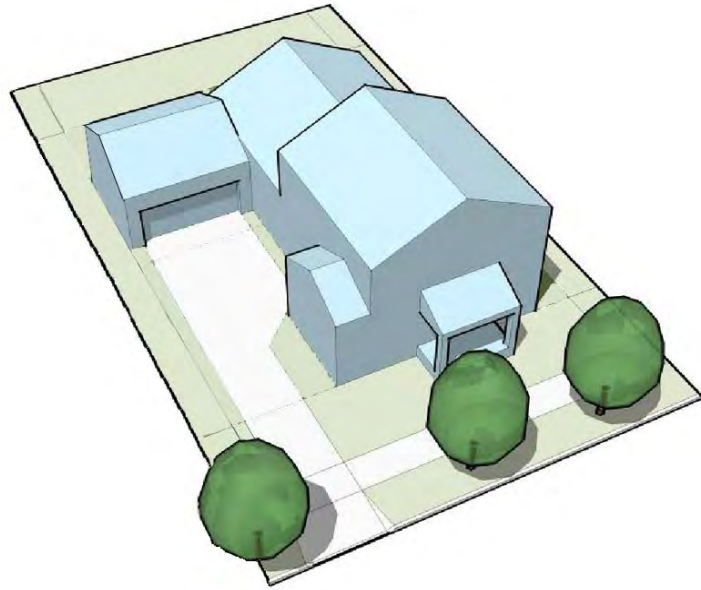
1. For lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
2. For lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
 - a. A minimum 350 sq. ft. of private usable open space shall be provided per lot
 - b. The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process

F. Special Design Considerations

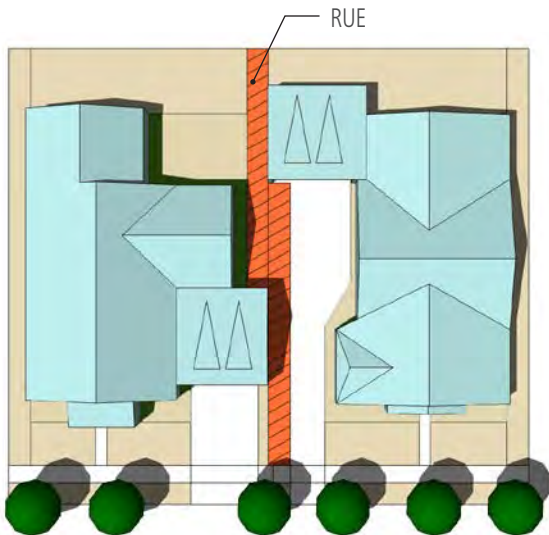
1. Refer to Section 4.5, Detached Residential Design Guidelines
2. Also Refer to Section 4.7, Landscape Design Guidelines



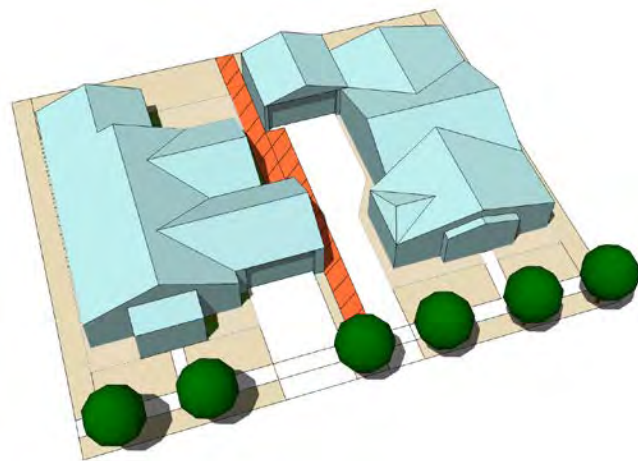
Conventional Home Building Configuration, Plan View



Conventional Home Building Configuration, Perspective



Conventional Home Building Configuration, Plan View - "Z" Lot (RUE in Orange Color)



Conventional Home Building Configuration, Perspective - "Z" lot (RUE in Orange Color)

3.4.2 Motor Court

Motor Court is a building configuration consisting of homes clustered together and oriented toward a motor court. Garage access is taken from the motor court and pedestrian entries are accessed from either the motor court or the public street. The Motor Court Configuration orients detached homes with garages in a manner that activates the public street scene by reducing the presence of garage doors along the public street and providing more “active” architecture along the public street frontage. In addition to zone and frontage standards, the following standards shall apply to all Motor Court Building Configurations:



Motor Court Example

A. Plotting

1. Detached
2. Traditional, “Z” lot and RUE plotting permitted
3. To the greatest extent feasible, all plotting of Motor Court Building Configurations shall be done in the Motor Court module; where site planning constraints exist, such as irregularly shaped lots, the Motor Court Module may be modified to fit the site

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. Common Yard
2. Porch and Fence
3. Stoop

C. Access

1. Homes along the public street frontage shall orient primary pedestrian entries to address the street; all other units shall take front door access from the motor court, pedestrian path, or paseo
2. Garage access shall be taken from the motor court

D. Minimum Required Parking

1. Vehicle: 2 garage spaces per unit + 0.25 off-street, unassigned spaces for each bedroom over 3

E. Open Space

1. For lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
2. For lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
 - a. A minimum 350 sq. ft. of private usable open space shall be provided per lot
 - b. The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process



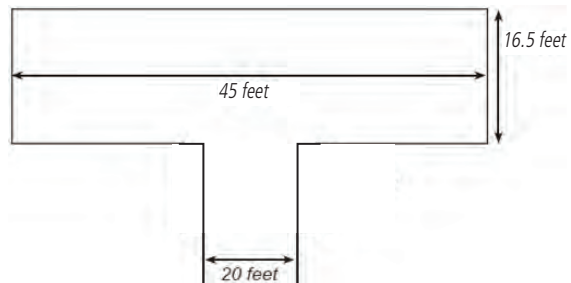
Motorcourt Building Configuration, Perspective View of Typical Motorcourt Module



Motorcourt Building Configuration, Plan View of Typical Motorcourt Module

F. Special Design Considerations

1. Floor plans shall be designed to create opportunities for landscaping and front yard spaces adjacent to the motor court
2. Elevations, facing motor courts shall be designed with the same massing considerations and architectural details as would be required if the home were facing a public street
3. Design of the motor court shall address the functional and aesthetic features of the space to create a pleasant experience for residents including planting, decorative paving, or other design treatments
4. Refer to Section 4.5, Detached Residential Design Guidelines for additional design considerations
5. Also Refer to Section 4.7, Landscape Design Guidelines



Motorcourt Minimum Dimensions

3.4.3 Linear Green Court

Linear Court is a building configuration consisting of a row of detached homes typically oriented toward a common linear green court. End units adjacent to the public street are designed to address the public street frontage. The Linear Green Court orients homes in a manner that activates the street scene and creates common paseos along front property lines. This building configuration separates garage and pedestrian access to opposite sides of the building by providing front pedestrian entries along the paseo and garage access from a common rear lane. In addition to zone and frontage standards, the following standards shall apply to all Linear Green Court Building Configurations:



Linear Green Court Examples

A. Plotting

1. Detached
2. Traditional, "Z" lot, and RUE plotting permitted

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. Common Yard
2. Porch and Fence
3. Stoop

C. Access

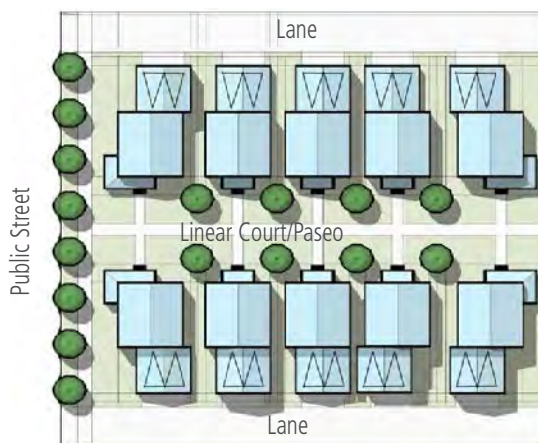
1. The primary pedestrian entrance shall be accessed and oriented to be visible from the public street frontage or a linear court
2. Parking and services shall be accessed through the lane where possible
3. "Half" street plotting is permitted where site planning constraints exist such that the green court acts as a front yard for individual units along the street and provides the minimum front yard setback specified for the applicable corridor (See Chapter 5, Circulation & Corridor Design); garages shall not front directly onto the public street

D. Minimum Required Parking

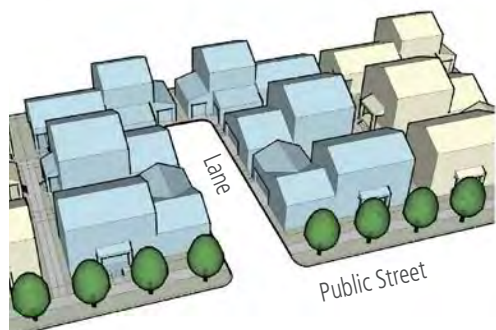
1. Vehicle: 2 garage spaces per unit + 0.25 off-street, unassigned spaces for each bedroom over 3



Linear Green Court Building Configuration, Perspective View



Linear Green Court Building Configuration, Plan View



Linear Green Court Building Configuration, Perspective View

E. Open Space

1. For lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
2. For lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
 - a. A minimum 350 sq. ft. of private usable open space shall be provided per lot
 - b. The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process

F. Special Design Considerations

1. Floor plans shall be designed to create varied setbacks and opportunities for landscaping and front yard spaces adjacent to the linear court
2. All elevations facing the linear court and public streets shall be considered "front" elevations and shall be designed with a comparable level of architectural detail as the front elevation
3. Design of the lanes shall address the functional and aesthetic features of the space to create a pleasant experience for residents including planting, decorative paving, enhanced garage doors, architectural elements, or other design treatments
4. Refer to Section 4.5, Detached Residential Design Guidelines for additional design considerations
5. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.4 Bungalow Green Court

Bungalow Green Court is a building configuration consisting of four or more detached units arranged around a common green courtyard. Pedestrian access to the building occurs along the edges of the courtyard and the public street. Garages are accessed from a shared rear lane. Bungalow Green Courts orient homes in a manner that creates common courtyards and activates the public street scene with open space pockets. In addition to zone and frontage standards, the following standards shall apply to all Bungalow Green Court Building Configurations:

A. Plotting

- 1. Detached
- 2. Traditional, "Z" lot, and RUE plotting permitted

**B. Permitted Frontage Types
(See Section 3.5, Frontage Types)**

- 1. Common Yard
- 2. Porch and Fence
- 3. Stoop

C. Access

- 1. The primary pedestrian entrance shall be accessed and oriented to be visible from the public street frontage or a linear court
- 2. Parking and services shall be accessed through the lane where possible
- 3. "Half" street plotting is permitted where site planning constraints exist; however, garages shall not front directly onto the public street and the green court shall act as a front yard along the street

D. Minimum Required Parking

- 1. Vehicle: 2 garage spaces per unit + 0.25 off-street, unassigned spaces for each bedroom over 3



Bungalow Green Court Example
Street Frontage View



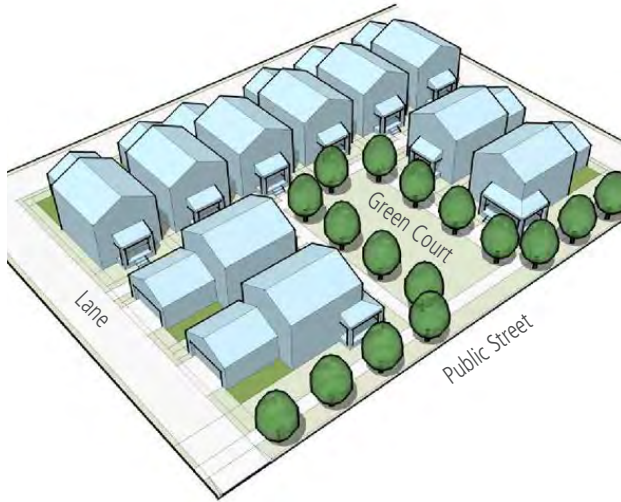
Bungalow Green Court Example -
View into Green Court



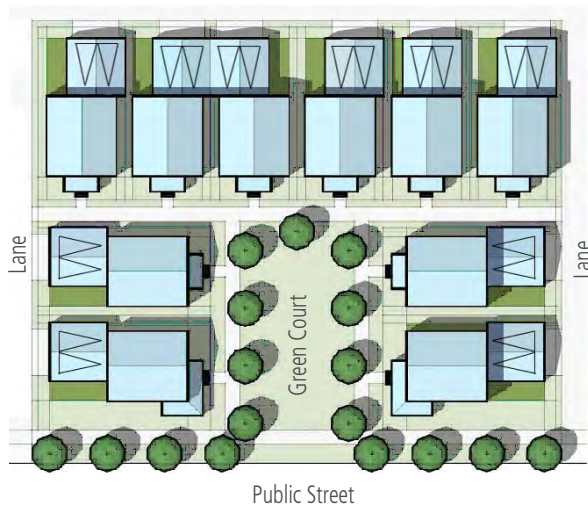
Bungalow Green Court Example -
View Looking into Lane

E. Open Space

1. For lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
2. For lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
 - a. A minimum 350 sq. ft. of private usable open space shall be provided per lot
 - b. The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process



Bungalow Green Court Building Configuration, Perspective View



Bungalow Green Court Building Configuration, Plan View

F. Special Design Considerations

1. Floor plans shall be designed to create variety in front setbacks and opportunities for landscaping and front yard spaces adjacent to the green court
2. All elevations facing the green court and public streets shall be considered "front" elevations and shall be designed with a comparable level of architectural detail as the front elevation
3. Design of the lanes shall address the functional and aesthetic features of the space to create a pleasant experience for residents including planting, decorative paving, enhanced garage doors, architectural details, or other design treatments
4. Refer to Section 4.5, Detached Residential Design Guidelines for additional design considerations
5. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.5 Row House

Row House is a building configuration consisting of attached units plotted in a row. Unlike the Conventional Home Building Configuration, Row House typically consists of attached units such as attached townhomes. Unlike the Stacked Unit Building Configuration (See Section 3.4.7), each unit is situated on an individual lot. Units do not stack or overlap. Row Houses must be plotted with a strong relationship to the street to create a more urban setting; however, some units may be plotted toward parks, paseos, courts, or gardens to provide greater common open space opportunities in a more traditional townhouse configuration. In addition to zone and frontage standards, the following standards shall apply to all Row House Building Configurations:



A. Plotting

- 1. Attached
- 2. May be oriented toward the public street or toward a common open space area
- 3. Buildings shall be plotted to define the street such that no portion of the building is setback more than 10 feet behind the minimum setback for the roadway corridor unless physical site constraints (for example mature trees) prevent such plotting

**B. Permitted Frontage Types
(See Section 3.5, Frontage Types)**

- 1. Common Yard
- 2. Porch and Fence
- 3. Stoop

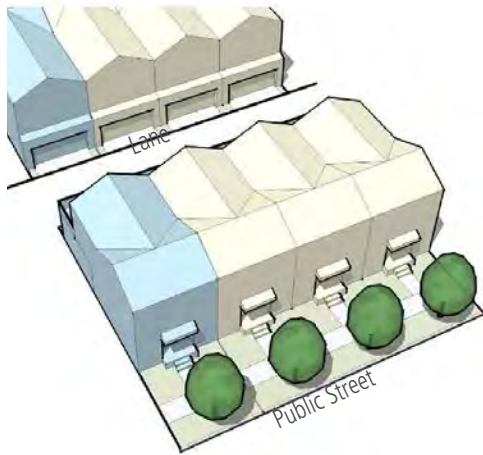
C. Access

- 1. Each unit shall have an individual pedestrian entrance that is accessed by walkways leading from parking, a common area, or the public street
- 2. Where a lane is present, parking and services shall be accessed through the lane

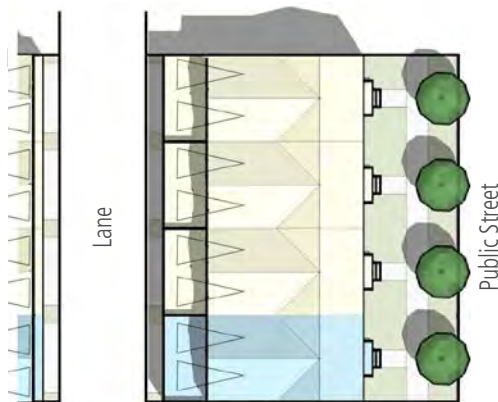
D. Minimum Required Parking

- 1. Vehicle: 2 garage spaces per unit + 0.25 off-street, unassigned spaces for each bedroom over 3

Row House Examples



Row House Building Configuration, Perspective View



Row House Building Configuration, Plan View



Row House with Street-Facing Garage

E. Open Space

1. For densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. 80 sq. ft. for each 2 bedroom unit
 - b. 120 sq. ft. for each 3 bedroom unit
 - c. 20 additional sq. ft. for each bedroom over 3
2. Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. For densities of 10-20 units/acre, 300 square feet per unit
 - b. For densities of 20-30 units/acre, 200 square feet per unit
3. For densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.

F. Special Design Considerations

1. Building elevations facing side streets or public spaces shall be designed with a comparable level of architectural detail as front, street facing elevations
2. Massing of buildings shall be reduced in at least 1 of the following ways:
 - a. Massing offsets
 - b. Differentiation of units
 - c. Stepped massing
3. Design of lanes shall address the functional and aesthetic features of the space to create a pleasant experience for residents including planting, decorative paving, upgraded garage doors, or other design treatments along lane elevations
4. Refer to Section 4.4, Attached Residential Design Guidelines for additional design considerations
5. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.6 Villa House

Villa House is a building configuration that consists of a large house containing 3 to 8 dwelling units. A Villa House is typically plotted to appear as a large “single-family” home accessed from street, or in court or garden configurations, to provide greater common open space opportunities. In addition to zone and frontage standards, the following standards shall apply to all Villa House Building Configurations:

A. Plotting

- 1. Attached
- 2. Typically plotted to appear as a single family home from each street frontage

**B. Permitted Frontage Types
(See Section 3.5, Frontage Types)**

- 1. Common Yard
- 2. Porch and Fence
- 3. Stoop

C. Access

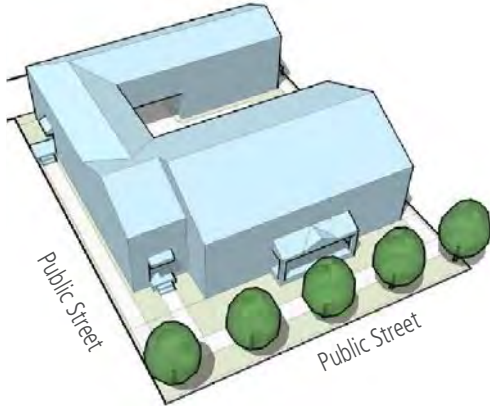
- 1. The main pedestrian entrance for each unit shall be accessed by walkways leading from parking or the street
- 2. Parking and services may be accessed from the street, lane, motor court, or any combination of these

D. Minimum Required Parking

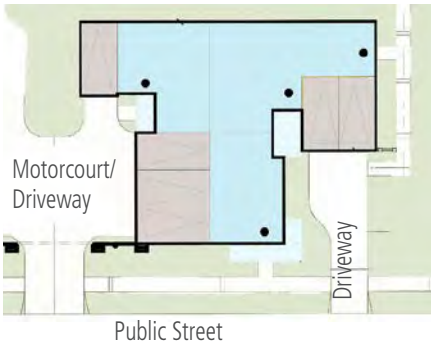
- 1. Vehicle:
 - a. Studio/1 Bedroom/2 Bedroom Units: 1 covered or garage space + 0.5 off-street, unassigned space per unit
 - b. 3 or More Bedroom Units: 2 spaces (at least 1 shall be covered or in a garage) + 0.25 off-street, unassigned space for each additional bedroom over 3
- 2. Bicycle: Comply with CalGreen requirements



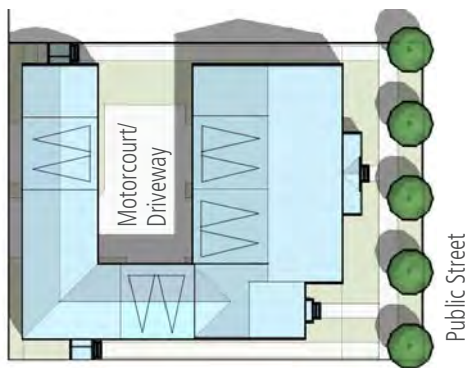
Villa House Examples



Villa House Building Configuration Diagram, Perspective View - Motorcourt Configuration



Villa House Building Configuration Diagram, Plan View- Front-Facing Garage Configuration



Villa House Building Configuration Diagram, Plan View - Motorcourt Configuration



Villa House Building Configuration Diagram, Plan View - Lane Loaded Configuration



Pairing of Single Car Garage Doors to Appear as One Larger Garage

E. Open Space

1. For densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. 80 sq. ft. for each 2 bedroom unit
 - b. 120 sq. ft. for each 3 bedroom unit
 - c. 20 additional sq. ft. for each bedroom over 3
2. Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. For densities of 10-20 units/acre, 300 square feet per unit
 - b. For densities of 20-30 units/acre, 200 square feet per unit
3. For densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.

F. Special Design Considerations

1. Building shall be designed to appear as a large single-family "mansion" home
2. One entry on each street frontage shall be highly visible from the street or otherwise emphasized to appear like the primary entry to the "Villa"; other entries shall be recessed, located at the side of the building, or otherwise de-emphasized
3. Garages shall be designed to appear as if they belong to a single family home from each street frontage; up to two garage spaces may take direct access from the same street frontage; additional spaces shall be accessed as a swing-in garage, by a common lane, or by motor court
4. Pairing of single car garages to appear as one larger garage is encouraged to preserve the single family appearance of the building
5. Although this building configuration is an attached configuration, it is intended to appear like a single family home; therefore, Refer to Section 4.5, Detached Residential Design Guidelines for additional design considerations as applicable
6. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.7 Stacked Units

Stacked Units is a building configuration consisting of a larger scale residential building that includes multiple attached units including apartments, flats, condominiums, and/or townhome units (for sale or for rent). Stacked Units are typically larger than the Villa House Building Configuration and the existence of multiple units within one building is apparent. Unlike the Row House Configuration, stacked units are located on a common lot so that units or portions of units are able to overlap or “stack” above one another. The Stacked Units Building Configuration is appropriate for use in combination with or in proximity to retail shopping areas, employment centers, entertainment districts, institutions of higher learning, transit, parks, or other urban uses to create a dynamic activity cluster. In addition to Zone and Frontage standards, the following standards shall apply to all Stacked Units Building Configurations:



Stacked Unit Examples

A. Plotting

- 1. Attached
- 2. Plotted to address public streets and surrounding uses
- 3. Plotted to define interesting public spaces and common areas

**B. Permitted Frontage Types
(See Section 3.5, Frontage Types)**

- 1. Common Yard
- 2. Porch and Fence
- 3. Stoop

C. Access

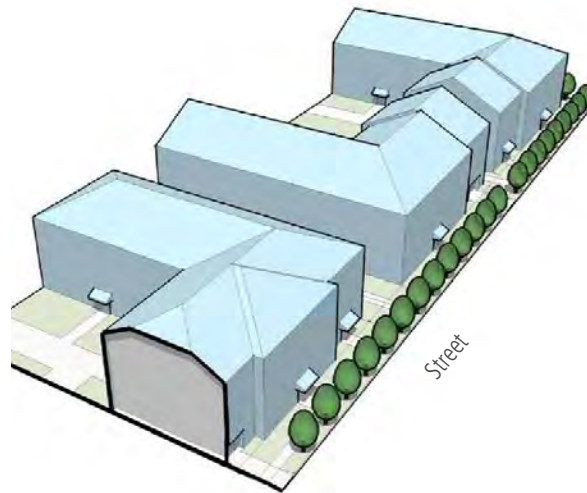
- 1. The main pedestrian entrance for each unit is accessed directly from the street, from parking or common areas, or from hallways or walkways
- 2. Parking and services shall be accessed through a lane or within common parking lots or structures
- 3. Below-grade and wrapped parking structures permitted; shall be accessed from a side street or lane

D. Minimum Required Parking

- 1. Vehicle:
 - a. Studio/1 Bedroom/2 Bedroom Units: 1 covered or garage space + 0.5 off-street, unassigned space per unit
 - b. 3 or More Bedroom Units: 2 spaces (at least 1 shall be covered or in a garage) + 0.25 off-street, unassigned space for each additional bedroom over 3
- 2. Bicycle: Comply with CalGreen requirements

E. Open Space

1. For densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. 80 sq. ft. for each 2 bedroom unit
 - b. 120 sq. ft. for each 3 bedroom unit
 - c. 20 additional sq. ft. for each bedroom over 3
2. Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. For densities of 10-20 units/acre, 300 square feet per unit
 - b. For densities of 20-30 units/acre, 200 square feet per unit
3. For densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.



Stacked Units Building Configuration, Perspective View

F. Special Design Considerations

1. All building elevations facing streets, common areas, or public spaces shall be considered "front" elevations and shall provide a comparable level of architectural design and detail
2. Massing of buildings shall be reduced in at least 1 of the following ways:
 - a. Massing offsets
 - b. Differentiation of units
 - c. Stepped massing
3. Refer to Section 4.4, Attached Residential Design Guidelines for additional design considerations; For buildings located in the Town Center, refer to Section 4.3, Town Center Design Guidelines
4. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.8 Live/Work

Live/Work is a building configuration that provides opportunities to live and work in the same location allowing for a better balance between housing and jobs, a reduction in gas consumption, and less traffic congestion. Live/Work units facilitate detached or attached homes designed to accommodate residential as the primary use with work space for home occupations as defined in CVMC Section 19.14.490. The building form of Live/Work emulates the form of surrounding Building Configurations, i.e. attached or detached, to fit with the scale and character of the surrounding residential neighborhood. Access and visibility of units shall be considered to promote viability of the associated non-residential use. In addition to zone and frontage standards, the following standards shall apply to all Live/Work Building Configurations:



Live/Work - Detached Example



Live/Work - Attached Example

A. Plotting

1. Attached or Detached
2. Plotted to face a public street or paseo accessible by on-street parking within 200 feet
3. Recommended to be plotted in groups (4 or more units) to promote compatibility and an enclave character conducive to small-businesses
4. Residential shall be the primary use, home occupation and other permitted uses shall be the secondary use; "work" area shall comprise no more than 30% of the total square footage of the unit, not to exceed 1200 square feet, exclusive of stairs

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. Porch and Fence
2. Stoop
3. Storefront

C. Access

1. The main pedestrian entrance shall be individual for each unit and accessed by walkways leading from parking or the street
2. Residential and non-residential main entries may be separate or combined
3. Vehicle access shall be provided from the street, lane or motorcourt, consistent with adjacent building configurations in the neighborhood



Live/Work - Sample Floor Plan

D. Minimum Required Parking

1. Vehicle:
 - a. Studio/1 Bedroom/2 Bedroom Units: 1 covered or garage space + 0.5 off-street, unassigned space per unit
 - b. 3 or More Bedroom Units: 2 spaces (at least 1 shall be covered or in a garage) + 0.25 off-street, unassigned space for each additional bedroom over 3
 - c. For each work space, 0.5 off-street, unassigned spaces shall be provided in addition to the above or pursuant to a City approved parking agreement or district (See Section 3.8, Shared Parking)
2. Bicycle: Comply with CalGreen requirements

E. Open Space

1. For detached configurations
 - a. For lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
 - b. For lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
A minimum 350 sq. ft. of private usable open space shall be provided per lot
The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process
2. For attached configurations
 - a. For densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
80 sq. ft. for each 2 bedroom unit
120 sq. ft. for each 3 bedroom unit
20 additional sq. ft. for each bedroom over 3
 - b. Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
For densities of 10-20 units/acre, 300 square feet per unit
For densities of 20-30 units/acre, 200 square feet per unit
 - c. For densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.

F. Special Design Considerations

1. Architecture of Live/Work Building Configurations shall complement the architectural character of the neighborhood in which it is located; however, additional glazing, non-residential design elements and/or roll-up access doors are permitted; design of these elements shall be done in a manner that does not detract from the character of the neighborhood
2. Signage for individual units shall be attached to the unit or building along the visible street and/or paseo exposure and shall match the architectural style of the building; Signage shall be limited to 6 square feet of area, 3 maximum lines of text, and no fluorescent colors shall be permitted. Signs shall not be internally illuminated. Direct, external illumination is permitted so long as light does not spill onto adjacent properties.
3. Refer to the most applicable section of Chapter 4, Community Design for additional design considerations
4. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.9 Shopkeeper

Similar to the intent of the Live/Work building configuration, the Shopkeeper Building Configuration provides people with a reasonable opportunity to live close to where they work, allowing for a better balance between housing and jobs, reduced gas consumption, and less traffic congestion. Shopkeeper units take the live/work concept one step further by separating the living space completely from the associated commercial space. Separate entries or a residential “lock-out” unit (typically located above the commercial space) allows the commercial space to be leased by the resident or conversely, the residential space to be leased by the shopkeeper. Shopkeeper units are typically found in neighborhoods with a predominantly commercial character (in contrast to Live/Work units, which are typically located in neighborhoods with a predominately residential character). In addition to zone and frontage standards, the following standards shall apply to all Shopkeeper Building Configurations:

A. Plotting

1. Attached or Detached
2. Plotted to face a street or paseo accessible by on-street parking within 200 feet
3. Recommended to be plotted in groups (4 or more units) to promote compatibility and an enclave character conducive to small-businesses

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

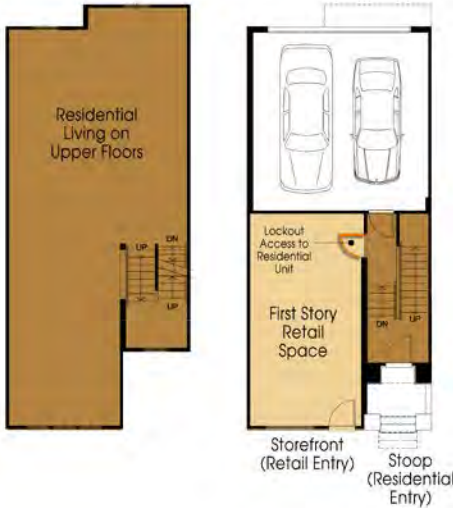
1. Stoop
2. Storefront
3. Arcade

C. Access

1. The main pedestrian entrance shall be individual for each unit and accessed by walkways leading from parking or the public street
2. Residential and non-residential entries shall be discernibly separate; the commercial entry shall be highly visible from the public street or public paseo
3. Parking and private garages shall be accessed from a lane; public garages may be accessed directly from the street in accordance with Section 3.3.1.F, Parking, and Section 4.3.7, Parking Lots and Structures)



Shopkeeper Example with Combined Stoop Frontage (For Residential Entry) and Storefront Frontage (For Commercial Entry)



Shopkeeper - Sample Floor Plan



Shopkeeper Example with Arcade Frontage

D. Minimum Required Parking

1. Vehicle:
 - a. Studio/1 Bedroom/2 Bedroom Units: 1 covered or garage space + 0.5 off-street, unassigned space per unit
 - b. 3 or More Bedroom Units: 2 spaces (at least 1 shall be covered or in a garage) + 0.25 off-street, unassigned space for each additional bedroom over 3
 - c. In addition to the above, each commercial use shall provide parking pursuant to a City approved parking agreement or district (Refer to Section 3.8, Shared Parking)
2. Bicycle: Comply with CalGreen requirements

E. Open Space

1. For detached configurations
 - a. For lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
 - b. For lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
A minimum 350 sq. ft. of private usable open space shall be provided per lot
The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process
2. For attached configurations
 - a. For densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
80 sq. ft. for each 2 bedroom unit
120 sq. ft. for each 3 bedroom unit
20 additional sq. ft. for each bedroom over 3
 - b. Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
For densities of 10-20 units/acre, 300 square feet per unit
For densities of 20-30 units/acre, 200 square feet per unit
 - c. For densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.

F. Special Design Considerations

1. Building elevations facing streets or public spaces shall be designed with a comparable level of architectural detail as the front elevation
2. Entries to individual units/homes shall be easily discernible through the use of design elements.
3. Massing of buildings shall be reduced in at least 1 of the following ways:
 - a. Massing offsets
 - b. Differentiation of units and stepped massing
 - c. Material and/or color change
4. Refer to Section 4.3, Town Center Design Guidelines for additional design considerations
5. Also Refer to Section 4.7, Landscape Design Guidelines

3.4.10 Commercial Block

Commercial Block is a building configuration consisting of a larger scale commercial or mixed-use building comprised of offices, retail spaces, apartments (for rent), and or condominiums (for sale). Mixed use buildings typically consist of retail or office space on the ground floor and office or residential space on upper floors. Appropriate for use in retail shopping areas, employment centers, entertainment districts, and near institutions of higher learning, transit, parks, or other urban uses to create a dynamic activity cluster. Commercial Block buildings shall have a strong pedestrian relationship to the street. In addition to zone and frontage standards, the following standards shall apply to all Commercial Block Building Configurations:



Commercial Block



Commercial Block

A. Plotting

1. Attached
2. Little or no setback from the public right-of way to define the edge of the public street
3. Plotted and designed to create interesting plazas and other public spaces

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. Storefront
2. Arcade

C. Access

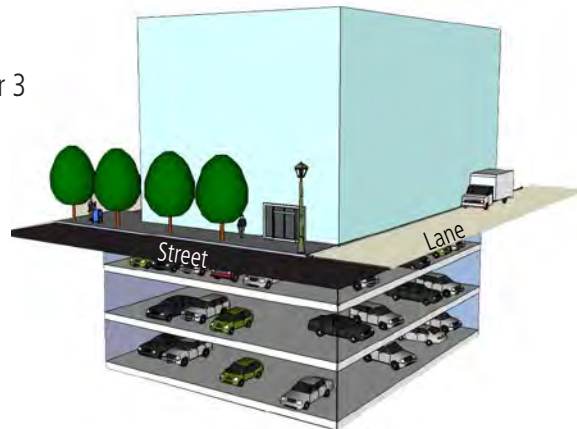
1. The main entrance for ground floor units are typically accessed directly from the street or a shared lobby but can also be accessed by walkways leading from parking or from hallways
2. Entrances to upper floor units are typically accessed by hallways; some second story units may be accessed by external stairways
3. At-grade parking areas and services shall be accessed through a lane
4. Below-grade and wrapped parking structures may be accessed from a street or lane; Parking areas shall not encroach into public rights-of-way

D. Minimum Required Parking

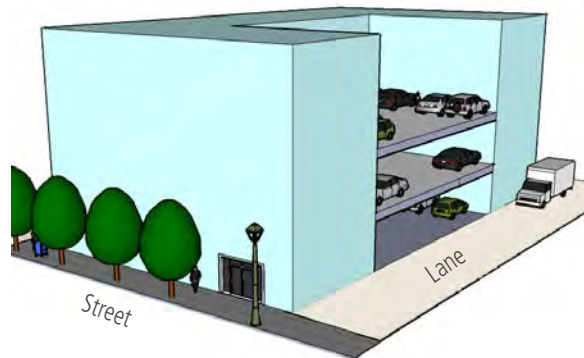
1. Vehicle:
 - a. Studio/1 Bedroom/2 Bedroom Units: 1 covered or garage space + 0.5 off-street, unassigned space per unit
 - b. 3 or More Bedroom Units: 2 spaces (at least 1 shall be covered or in a garage) + 0.25 off-street, unassigned space for each additional bedroom over 3
 - c. In addition to the above, each commercial use shall provide parking pursuant to a City approved parking agreement or district (see Section 3.8, Shared Parking)
2. Bicycle: Comply with CalGreen requirements

E. Open Space

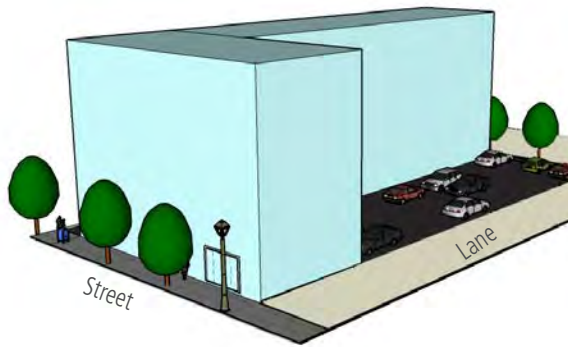
1. For densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. 80 sq. ft. for each 2 bedroom unit
 - b. 120 sq. ft. for each 3 bedroom unit
 - c. 20 additional sq. ft. for each bedroom over 3
2. Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. For densities of 10-20 units/acre, 300 square feet per unit
 - b. For densities of 20-30 units/acre, 200 square feet per unit
3. For densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.



Commercial Block Building Configuration, Perspective View - Podium Parking (Below grade)*



Commercial Block Building Configuration, Perspective View - Wrapped Parking*



Commercial Block Building Configuration, Perspective View - Surface Parking*

* See Section 4.3.7 for Additional Requirements Pertaining to Parking Lots and Structures.

F. Special Design Considerations

- 1. Building elevations facing streets, public spaces, and large parking areas shall be considered “front” elevations and require a comparable level of architectural design and detail
- 2. Outdoor plazas and seating areas for public use are encouraged where appropriate
 - a. These areas shall not conflict with the public sidewalk
 - b. Setbacks may be modified to create these outdoor pedestrian spaces along the street
 - c. Amenities are encouraged such as landscaping, enhanced pavement, seating areas, water features, or similar features
- 3. Massing of buildings shall be reduced in at least 1 of the following ways:
 - a. Massing offsets
 - b. Differentiation of units and stepped massing
 - c. Material and/or color change
- 4. Refer to Section 4.3, Town Center Design Guidelines for additional design considerations
- 5. Also Refer to Section 4.7, Landscape Design Guidelines



Outdoor Seating and Activity Areas Encouraged

3.4.11 Neighborhood Recreation

The Neighborhood Recreation Building Configuration includes private buildings used for recreational activities and neighborhood events. These types of buildings include clubhouses, meeting rooms, gymnasiums, pool houses, and similar uses intended to serve as an amenity feature for multi-family and single family residential neighborhoods. Ideally, these facilities are located within walking distance (approximately a quarter mile radius) of the homes they are intended to serve. Design and lot configuration are encouraged to be consistent with the character and scale of the associated residential community. In addition to zone and frontage standards, the following standards shall apply to all Neighborhood Recreation Building Configurations:



Neighborhood Recreation

A. Plotting

1. Oriented toward the public street or common public open spaces
2. Non-uniform front setback

B. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. Same as the adjacent building configuration(s)
2. Shall be sited with special attention to interfaces with streets, paseos, vistas, other buildings and open spaces
3. Frontage shall be designed to best accommodate the particular site, building, activity, and design

C. Access

1. Parking and building access shall be easily discerned and well marked
2. Vehicular and pedestrian access shall be intuitive and direct
3. Service areas shall be oriented away from the street frontage and pedestrian access, where feasible; otherwise these activities shall be screened from public view of the street and pedestrian access

D. Minimum Required Parking

1. As determined by the Development Services Director during the site plan approval process
2. Bicycle: Comply with CalGreen requirements

E. Special Design Considerations

1. Building form and massing shall not overwhelm the streetscene; integrate the design of the building with the scale and architectural character of the surrounding development and offset massing and volumes where feasible and practical to the building function
2. Roof forms shall be designed to match the architectural style of the building and create interest for the building form; at least 2 roof forms or plate heights are required
3. Refer to Section 4.6, Community Use Facility Design Guidelines, for additional design considerations; For buildings in the Town Center, Refer to Section 4.3, Town Center Design Guidelines
4. Also refer to Section 4.7, Landscape Design Guidelines

3.4.12 Community Purpose Facility

The Community Purpose Facility (CPF) Building Configuration is intended for non-profit and certain for-profit uses that serve the social, cultural, and recreational needs of the community. These buildings include places for worship, meeting halls, recreational facilities, and other uses as defined by the Chula Vista Municipal Code Chapter 19.48, PC-Planned Community Zone. Unlike the Neighborhood Recreational Building Configuration, the CPF Building Configuration is intended to serve the general public. In addition to zone and frontage standards, the following standards shall apply to all CPF Building Configurations:

A. Plotting

1. Oriented toward the street
2. Non-uniform front setback

C. Permitted Frontage Types (See Section 3.5, Frontage Types)

1. CPF buildings shall be sited with special attention to the interface with streets, paseos, vistas, other buildings and open spaces
2. Frontage shall be designed to best accommodate the particular site, building, activity, and design

B. Access

1. Parking and building access shall be easily discerned and well marked
2. Vehicular and pedestrian access shall be intuitive and direct
3. Service and loading activities shall be oriented away from the street frontage and pedestrian access, where feasible; otherwise these activities shall be screened from public view of the street and other pedestrian areas



Community Purpose Facility Building Example

D. Minimum Required Parking

1. Vehicle: In accordance with CVMC Section 19.26.050, Number of spaces required for designated uses, or as determined by the site plan in conjunction with a parking study
2. Bicycle: Comply with CalGreen

E. Special Design Considerations

1. Architectural style shall be compatible with the surrounding neighborhood and shall reflect the intended use of the facility
2. Roof forms shall be designed to match the architectural style of the building and create interest for the building form; at least 2 roof forms or plate heights are required
3. Building form and massing shall not overwhelm the streetscene; integrate the design of the building with the scale of the surrounding development
4. Singular building volumes are discouraged; where feasible and practical to the building function, offset massing and volumes
5. Iconic architectural features distinguishing design and character appropriate to the architectural style of the building are encouraged
6. Integrate building design with the site through the use of landscape and hardscape elements
7. Refer to Section 4.6, Community Use Facility Design Guidelines, for additional design considerations; For buildings in the Town Center, Refer to Section 4.3, Town Center Design Guidelines
8. Also refer to Section 4.7, Landscape Design Guidelines

3.4.13 Innovative

Although the building configurations listed within this section provide a wide range of possible designs, this SPA recognizes and encourages innovative design solutions that may not meet the strict definition of the building configurations included herein. Unique building configurations and mixing of building configurations within zones, individual sites, and within buildings can positively contribute to diverse and interesting streetscenes. Furthermore, such building configurations may be more appropriate to address the constraints of the site and demands of the current market. In such cases, where the building configuration standards cannot be appropriately applied, buildings may be identified by the Master Developer as “Innovative.” Innovative Building Configurations shall be exempted from the building configuration standards of this section, and shall be independently reviewed as part of the design review process. It is recommended that applicants and City building officials conduct a preliminary review of any property deemed “Innovative” at an early stage prior to submittal of the full Design Review Application.

A. Plotting

1. Oriented toward the street
2. Plotting should be compatible with surrounding building configurations to create a harmonious street scene and pedestrian friendly interfaces

C. Permitted Frontage Types (See Section 3.5, Frontage Types)

Frontages should be consistent with the frontages of surrounding building configurations to create a harmonious street scene

B. Access

1. Parking should be designed to reduce the visual impact on the streetscene
2. Building access shall be easily discerned and well marked and create a strong relationship to the public street
3. Service and loading activities shall be oriented away from the street frontage and pedestrian access, where feasible; otherwise, these activities shall be screened from public view of the street and pedestrian access

D. Minimum Required Parking

1. Vehicle:
 - a. Studio/1 Bedroom/2 Bedroom Units: 1 must be covered space + 0.5 off-street spaces per unit
 - b. 3 or More Bedroom Units: 2 spaces + 0.25 for each additional bedroom over 3
 - c. In addition to the above, each commercial use shall provide parking in accordance with CVMC Section 19.26.050, Number of spaces required for designated uses, or pursuant to a City approved parking agreement or district
2. Bicycle: Comply with CalGreen requirements

E. Open Space

1. For detached configurations on lots larger than 3000 square feet, a minimum of 750 square feet of private usable open space (with a private fenced area no less than 15% of the lot area) shall be provided
2. For detached configurations on lots 3000 square feet and less or condo mapped projects, a minimum of 750 sq. ft. of combined common and private usable open space (as defined in the Glossary) for each unit shall be provided, as follows:
 - a. A minimum 350 sq. ft. of private usable open space shall be provided per lot
 - b. The remaining 400 sq. ft. of required open space may be provided as either common or private usable open space. However, in all cases, each development shall provide an adequate amount of common usable open space in one area or in multiple areas to the satisfaction of the Planning Director during the site plan approval process
3. For attached configurations with densities up to 30 units/acre, Private Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. 80 sq. ft. for each 2 bedroom unit
 - b. 120 sq. ft. for each 3 bedroom unit
 - c. 20 additional sq. ft. for each bedroom over 3
4. For attached configurations, Common Usable Open Space (as defined in the Glossary) shall be provided as follows:
 - a. For densities of 10-20 units/acre, 300 square feet per unit
 - b. For densities of 20-30 units/acre, 200 square feet per unit
5. For attached configurations with densities over 30 units/acre, a minimum of 200 square feet of combined Private and Common Usable Open Space shall be provided for each residential unit.

F. Special Design Considerations

1. Architectural style shall be compatible with the surrounding neighborhood and shall reflect the intended use of the facility
2. Building form and massing shall not overwhelm the streetscene; integrate the design of the building with the scale of the surrounding development
3. Integrate building design with the site through the use of landscape and hardscape elements
4. Based upon the use of the building and its location within the community, refer to the most applicable section in Chapter 4, Community Design for additional design considerations
5. Also refer to Section 4.7, Landscape Design Guidelines

3.5 FRONTAGE TYPES

Frontage is defined as the privately owned area between the front facade of a home or building and the property line. Combined with the public streetscape and street types, the frontage has a strong impact on the public realm, determining the interaction of the building with the streetscape. Different frontages are appropriate for different zones and building configurations. Frontages shall be utilized within the appropriate zone and reflect the lifestyle of the building configuration.

Exhibit 3-6: Frontage Type Matrix, illustrates the range of frontage types permitted by the various building configurations. A more detailed description of each follows.

A. Outdoor Living Spaces

In many historical styles, front porches and covered terraces were considered outdoor “rooms” and evolved to be the key elements of the architectural composition. Outdoor living spaces are private outdoor spaces for resident use. These spaces provide outdoor living that is not overlooked by neighbors or visitors. The space flows from indoor to outdoor, providing little differentiation between living areas. Private open spaces are defined by their level of privacy.

To capture the climate-based lifestyle of Chula Vista and encourage integrity of style, all front porches, courtyards, stoops, and covered terraces shall achieve a minimum size and grade relationship to the street.

1. Spaces shall be sized to accommodate usable space; porches shall have a minimum dimension of 6 feet
2. Massing, placement, orientation, minimum required square footage and dimensions of outdoor living space are defined by building configuration under “Open Space”
3. Spaces shall be designed to be integral to the composition and architectural style of the home

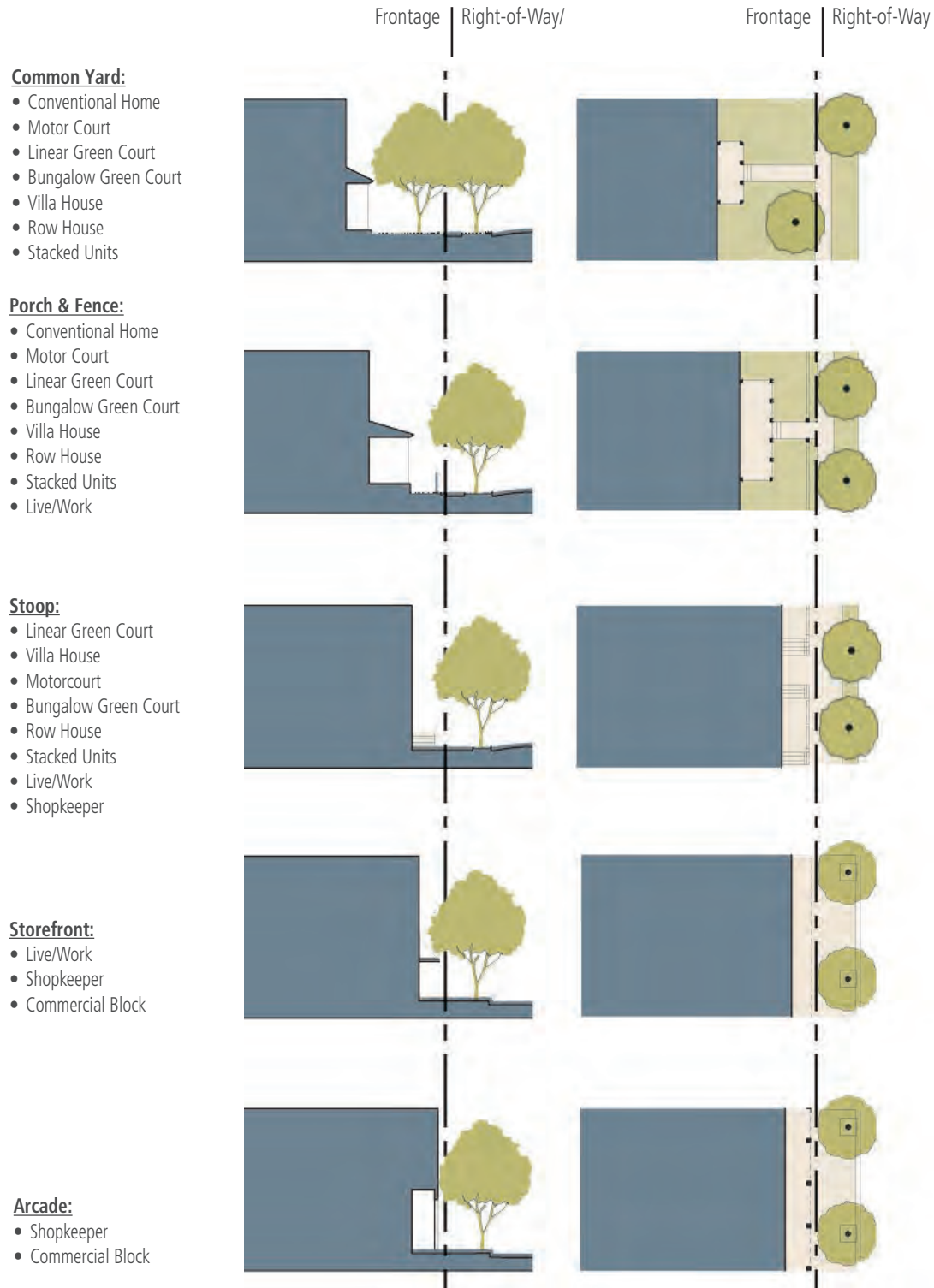
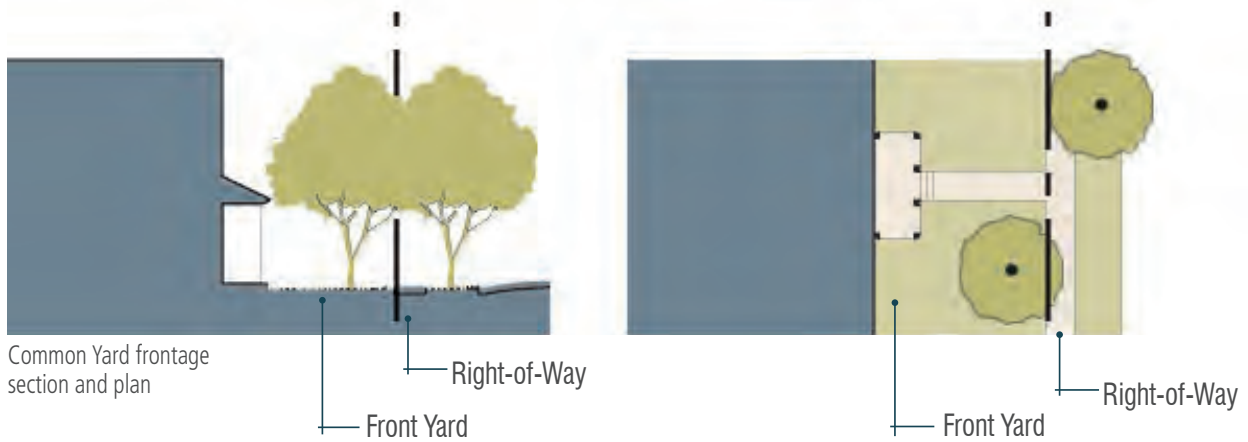


Exhibit 3.6 - Frontage Type Matrix



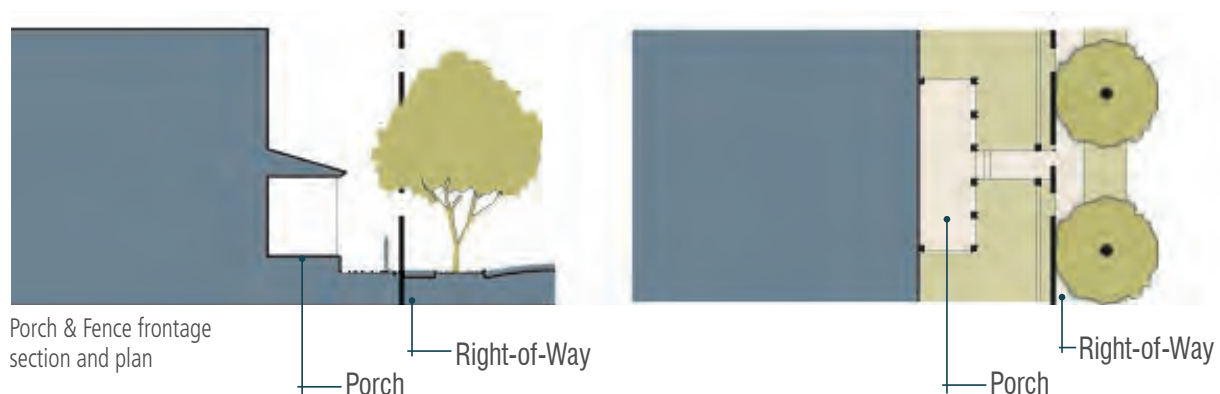
3.5.1 Common Yard

The Common Yard frontage consists of a landscaped setback between the façade and the right-of-way, creating an unfenced front yard that is visually continuous with adjacent yards. The setback provides a buffer from streets and visually supports an integrated neighborhood feel. This frontage is predominantly landscaped with limited pavement for pedestrian access and driveways.

1. A front porch is not required; however, a great variety of outdoor living space designs are possible
2. At least one pedestrian oriented feature shall be provided; this may include a balcony, trellis, portecochere, feature windows or similar design feature
3. Outdoor living space may be at grade or raised to transition into the building
4. Fences shall respect the front building setback requirements of the zone in which the frontage is applied
5. Building entries shall be covered



Common Yard examples



3.5.2 Porch & Fence

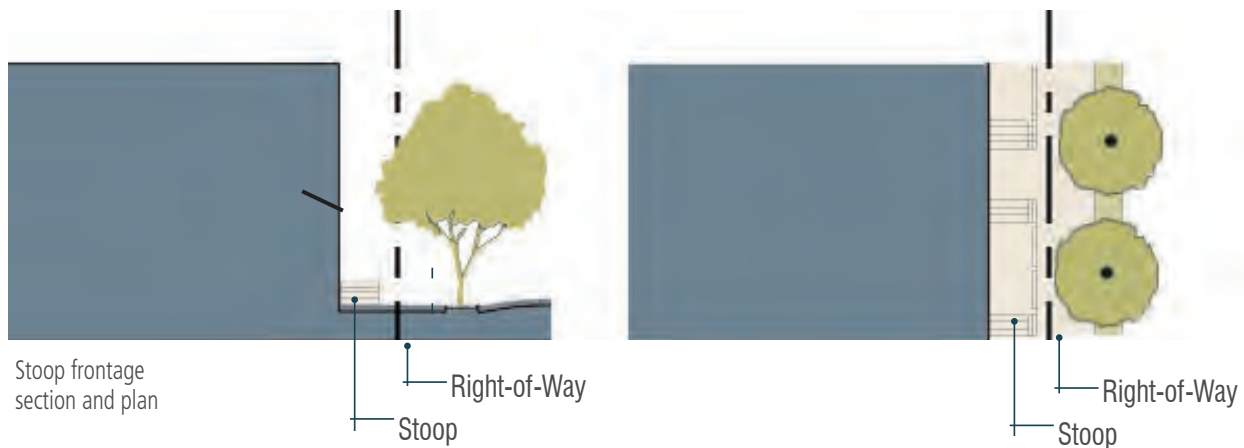
The Porch & Fence frontage consists of a landscaped frontage setback between the façade and the right-of-way and a porch, courtyard, or other outdoor living space that encroaches into the front yard. This frontage is predominantly landscaped with limited pavement for pedestrian access and driveways. An optional fence provides spatial street definition and a level of privacy. Porches provide single story massing along the streetscene and support neighborly interaction. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.

1. Porches and outdoor living spaces shall have a minimum dimension of 6 feet and a minimum area of 60 square feet
2. A great variety of porch and outdoor living space designs are possible; the chosen design shall reflect the architectural style of the home
3. Outdoor living spaces may be at grade or raised to transition into the building
4. Fences and retaining walls defining the front yard or courtyard shall not exceed 3 feet in height and shall not conflict with the functionality of water quality features.
5. Retaining walls and fences may be combined for a maximum front yard height of 6 feet but must be separated by a minimum of 3 horizontal feet
6. Fences and walls shall be setback a minimum of 3 feet from the back of sidewalk to provide area for the construction and maintenance of footings and allow for landscaping.



Porch and Fence examples





3.5.3 Stoop

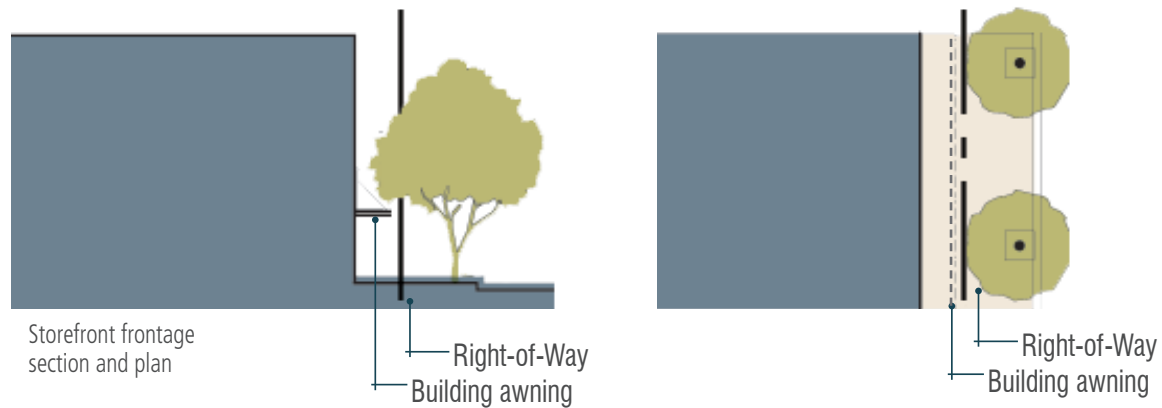
Stoop is a common frontage associated with attached residential configurations where the façade is aligned close to the right-of-way. The first story is typically elevated from the sidewalk to allow for greater privacy for windows. A covered landing or stoop at the top of stairs is used at the entrance to create individuality and identity for units.

1. Stoops shall correspond directly to the building entry and shall be at least 42 inches wide across the frontage and 42 inches deep
2. A fence or wall at the stoop (maximum height 42 inches) may be used to define private space
3. Stoops shall be covered or the front entry shall be recessed within the front facade
4. Stoops shall provide a minimum height of 24 inches above sidewalk to separate the stoop from the adjacent sidewalk and provide privacy for the home



Stoop frontage examples

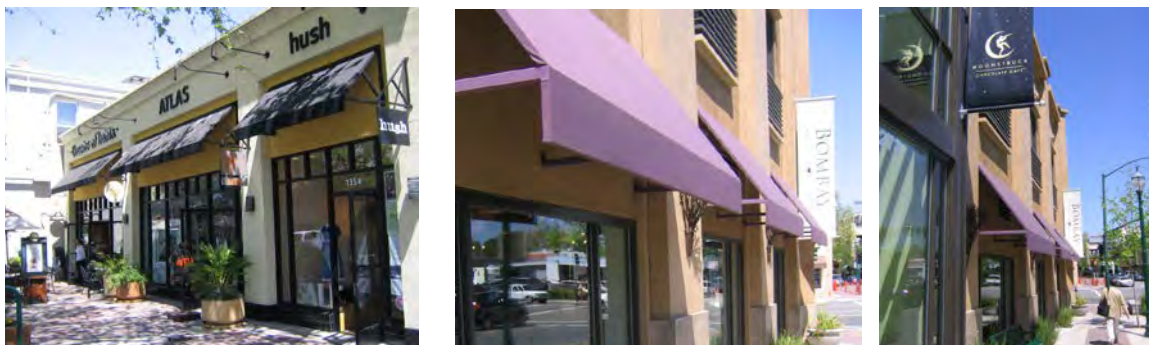




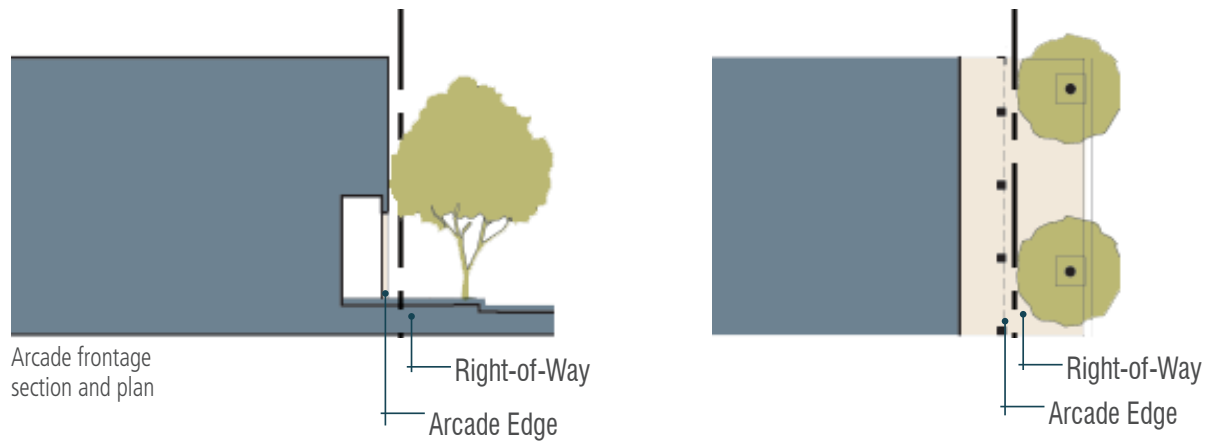
3.5.4 Storefront

Storefront is a common frontage used for retail and non-residential buildings fronting streets; however, it may also be used for attached residential configurations and is suitable for Live/Work and Shopkeeper. The facade is aligned relatively close to the property line with the building entrance at sidewalk grade, creating a strong interaction between the building facade and the public realm. The façade includes substantial glass at the sidewalk level and an awning, building overhang, or roof projection. This frontage is predominantly paved with limited landscaping in planters and and/or pots.

1. Awnings, building overhangs, or roof projections may encroach into minimum setbacks but shall not conflict with utility easements
2. Fencing or a low courtyard wall is permitted at the edge of the utility easement, between the facade and property line; fencing and walls shall not exceed 42 inches in height and shall be at least 50% open
3. The grade of the Storefront shall not be more or less than 12 inches from the adjacent right-of-way in sloped conditions; commercial entries shall be ADA compliant
4. Utilize glass at the ground level



Storefront frontage examples



3.5.5 Arcade

Arcade is a common frontage used for retail and non-residential buildings fronting streets; however, it may also be used for attached residential configurations and is suitable for Shopkeeper. The facade is aligned relatively close to the property line with the building entrance at sidewalk grade creating a strong interaction between the building facade and the public realm. The arcade provides a covered pedestrian space for seating and/or entry ways. The façade, located under the arcade, has substantial glazing at the sidewalk level. This frontage is predominantly paved with limited landscaping in planters and/or pots.

1. Fencing or a low courtyard wall is permitted at the property line or between the facade and property lines
2. Fencing and walls shall not exceed 42 inches in height
3. Fencing shall be at least 50% open
4. The grade of the arcade shall not be more or less than 12 vertical inches from the adjacent right-of-way in sloped conditions
5. Commercial entries shall be ADA compliant



Arcade frontage examples

3.6 PERFORMANCE STANDARDS

A. Equipment

1. For purposes of this SPA Plan, equipment shall be defined as antennas, satellite dishes, ham radio antennas, HVAC equipment, and all other mechanical or electrical devices not including solar panels
2. All equipment shall be operated and located so that they do not disturb the peace, quiet, and comfort of neighboring residents
3. All equipment shall be screened, shielded, and/or sound buffered from surrounding properties and streets
4. All ground mounted mechanical equipment, including HVAC units shall be completely screened from public view and surrounding properties by use of landscaping, walls, or fences, or shall be enclosed within a building
5. Structural and design plans for any screening required under the provisions of this section shall require site plan/architectural review
6. All roof appurtenances, including but not limited to air conditioning units and mechanical equipment, shall be shielded and architecturally screened from view of on-site parking areas and adjacent public streets and/or public areas
7. All equipment shall be installed and operated in accordance with all other applicable ordinances

B. Landscaping

1. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash, and debris
2. Landscaping requirements shall be met by either builder installation, developer installation, or through CC&R requirements that individual homeowners install their front yard landscaping within one year of occupancy
3. All landscaping shall comply with the Village 8 West Fire Protection Plan
4. The location of all ground mounted equipment shall be shown on the landscaping plans along with method of landscape screening
5. If any required landscaping is displaced by installation of utilities, the developer or property owner shall amend the landscape plans to require replacement of displaced landscaping
6. Street trees and landscaping that extend over public roadways and fire access roads shall maintain an unobstructed vertical clearance of 13'6" above the vehicle travel way
7. Landscaping shall also comply with CVMC 20.12, Landscape water conservations, and SPA Section 4.7, Landscape Design Guidelines

C. Utilities

1. All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed to public view except where required by the utility provider
2. Pad mounted transformers and/or meter box locations shall be included in the site plan with an appropriate screening treatment such as berms, walls, and/or landscaping as approved by each utility provider
3. Power lines and cables, except for temporary use, shall be installed underground
4. Utility vaults shall be placed within public rights-of-way to the greatest extent practical.
5. Underground utilities may be installed in common open space areas if they do not impact use of the open space area

D. Noise

All uses shall comply with the provisions of CVMC, Chapter 19.68, Performance standards and noise control. It shall also be noted that as a matter of practice, the City of Chula Vista also implements the noise compatibility guidelines and CNEL thresholds of the City of San Diego.

E. Energy Conservation

1. Buildings shall be located on the site to provide adjacent buildings with adequate solar access, when practical
2. Buildings shall be designed in accordance with the Village 8 West Non-renewable Energy Conservation Plan (Appendix C)
3. Buildings shall be designed to comply with the Village 8 West Air Quality Improvement Plan (Appendix B)

F. Parking, Loading, and Storage

1. No motorized or non-motorized vehicles shall be parked, stored, or kept in the front yard, except in the driveway or on a paved area adjacent to the driveway
2. No storage or display of vehicles for sale by a motor vehicle dealer is permitted in a residential driveway or on a residential street
3. Recreational vehicles (including campers, boats, and trailers) shall only be parked in designated areas that are fully screened from view of the public street
4. Loading activities shall be located and operated so that they do not disturb neighboring residents
5. Loading activities shall be located and operated so that they do not conflict with vehicle movements on public streets
6. Storage areas shall be screened from public view

G. Access

Reciprocal ingress and egress, circulation, and parking arrangements shall be required to facilitate the ease of vehicular movement between adjoining properties.

H. Common Facilities

1. Conveniently located common laundry facilities shall be provided for units which do not have individual hook-ups
2. Conveniently located and well-screened collective enclosures for trash and recyclables shall be provided for all dwelling units, unless provided for each unit
3. Mailbox kiosks shall be conveniently located and distributed pursuant to the requirements of the United States Postal Service

I. Hazardous Materials

Hazardous Materials shall be subject to Chula Vista Municipal Code 8.34.

J. Storm Water

All development shall be reviewed and required to conform to the Development and Redevelopment Projects Storm Water Management Standards/Requirements of the City of Chula Vista. Bio-retention areas located on private property shall be located within dedicated easements that allow the City to access and conduct inspections and restrict property owners from modifying the geometry and landscaping of these areas.

K. Air Quality

When siting sensitive land uses such as residences, schools, day care centers, playgrounds and medical facilities the recommendations set forth in Table 1-1 of California Air Resources Board's (CARB) Land Use and Air Quality Handbook (CARB 2005) will be used as a guideline. Specifically, new sensitive uses would not be located within 50 feet of any typical-sized gas station (one that has a throughput of less than 3.6 million gallons per year).

3.7 SIGN REGULATIONS

The purpose of these regulations is to establish a coordinated exterior signage program achieving a unified and cohesive overall appearance. Controlled way-finding and identity signage is a major factor in creating and preserving the character of Village 8 West. In addition to the requirements of this section, all signage shall comply with applicable portions of CVMC Sections 19.60.005-300, 19.60.500, and 19.600-930. In instances where these regulations conflict with the CVMC, the regulations contained herein shall take precedent.

Most signage will occur within the Town Center (TC) Zone but there will be a need for additional identifying signs on multi-family projects and any live/work locations. The signage design of the Town Center must be respectful of the surrounding area, yet have a distinctive character that reflects the mixed-use, urban environment. Signage within residential areas shall complement the adjacent architecture and surrounding neighborhood.

All signage shall require a sign permit, issued by the City of Chula Vista Development Services Department.

3.7.1 General Signage Requirements

High quality, imaginative, and innovative sign design is encouraged. Each sign shall be proportional in size and scale to its location and designed to integrate with the surrounding site architecture through the selection of location, materials, style, color, details, and elements. Signs shall be subordinate to the overall building composition. Sign copy or content shall be brief, utilizing logos and symbols where possible. Coordinated sign programs are required for multiple tenant sites. Signs shall be constructed of permanent exterior sign materials (except for awnings). Signs shall be non-moving, stationary structures in all components.

3.7.2 Major and Minor Identification

The purpose of identification signs is to identify places such as neighborhoods and districts as well as specific tenants. There are typically three (3) different types of signs utilized for identification:



Example of Pylon Sign

A. Freestanding Signs

Freestanding signs are typically used to identify an entire community, neighborhood, or site. Freestanding signs may be pylon or monument style. The sign structure shall be designed to incorporate similar architectural details, materials, and colors as the associated buildings or community.

The following apply to all Freestanding Signs:

1. Pylon signs are vertically oriented signs where the width of the sign panels shall not extend beyond the width of the architectural support elements. Single support (pole) signs are not allowed.
2. Monument signs are low profile signs where the sign width is mounted on the ground as a solid architectural element. Monument signs shall be designed with the width of the base of the sign equal to or more than the width of the sign face. They shall be located within a landscape area whenever possible and the signs shall be in proportion to the size of the area where they are located.

When used for major tenant identification in commercial areas, a single freestanding sign may display up to 6 individual tenant signs or 5 tenant signs and the name of the site along each street frontage. Individual tenant signs shall be uniform in size, with the exception made for a slightly larger site name or major tenant sign panel. The sign copy is the only part that is allowed to be illuminated.



Example of Monument Sign

B. Gateway Signs

Gateway signs are signs that span pedestrian or vehicle travel ways to announce entry into a special areas such as commercial districts, paseos, linear green courts, and shopping center entries. A minimum vertical clearance of 14 feet over vehicle travel ways and 10 feet over pedestrian travel ways is required. Gateway signs shall require an encroachment permit.



Example of Gateway Sign

C. Wall and Projecting Signs

Typically, projecting signs, awnings, and wall and window graphics are used to identify individual tenants. They are especially effective in areas of high pedestrian traffic.

1. Wall signs shall consist of individual letters attached to a building without visible supports or raceways. They shall be securely attached to the building while not obscuring the building ornamental features.
2. Projecting or blade signs shall be placed perpendicular to the first floor building wall with a minimum vertical clearance of eight feet. In an arcade situation, the sign shall be hung from the ceiling. One blade sign will be allowed per business along each street frontage. Illumination shall be limited to external (spot lights) or decorative (gooseneck, etc.) types. Projecting signs shall be securely attached to the building fascia or canopy with an attractive and decorative support.
3. Window signs are permanent signs placed directly on or behind the glass. Signage shall not cover more than 25% of the window area of each street frontage, excluding glass doors, or one square foot per one foot of frontage, whichever is less. One window sign is permitted per framed first floor window area of each street frontage. Illumination shall be limited to external (spot lights) or decorative (gooseneck, etc.) types.



Example of Wall Sign



Example of Projecting Sign

4. Awning signs are painted or printed directly onto a cloth, glass, or metal awning. Metal or glass awnings shall have a matte finish and fabric awnings shall be a solid color. Awnings shall be designed to project over doors and windows – not as a continuous feature extending over multiple windows, doors, and architectural piers. Shed style awnings without end panels are preferred. Limit signage awnings to business name, logo, and/or address numbers. Backlit awnings are not permitted.

3.7.3 Changeable Signage

The purpose of changeable signs is to identify uses, events, and activities that may change over time. All changeable signs shall also be required to obtain a sign permit. The following changeable signs are permitted:

A. Temporary Signs

Temporary signage is used to identify and direct traffic to special events or specific products during construction and sales periods. These signs will be subject to sign permit approval for specified periods of time. Types of temporary signs include product identification signs, secondary directional signs, future facility signs, and flags. Paper, cardboard, styrofoam, stickers, and decals are not acceptable forms of temporary signage.

B. Marquee Signs

Marquee signs are typically used to provide information about current showings or events for theaters, casinos, ticket outlets, live entertainment uses, schools, and community purpose facilities (CPF). These types of signs will only be allowed within the Town Center (TC) Zone or at school and CPF sites. Marquee signs may be manual or electronic.

C. Pageantry

Pageantry signage includes flags, kiosks, banners, and similar temporary or permanent (but changeable) elements. Pageantry signage is only permitted in the Town Center and shall be subject to approval of the Planning Director. The intent is to allow regular changes to the pageantry in terms of content for a variety of purposes including special events and other community information. Pageantry may be located within the right-of-way, within setbacks, or on private lots.

1. Pageantry shall not conflict with public sidewalks
2. Pageantry shall not include flashing, flickering, rotating or moving lights
3. Pageantry shall be limited to locations identified by the Master Developer
4. Signs located within the public right-of-way shall require an Master Encroachment Permit from the City of Chula Vista. The Master Encroachment Permit shall include a signage program which complies with C.V.M.C and SPA requirements. The program shall be managed by a responsible sign contractor and contain provisions for insurance, permit fees, bonds, and maintenance to the satisfaction of the Development Services Director.
5. Flags and banners are not permitted as permanent signage but can be approved on a temporary basis with a special event permit.



Directional Signage - Tenant Directory



Pageantry - Banners



Marquee Signage



Pageantry - Kiosk



Pageantry - Flags

3.7.4 Portable Signs

Portable signs, including A-frame (sandwich board) and T-frame signs, are moveable, non-illuminated signs that are not attached to a structure or the ground and are used to advertise the location, goods, or services offered by an adjacent business. A Temporary sign permit is required for any portable sign.

Portable signs on private property shall comply with the following standards:

1. Portable signs are not permitted outside the Town Center
2. Only one portable sign shall be permitted for each storefront within the Town Center
3. Portable signs shall not exceed 4 square feet per side and shall not exceed 3 feet in height
4. Portable signs shall be located directly in front of the establishment it identifies and within ten (10) feet of the primary entrance; exceptions may be granted by the Zoning Administrator or his/her designee if warranted due to physical conditions of the site
5. Portable signs may only be placed outside during the hours of the establishments operation
6. Portable signs may be placed within front setbacks but shall not conflict with sidewalks, pathways, or trails; on-street parking; handicap accessible pathways; vehicle travel ways; or building entrances, exits, and fire escapes; signs shall not be placed in center medians
7. Portable signs shall not interfere with the sight distance of traffic passing the site, pursuant to the determination of the City Engineer.
8. The design theme (color, fixed lettering style, font, symbols, and materials) shall be compatible with the establishment's main identification sign
9. Signs shall be constructed of durable, rigid material such as wood, plastic, metal, or similar material and shall be stable and windproof
10. Signs shall be freestanding and shall not be affixed or secured in any way to other objects such as parking meters, trees, fire hydrants, railings, or other structures.

Temporary portable signs in the public rights-of-way shall comply with CVMC 12.50 "Temporary placement of signs in designated portions of the public rights-of-way."

This section does not apply to real-estate open house signs, which shall be subject to the requirements of CVMC Section 19.60.600, Specialty signs.

3.7.5 Directional Signage

Directional signs are used to guide visitors to specific destinations within a site such as parking or loading zones, individual tenants, etc. The project name may be located on the sign, but subordinate to the directional components. Vehicular directional signs shall have no more than 6 listings with arrows. All parking garages that serve more than 1 business or residential unit shall have illuminated signs identifying entrances.



Directional Signage

3.7.6 Illumination of Signs

Limit the use of illuminated signs. Preferred lighting types are as follows:

1. External or projected light source (spot light, pendant light, gooseneck)
2. Individual letters with internal illumination or back lighting (channel letter, reverse channel letter)
3. Cabinet or 'can' type signs with interior illumination will only be allowed if the face panels are opaque with a flat (as opposed to glossy or reflective) finish and it is part of a freestanding sign
4. Only constant, non-flashing lighting shall be allowed
5. Exposed neon is permitted for themed restaurants and other entertainment uses only and shall not be visible from outside the Town Center.
6. Sign conduits, transformers, junction boxes, etc. must be concealed from view



Gooseneck Lighting

3.8 SHARED PARKING

Minimum parking requirements for each non-residential use shall be as provided in accordance with CVMC Section 19.62.050 except that parking requirements may be determined by a Shared Parking Study and implemented through a Reciprocal Use Agreement. A Shared Parking Study shall be processed through an Administrative Conditional Use Permit and Site Plan and an Architectural approval, as required pursuant to Chapter 9, Implementation and Administration, for future non-residential development within the TC Zone. At that time, the exact number of parking spaces will be determined by the specific mix of uses and the parking ratios submitted as part of the Shared Parking Study. Shared parking may include non-residential uses located between adjacent properties, districts and/or zones.

3.8.1 Shared Parking Study Process

The Shared Parking Study will determine the minimum number of required parking spaces. This process shall be as follows:

1. Determine the square footage of each use, the number of employees, and/or other quantifiable factors.
2. Select the unadjusted parking demand for each use. The unadjusted parking demand is the base parking demand if each site was developed independently from each other. The demands shall be segmented by use and into 2 categories, weekday and weekend.
3. The scenario of weekday or weekend that requires the highest parking demand shall be used in determining the minimum number of required parking spaces that may be satisfied within the combination of surface lots, structure(s), or on-street.

3.8.2 Shared Parking Study Implementation

1. Once the Shared Parking Study has been approved, no new Shared Parking Study shall be required so long as there is no change of use that would alter the assumptions in the approved Shared Parking Study, and the developed square footage is not increased. When the square footage is increased above what was previously approved in accordance with the Administrative Conditional Use Permit process, or there is a proposed change in the aggregated assumed land uses previously analyzed (i.e. a retail use is proposed to be converted to office), a new Shared Parking Study shall be processed.
2. The approved Shared Parking Study shall be implemented through a Reciprocal Use Agreement that will run with the land.

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Chapter 4

Community Design



4 - Community Design



4.1 INTRODUCTION

This chapter is intended to establish an overall design vision for Village 8 West. These guidelines are not meant to be overly restrictive but rather provide design fundamentals that shall be considered in any design and may be creatively applied in a wide range of design solutions. Each guideline shall be considered within the context of the building configuration, the chosen architectural style of the building, the style and configuration of surrounding buildings, the overall village identity and character, and the identity and character of surrounding villages. Guidelines shall not be strictly applied to all proposed buildings as long as the overall design intent is clearly achieved. All development proposals shall be reviewed in accordance with Chapter 9.

4.1.1 Community Character

Village 8 West's character is inspired by contemporary European architecture and the sociability of European villages. Incorporating spaces for gathering, playing or sitting quietly into the built environment allows for an all-encompassing experience that attracts people-presence. To further encourage activity, designing in a pedestrian scale that is safe and comfortable to walk within, contributes to the Town Center character and the pedestrian-oriented community principle. To avoid monotonous architectural appearances, building elevations shall be varied and may include other styles that capture the unique aesthetic of Village 8 West. This eclectic yet cohesive mix of buildings will be unified through a common design theme expressed in landscaping and community elements such as walls, fences, lighting, and street furniture to create a walkable, bicycle friendly community focused on a pedestrian-oriented Town Center.

The Town Center will serve as the heart of Village 8 West. Buildings in the Town Center will be four stories or less

in height with minimal setbacks to create a well defined street edge and intimate pedestrian courtyard spaces. Parking will be located in on-street parallel parking lanes, within parking structures, or within lots that have been screened from the street by buildings, walls, or landscaping. A centralized public park or town square will create a focal point for the Town Center and provide a location for community gatherings and events. Ground floor units along primary retail corridors (Main Street and Otay Valley Road) are envisioned to be predominantly commercial in use and pedestrian oriented. Such uses might include retail shops, restaurants, sidewalk cafes, coffee shops, dry cleaners, grocery stores, small offices, live/work offices, and similar uses. Offices and residential uses will occupy the floors above. These interchangeable mixed-use components will create a 24-hour activity center for the community, ensuring a safe, healthy, and vibrant heart for the community. The intent is to create an urban character that relates to pedestrians and activates the public street.

Outside the Town Center, residential neighborhoods will reflect traditional Chula Vista neighborhoods. The hierarchy of development intensity will reinforce the importance of the Town Center as the heart of the community by gradually decreasing densities, architectural massing, and building heights while increasing street setbacks and front yard landscaping as development extends away from the Town Center towards natural open space and preserve areas. Design of these neighborhoods will also transition from more uniform architecture and landscaping of the attached residential neighborhoods immediately adjacent to the Town Center to more eclectic architecture and landscaping in single family neighborhoods at the southerly edges of the village.

4.1.2 Guiding Principles for Village Design

The following guiding principles reinforce Village 8 West's character and identity, create a strongly identifiable urban town center, and unify the community as a whole, while highlighting the hierarchy of development intensity through community design:

1. Establish the Town Center as the "heart" of the community.
2. Define entries and corridors to identify the village and orient people to and within the community.
3. Use landscaping and common community elements to establish a unified village character.
4. Reinforce the gradual transition from natural open space areas to the Town Center through gradual variation in development and design intensity.
5. Create highly desirable neighborhoods that are an asset to Otay Ranch and the City of Chula Vista.
6. Provide a significant amount of housing choices that are livable, sustainable, affordable, and attractive to existing and future Chula Vista residents.
7. Reflect the history, values, lifestyle, and character of the City of Chula Vista and San Diego County.
8. Adopt planning and design standards that provide flexibility while ensuring quality and superior design.
9. Provide architecture that recognizes, complements, and enhances the overall fabric of the existing Otay Ranch Community.
10. Establish a design character for each neighborhood that expresses continuity, individuality, and compatibility.
11. Strive to remain true to the authentic architectural style through massing, colors, materials, detailing, and roof forms within cost and market realities.
12. Create simple building designs that result in efficient use of space, materials, and resources while maintaining a high level of design integrity and authentic architectural style.

4.2 VILLAGE IDENTITY CONCEPT

A unified village identity will be established through the use of landscaping and various community elements. The location and design of these elements will provide the following:

1. Village identification through the use of enhanced entry landscaping or monuments.
2. Orientation within the community through corridor design and landform character.
3. A common design character expressed through the use of community elements with similar style such as lighting, walls, fences, and street furniture.

4.2.1 Entries

A large part of the village design theme will be established through the landscape design of the major entry points. Primary entries will identify the core village areas while the secondary entries will be used to identify the village boundaries in residential areas. Entry monumentation will be provided by the master builder. The approximate location of these entries is depicted in Exhibit 4.1 - Entryway and Identity Plan. A conceptual design for these monuments is provided as Exhibit 4.2 - Conceptual Entry Monument Design. The final design for entry monuments shall be determined by the Village 8 West Landscape Master Plan (See Section 9.3.6).

4.2.2 Corridors



Corridors will also play a key role in establishing the village design theme. Corridors will be defined through the landscape palette and design themes identified by the roadway standards in Chapter 5, Circulation & Corridor Design, through the placement and types of buildings as regulated by Chapter 3, Development Code, and through the landscape and architectural design of individual parcels as described in this chapter. Each roadway corridor will have an identifiable landscape theme consistent with its location within the transect. Corridors will be further enhanced and unified by lighting, walls, fencing, and street furniture that share a unified theme throughout the village. Architectural and landscape design of individual parcels will add diversity and interest while maintaining consistent, high quality design appropriate to the transect. These elements will work together to create superior street scenes that encourage pedestrian activity and a strong village identity.

4.2.3 Landform

From a design perspective, landform provides orientation and character to the various areas throughout the community. In the Town Center, grading consists of stepped pads to allow for high intensity mixed-use development. As one moves away from the Town Center towards the edges of the village and the MSCP Preserve, landform becomes more organic and natural. This hierarchy of grading, as described in Chapter 6, Grading, supports the transect by allowing a gradual and appropriate transition from natural areas of the village, to the more intense Town Center. Planting shall be used to break up views of steep manufactured slopes. Large trees and shrubs shall be clustered to partially screen or break up large slope areas.



Legend

-  Primary Entry Monument
-  Secondary Entry Monument

Note: Location to be confirmed by Village 8 West Landscape Master Plan



Exhibit 4.1 - Entryway and Identity Plan

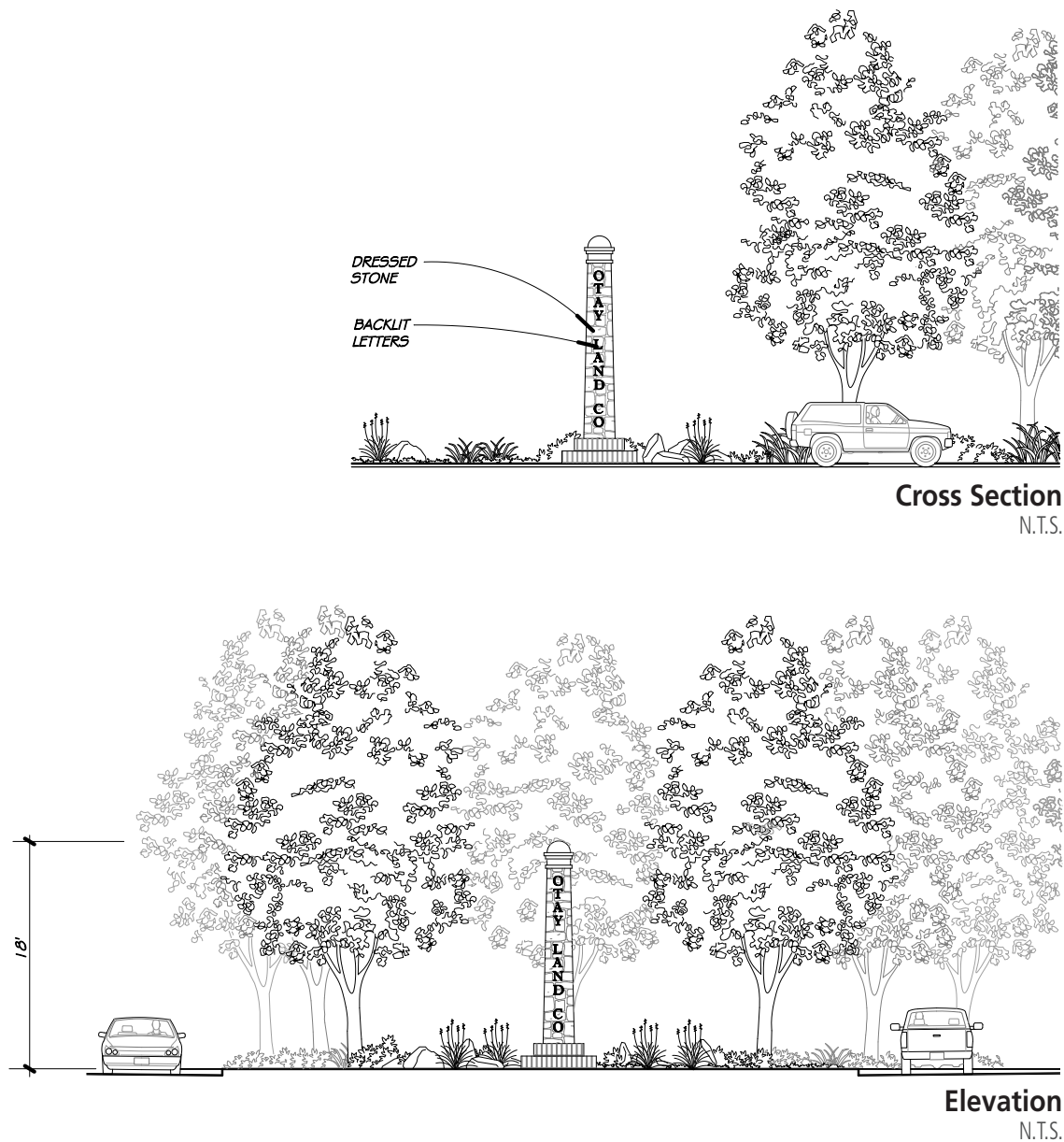


Exhibit 4.2 - Conceptual Entry Monument Design

4.2.4 Walls and Fencing

As one of the most visible elements of community character and theme, walls and fencing provide design continuity to all corners of the village. They are an important streetscape element and unify the various architectural styles and densities throughout the village. As seen on Exhibit 4.7 - Wall and Fence Plan, there will be several types of fencing. Fencing for individual planning areas is not specified by Exhibit 4.7 because the placement of such fences will be a design detail for each individual planning area's site plan.

Each type of fence serves a particular purpose, including security, identity, enclosure, privacy, etc.

1. Front Yard Fence or Wall - A Front Yard Fence or Wall is a low fence or wall used to define the streetscape edge and create secure front yard space. Refer to Section 3.5.2, Porch and Fence, for design requirements.
2. View Fence - A View Fence, as illustrated in Exhibit 4.3 - Typical View Fence, is used where a physical barrier is needed, but community character and views need to be preserved. Fencing materials shall be tubular steel or tempered glass.
3. Partial View Fence - A Partial View Fence, as illustrated in Exhibit 4.4 - Typical Partial View Fence, is used where views are desirable but some screening is needed. The top portion of the fence is open, consisting of tubular steel or tempered glass. The bottom portion of the fence consist of solid fencing materials such as slump block masonry or wood (where allowed by the Fire Marshall).

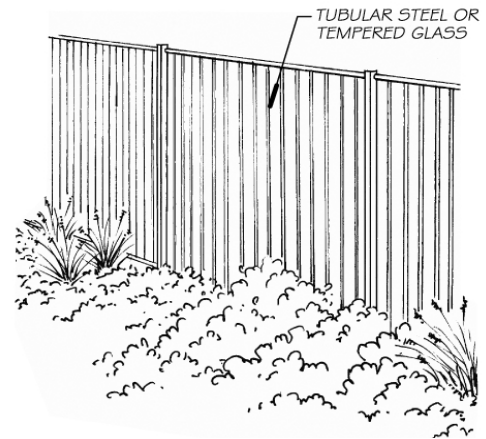


Exhibit 4.3 - Typical View Fence

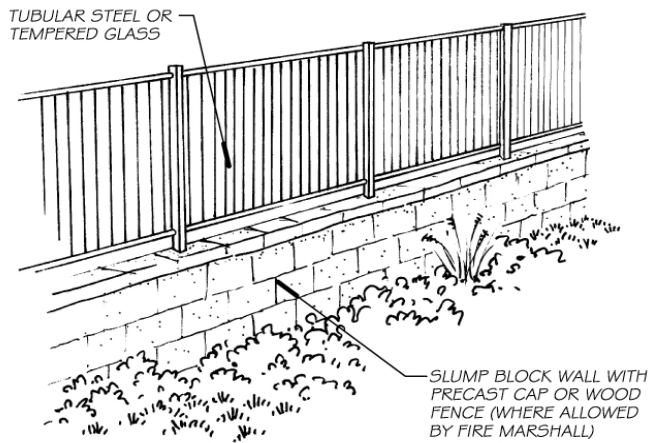


Exhibit 4.4 - Typical Partial View Fence

4. Solid Theme Fence/Wall - The Solid Theme Fence/Wall, as illustrated in Exhibit 4.5 - Typical Solid Theme Fence/Wall, is used where visual privacy or screening is needed, but where high noise levels are not a factor. Solid theme fencing/wall materials shall consist of slump block masonry or wood (where allowed by the Fire Marshall). Wood fences are not permitted in single family detached open space lots or adjacent to the T-1 transect.

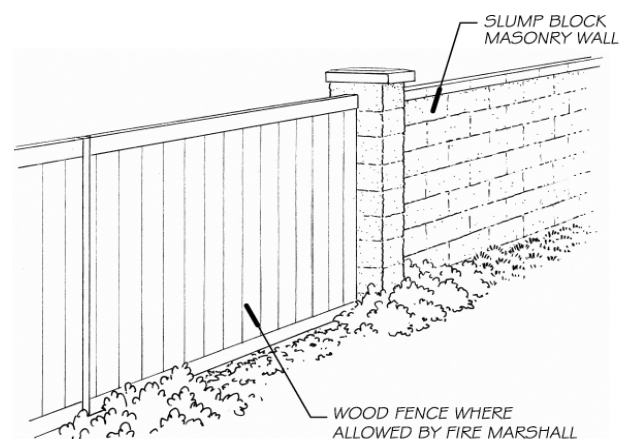


Exhibit 4.5 - Typical Solid Theme Fence/Wall

5. Sound Attenuation Walls (Only as required) - Sound Attenuation Walls as illustrated in Exhibit 4.6- Typical Sound Attenuation Wall, shall be limited to the greatest extent feasible and shall only be used when no other method or combination of method(s) will sufficiently mitigate noise as required by an acoustical study. Sound Attenuation Walls consist of masonry wall and shall be screened with landscape, enhanced with decorative material application, or otherwise designed to improve their aesthetic impact on public views, increase long-term durability, and discourage graffiti.

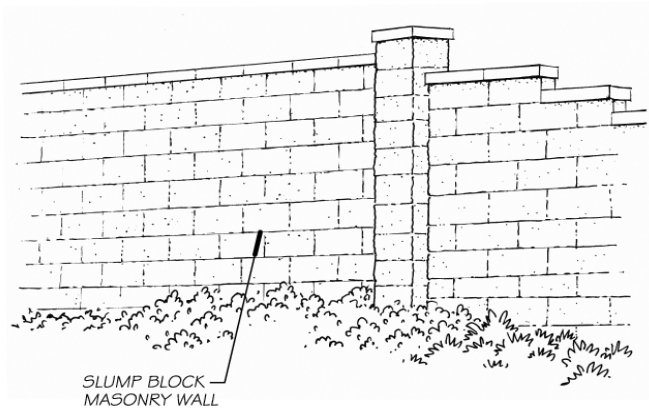


Exhibit 4.6 - Typical Sound Attenuation Wall

6. Trail and Open Space Fencing: Fencing along pedestrian trails and along the preserve/urban interface shall consist of lodge pole railing in accordance with the Village 8 West Preserve Edge Plan (Appendix D).

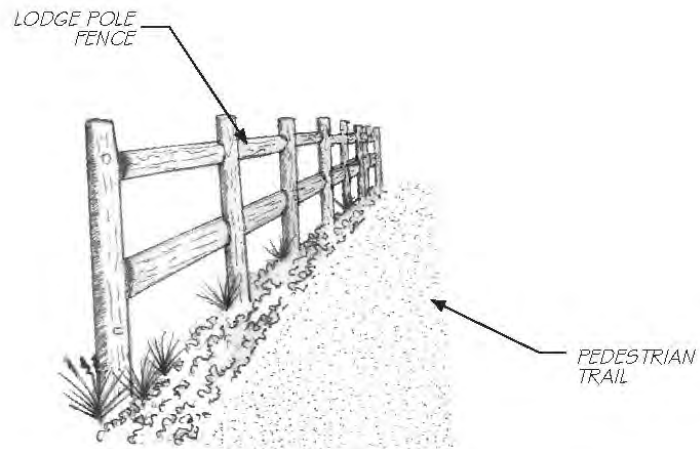


Exhibit 4.7 - Typical Trail and Open Space Fence

Residential areas adjacent to open space are encouraged to use view fencing or partial view fencing along the open space boundary. Long, continuous runs of fencing may be broken up with pilasters, jogs in the fence line, varying heights and materials, and/or landscaping.

Preferred height for side-yard and rear-yard fencing is 5.5 feet. The addition of a conventional fence on top of a retaining wall can result in a combined wall height that is not desirable and is generally discouraged. Fences and walls should be setback a minimum of 3 feet from the back of sidewalk to provide area for construction and maintenance of footings and allow for landscaping.

All publicly visible walls and fences within the SPA shall be of similar design, material, and color as determined by the Village 8 West Landscape Master Plan.

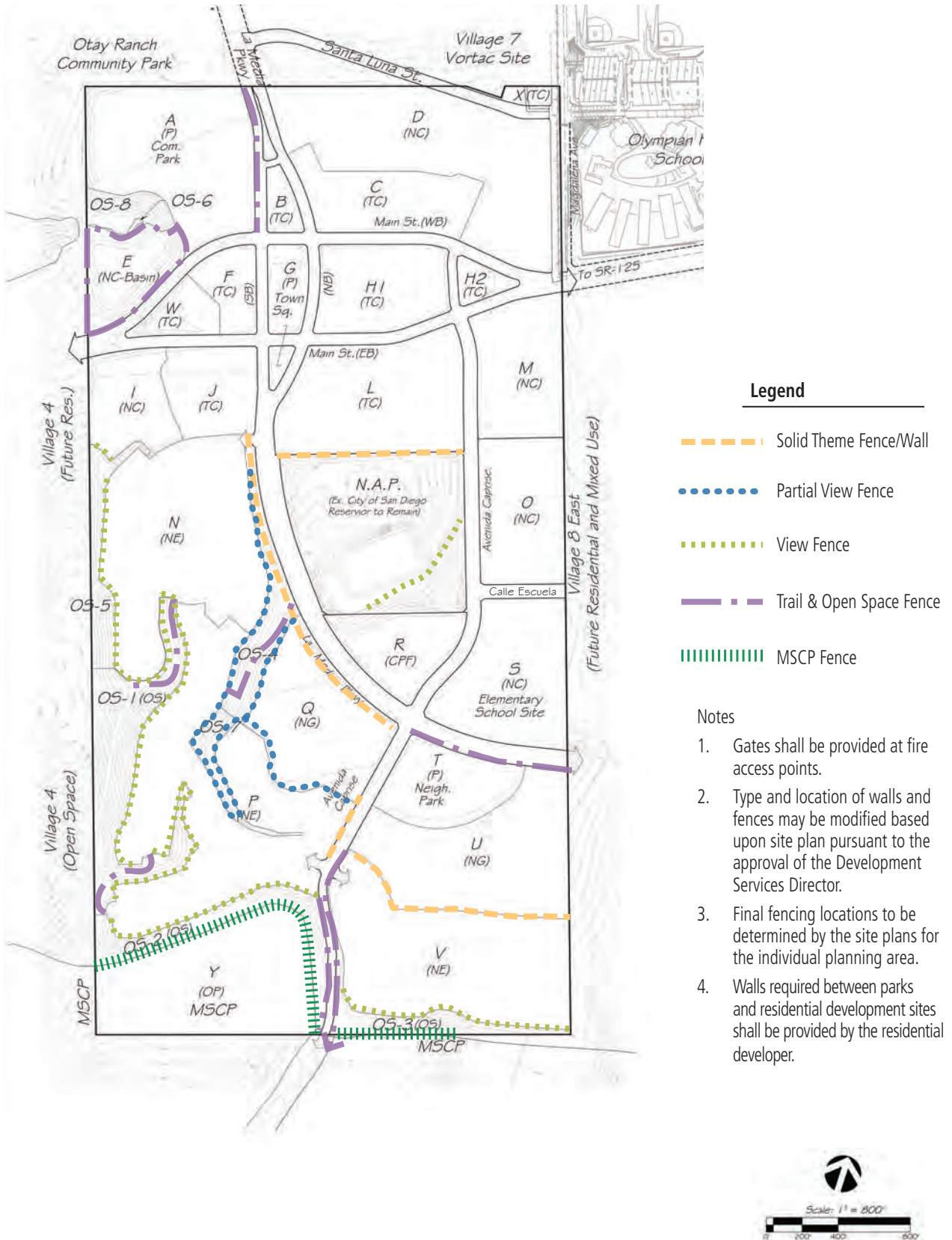


Exhibit 4.8 - Wall and Fence Plan

4.2.5 Community Lighting

A variety of lighting treatments provide adequate nighttime lighting of public spaces including streets, buildings, parking areas, and landscape areas. Lighting plans shall be provided as part of each Design Review application and shall at a minimum, describe the location, type, height, and required shielding to minimize impacts to adjacent properties. Four basic principals shall be considered:

1. Promote public safety
2. Reduce or eliminate light pollution
3. Minimize energy use
4. Provide appropriate fixture style and scale for the different uses and the village character

Lighting should be used to provide illumination for security and safety of on-site areas such as entries, parking, loading, shipping and receiving, pathways and working areas. Lighting can also be used to deter graffiti (CVMC 9.20.055). All street lighting shall meet or exceed the City of Chula Vista standards or an approved theme lighting program and shall be approved by the City Engineer.

Building illumination should be directed and concealed from view. Indirect wall lighting, wall “washing” from concealed fixtures, and landscape lighting is encouraged, provided it is subtle and not overly bright. All exterior lighting shall be selective and shielded to confine light within the site and prevent glare onto adjacent properties or street (CVMC 19.66.100). Energy efficient fixtures and bulbs are encouraged.

Lighting for community facilities and recreation areas will be considered during Site Plan Review. Any such lighting that will illuminate a residential area past the hour of 10:00 p.m. shall be clearly identified on the site plan. Lighting in the Town Center will be considered as part of the Town Center Master Precise Plan.

Beyond these functional considerations, the design of light fixtures and their structural support should be architecturally compatible with main structures and shall support and enhance the village character. The size and scale of fixtures shall depend on the intended use. For instance, major arterial streets such as Main Street, will be lit with the City standard street lights on tall concrete poles, while pedestrian areas such as plazas and pathways will be lit with luminaires chosen for their human scale and aesthetics.

4.2.6 Street Furniture

Street furniture includes all of the various objects generally found adjacent to the street such as mailboxes, benches, trash receptacles, bus shelters, bike racks, and similar elements. Several methods shall be used to reduce visual clutter, eliminate location conflicts, and enhance the community theme:

1. Select furniture from a community list established by the master developer and approved by the City Engineer to ensure a consistent style and theme
2. Utilize compatible color, style, and materials for each item in the community
3. Locate furniture so as not to conflict with public utilities and pedestrian pathways
4. Consider furniture in the context of other design elements such as paving and landscaping
5. Locate furniture in locations that are safe and convenient for pedestrians, bicyclists, and nearby uses
6. The location and design of street furniture shall be shown on the Landscape Master Plan, Town Center Master Precise Plan, and the Site Plan for individual parcels for design review. Locations shall be approved by the City Engineer

4.3 TOWN CENTER DESIGN GUIDELINES

The unique urban, mixed-use character of Town Center requires special consideration as described in following design guidelines. The Town Center will consist of a combination of the following mixed use, commercial, and high density residential buildings that define the street and other public spaces to create a vibrant 24-hour pedestrian environment:

1. Rowhouse
2. Stacked Units
3. Live/Work
4. Shopkeeper
5. Commercial Block
6. Neighborhood Recreation
7. Community Purpose Facility
8. Innovative



Key Map
(N.T.S.)

Refer to Chapter 3 - Development Code for design requirements specific to each of the above building configurations. A Master Precise Plan, as described in Section 9.3.7, shall be approved prior to approval of any design review application in the Town Center.

4.3.1 The Town Center Concept

The Town Center concept is the most critical component in implementing Village 8 West's identity. In order to achieve a vibrant, walkable community, residents must have opportunities to shop, work, and enjoy entertainment and services within close proximity of their homes. The Town Center provides a location for these activities to occur by allowing a mix of retail, office, and residential uses in an urban environment. Successful retail and entertainment uses require significant pedestrian activity to ensure long-term economic viability. In a pedestrian scaled urban environment, buildings play the primary role in defining pedestrian spaces including sidewalks, plazas, and courtyards. Fostering pedestrian activity along interior circulation corridors is critical to the interactive, urban nature of the Town Center. Interior circulation corridors, including major commercial streets and pedestrian pathways are a major setting for daily living within the community. These outdoor mixed-use settings shall provide a comfortable, pedestrian atmosphere and activate the overall streetscene for aesthetic, pedestrian, and commercial interest.

4.3.2 Town Center Design Fundamentals

Characteristics contributing to a successful mixed-use district include the following:

1. Buildings define the street edge, public plazas, and pedestrian spaces to create quality pedestrian environments and opportunities for seating, dining, and social gathering.
2. Facades include variety and spontaneity that activate the pedestrian experience.
3. Building entries and common areas remain the primary emphasis of the public street elevation while parking is located to the side and rear of buildings to minimize the visual impact of parking lots on the public streetscape.
4. Building and site design anticipates and accommodates pedestrian and vehicle circulation to reduce traffic impacts on neighboring streets and jointly optimize pedestrians and vehicles.
5. Individual entries for offices and shops appropriately define each interior unit to create individuality and uniqueness.
6. Building mass and differentiation of roof forms, materials, color, and apparent floor heights reduce building bulk and create variety within the building façade.
7. Enhanced architecture on all four sides conveys high quality design.
8. Building and site design promote connections between indoor and outdoor spaces
9. Massing and architectural elements define street corners and primary building entries.



Example of Outdoor Dining

4.3.3 Site Planning and Building Placement

The dynamic mixed-use character of the Town Center will be established by the site design and placement of high-density residential, commercial, and mixed-use buildings that form the streetscape, define pedestrian pathways, and establish urban spaces:

1. Arrange buildings to create a variety of outdoor pedestrian spaces including paseos, courtyards, plazas, squares, eating areas, arcades and/or usable open spaces.
2. Site buildings to create a unified, pedestrian-activated, business promenade and to define and scale the streetscene.
3. Orient buildings toward public streets, pedestrian pathways and/or active spaces.
4. Design open areas that are large enough to be usable, however, not so large that they appear empty or barren.
5. Provide architectural treatments, structures, and/or landscaping that shelters pedestrian walkways, such as arbors or pergolas where appropriate.
6. Design pedestrian and vehicular circulation routes that are intuitive, well-defined and easily discernible for appropriate and functional maneuverability and activity levels.
7. Provide well-planned pedestrian linkages that are as direct as possible between key sites such as the community park, schools, the CPF site, transit stops, and the Town Square that support walkability and the economic viability of the Town Center.

Variety in type and form between buildings will foster the vertical and horizontal mixed-use nature of the Town Center to provide a range of retail, office, commercial, and neighborhood serving uses. The physical and visual integration of varied buildings will activate the urban, mixed-use character of the Town Center.



Example of buildings defining a paseo with outdoor seating



Example of buildings defining the street edge to create a quality pedestrian environment

4.3.4 Building Form and Relief

Architectural forms and features greatly effect how light strikes and frames the building, having a large impact on how the space is perceived in the pedestrian environment. The following elements shall be considered to facilitate and create dynamic interrelations of light, depth, and place along the streetscape and within other pedestrian spaces:

1. Buildings that include courtyards, arcades, and other usable pedestrian spaces are encouraged.
2. Provide pedestrian paseos or sidewalks, where feasible, on each block to connect parking areas to the street/ commercial frontage.
3. Design building forms to be aesthetically pleasing and well-proportioned, resulting in a balanced composition of elements along public streets.
4. Layer wall planes and volumes to provide a rhythm of dynamic building forms and shadows.
5. Provide massing elements at major corners, project entries, building entries, pedestrian nodes, or major intersections.
6. Provide at least 2 of the following elements along publicly visible frontages to provide architectural relief:
 - a. Planter walls
 - b. Seating opportunities
 - c. Accent or festive lighting
 - d. Focal objects (water, murals, sculpture, topiary)
 - e. Outdoor dining spaces
 - f. Awnings
 - g. Building overhangs
 - h. Bay windows
 - i. Openings and entry ways



Massing elements at corners



Example of awnings openings, and overhangs used to provide architectural relief

4.3.5 Roof Considerations

Roofs greatly affect how a building is perceived from a distance. The following elements shall be considered to create appropriate roof forms:

1. Design roofs for functionality while enhancing or complementing the overall architectural design of the building.
2. Integrate form, materials, fascia and/or cornice elements into the overall design vocabulary.
3. When used, create contiguous parapets and incorporate them into side/rear elevation returns.
4. Use roof forms to screen mechanical equipment whenever possible.
5. Encourage the use of cool roofs, photovoltaics, or other energy saving materials and features.



Example of vertical roof breaks, color and material changes, wall plane projections, and architectural elements to create interest and distinguish individual units

4.3.6 Façade Treatment

Next to massing, façade treatments are the most important factor affecting how space is perceived in the pedestrian environment. The following shall be considered to facilitate the creation of interesting and attractive façade treatments:

1. Articulate buildings and/or provide architectural detailing along public streets to enhance pedestrian scaling and visual interest along the streetscape.
2. Avoid monolithic buildings of singular form, height, wall plane, or materials visible to the public to the greatest extent possible. When buildings of a single form and height are used, articulate the building with layered wall planes, banding, architectural details, and/or materials.
3. Use projections, overhangs, recesses, banding, and other architectural details to provide shadow, articulation, and scale to building elevations as appropriate to the architectural style.
4. Avoid identical architectural appearance or use of the same materials or color palette in the design of adjacent mixed-use buildings, unless mirrored architecture is an integral feature of the project design vocabulary.

5. Incorporate at least 2 of the following techniques in the design of façades to enhance building architecture and reduce overall mass:
 - a. Color change/color variation
 - b. At least 2 different exterior materials
 - c. Change in texture
 - d. Vertical/horizontal wall plane projections/recesses
 - e. Variation of roofline (height or form)
 - f. Architectural elements significantly different from main building in mass or height
 - g. Projections
 - h. Balconies
 - i. Window groupings or treatment
6. Express a unified design for all elevations of a single building visible from a public street or pedestrian space; however, elements and materials are not required to wrap the building on elevations that are not visible to the public.
7. Orient major building and tenant entries toward the main pedestrian frontage whenever possible.
8. Enhance entries through massing, articulation, architectural design elements, and/or signage.
9. Where appropriate, utilize glass at the ground level.

4.3.7 Parking Lots and Structure

Convenient and accessible parking is an important factor ensuring the success of retail uses within the Town Center. A pedestrian-friendly Town Center must provide adequate parking. This requires distributing parking efficiently and reducing the impact of large parking areas on the public streetscape. The following guidelines shall be considered in the design of parking lots and structures in the Town Center:

1. Provide parking in surface lots, parking structures, below grade parking garages, podium parking or any combination of these. Above ground structures shall be subject to design review.
2. Establish a shared parking district for commercial uses that allows required parking to be provided off site, considers shared parking for uses with different peak periods, and accounts for available on-street parking in order to reduce the parking footprint within the Town Center. All parking agreements shall be subject to review and approval by the Development Services Director.
3. Locate surface parking lots, podium parking, and above-ground structured parking behind or to the side of buildings to reduce their frontage on the public street.
4. Avoid designing surface parking lots that exceed 100 feet in length along the public street frontage (Except for temporary surface lots on vacant sites slated for future development).
5. Subterranean parking garages that encroach into public rights-of-way are subject to City Engineer approval and shall require an encroachment permit and enhanced street construction and utility coordination.
6. Entries into parking lots and structures shall be designed to be convenient and easy to find through location and/or signage.

7. Adequate vehicle stacking distance at entrances to paid or gated parking facilities shall be provided to reduce traffic impacts on public streets. Maximum driveway width along public streets is 24 feet.
8. When provided, design above-ground structured parking and podium parking to provide a pedestrian interface with the street. This can be achieved by one or more of the following techniques:
 - a. Include retail spaces on the ground floor of the parking structure.
 - b. Wrap the structure with commercial or residential living space on the most prominent street interfaces.
 - c. Create a pedestrian entry space that provides access to pay stations, elevators, and stairwells.
 - d. Provide attractive landscape screening or walls with architectural detailing, enhanced materials at the ground floor, or vertical planted screen devices.

4.3.8 Mechanical Equipment, Service, Waste, and Utility Areas

Due to the strong emphasis on pedestrian activity within the Town Center, location and screening of unsightly service and utility areas is critical to ensuring the creation of a comfortable, pedestrian atmosphere. The following shall be considered in the location and design of mechanical equipment, utilities, service and loading areas, and waste collection facilities:

1. Provide appropriate loading and service areas for each building/tenant.
2. Locate above-ground equipment, outdoor storage, trash/recycling storage, and loading and service areas on lanes, to the side or rear of the building, or within parking areas or structures. The precise location of any and trash/recycling storage area(s) shall be approved on the site plan.
3. Shield loading, service, and storage areas with walls, berms, or landscaping to limit visibility from public streets or pedestrian spaces.
4. Integrate screening of mechanical equipment, waste enclosures, service areas, and other service-oriented building necessities into the site and building design.
5. Incorporate similar colors and materials as the principal building into the design of the screening, enclosures, and/or service buildings.
6. Locate waste containers away from public rights-of-way, building entries, and pedestrian spaces and screen from public view.
7. Screen all roof-mounted equipment with parapets, screen walls, fencing, equipment wells, structural enclosures, or similar features.
8. Install exterior, on-site utilities underground, where feasible. For utilities required to be above ground, screen and incorporate into the landscaping to the greatest extent possible.
9. Mount electrical equipment onto the interior of a building whenever practical. When interior mounting is impractical, screen electrical equipment from public view with walls, berms, or landscaping.
10. All such areas shall conform to the City's "Recycling and Solid Waste Planning Manual (Section 19.58.340 CVMC, Recycling and Solid Waste Storage).

4.4 ATTACHED RESIDENTIAL DESIGN GUIDELINES

The following design guidelines apply to attached residential communities that occur outside the Town Center. Applicable building configurations including the following:

1. Row House
2. Stacked Units outside the Town Center
3. Live/Work (Attached)
4. Innovative
5. Neighborhood Recreation Buildings associated with an attached residential community

Although Villa House is an attached residential building configuration, it is intended to appear as a single family home and is therefore not subject to these design guidelines (Refer to Section 4.5, Detached Residential Design Guidelines). Refer to Chapter 3 - Development Code for design requirements specific to each building configuration.



Key Map
(N.T.S.)

4.4.1 The Small Village Concept

Attached residential communities are intended to be much like small villages. Each shall be designed for compatibility within itself, using a blend of building types, complementary architectural styles, and a tastefully balanced palette of colors and materials to provide subtle contrast for diversity within each community. A variety of housing types can be provided within the same attached residential community.

4.4.2 Attached Residential Design Fundamentals

Superior attached residential communities include the following design fundamentals:

1. Common buildings, facilities, or open spaces serve as focal points for the community.
2. Building entries and common areas, not parking, remain the primary emphasis of the public street elevation.
3. Individual entries define each unit appropriate to the building form.
4. Building mass and differentiation of roof forms reduce the apparent building bulk and define common and pedestrian spaces.
5. Color and material changes define architectural styles, highlight massing differentiation, and create diversity between buildings.
6. Enhanced architecture on all publicly visible elevations conveys high quality design.
7. Connections between indoor and outdoor spaces are enhanced in building and site design.
8. All buildings, common facilities, maintenance structures, and service area enclosures express compatible architectural style, color, and materials.

4.4.3 Site Planning and Building Placement

Site planning and building placement play an important role in reinforcing the small village concept by defining the common areas that unify the community. The following shall be considered in site planning and building placement:

1. Orient buildings to provide a front door presence along the public street. Internally, orient buildings toward common open space areas and major pathways whenever possible.
2. Create a sense of arrival at major vehicular and pedestrian entries through landscaping, location of common areas, and/or placement and design of common buildings.
3. Design pedestrian and vehicular circulation routes that are intuitive, well-defined and easily discernible for appropriate and functional maneuverability and activity levels.
4. Emphasize a front door presence along the street, pedestrian access, and connections to public sidewalks, trails, open space systems, and adjacent neighborhoods to avoid creating a walled enclave.
5. Arrange buildings to define common areas in centralized and convenient locations.
6. Utilize building placement and articulation to create interesting and attractive pedestrian corridors.
7. Design open areas that are large enough to be usable for a variety of purposes.
8. When surface parking or carports are utilized, minimize large parking areas through thoughtful building placement and site design.
9. Provide architectural treatments, structures, and/or landscaping that shelters pedestrian walkways, such as arbors or pergolas where appropriate.
10. Integrate non-residential uses into the community in a manner that preserves the residential character.
11. Design private and common open space areas in attached residential developments to substantially conform to the City's Multi-Family Open Space Design Guidelines except as detailed herein.



Example - Buildings Oriented Toward Common Open Space Areas



Example - Buildings Oriented Toward Street with front door presence and connection to public sidewalk

4.4.4 Building Form and Massing

Massing plays an important role in establishing individual units, common areas, and primary entries. The following shall be considered to create dynamic interrelations of light, depth and place along the streetscape, within common areas and along internal pathways:

1. Minimize blank, singular planes oriented toward public views unless it is true to the architectural style. Provide enhanced elevations on all sides of the building visible from streets, lanes, common areas, and other public and common spaces by incorporating architectural elements similar to those found on the front elevation.
2. Consider intended styles in conjunction with the development of building plans, massing forms, architectural elements, details, and color.
3. Carefully consider the building massing, materials, details, and color in developing an appropriate architectural character for the project.
4. Design buildings to define outdoor spaces, with floor plans that have a logical and functional relationship between indoor spaces and outdoor spaces.

4.4.5 Roof Forms

Roof forms seen from a distance or along major roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line.

1. Articulate roof lines to express a variety of conditions to minimize the visual impact of repetitious flat planes, building mass, and similar ridge heights.
2. Provide vertical roof plane breaks, changes in building/ridge height, or other accent roof forms as appropriate to style.
3. Use a variety of front-to-rear and side-to-side gables, hipped roofs, and/or the introduction of a one story element.
4. Integrate form, materials, fascia, and/or cornice elements into the overall design vocabulary.
5. Encourage the use of cool roofs, photovoltaics, or other energy saving materials and features.



Example -Varied roof (front-to-rear and side-to-side gables) and massing breaks

4.4.6 Façade Treatments

Façade treatments play an important role in defining individual units and reinforcing the overall design character of the community. Typically, the location of windows and doorways are determined by the practical considerations of room layout, furniture placement, views, and privacy. Design emphasis here is of particular concern as windows and doors play an important role in the exterior architectural character of buildings. Materials and colors help to reduce overall mass and provide visual interest.

1. Use entries to create an initial impression, locate and frame the doorway, and act as an interface between public and private spaces.
2. Wherever possible, orient front doors and provide access toward the public street or entry courtyard.
3. Incorporate appropriate roof elements, columns, feature windows, and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways as appropriate to building configuration.
4. If front entry location is not immediately obvious due to building configuration, direct and draw the observer to it with added lighting and landscape elements.
5. Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition and order.
6. Where appropriate to style, building configuration, and window form, use of multi-paned windows is encouraged.
7. Use appropriate scale and proportion typical of the architectural style in window and door design to strengthen the elevation style.
8. Select colors from an overall color palette to create a blending of colors.
9. Use color, materials, windows, doors, and architectural details to provide variation and articulation and avoid unrelieved, continuous walls.



Enhanced Building Entry toward street



Use of varied materials, window sizes, and awnings

4.4.7 Parking, Carports, and Garages

The focus of attached residential communities shall be their street front image and pedestrian access. Each community shall incorporate interior oriented parking solutions and incorporate the following design techniques to enhance the public streetscene:

1. Distribute parking throughout the community to provide as close proximity as possible to individual units and to break up large parking areas.
2. Minimize the need for walls and fencing along public rights-of-way by locating parking to the side or rear of buildings or by locating parking in wrapped or underground parking garages.
3. Group unassigned or guest parking in evenly distributed locations.
4. Design carport structures to be compatible with the style, color, and materials of the primary buildings.
5. Provide landscape islands and sidewalks between parking spaces or carports to avoid continuous, uninterrupted paving.
6. Where attached or detached garages or podium parking are provided, design these structures as an integral part of the architectural character by employing the following:
 - a. Utilize the same architectural style, massing elements, wall materials and finish, design details, and colors as the residential dwelling units.
 - b. Use similar or compatible roof forms.
 - c. Address end wall conditions that are visually prominent from the street with special architectural attention.
 - d. The relationship of the garage face to the building may be projecting, flush, or recessed provided that it is compatible with the mass and style of the building.
 - e. Subterranean parking garages that encroach into public rights-of-way are subject to City Engineer approval and shall require an encroachment permit and enhanced street construction and utility coordination
7. Design lanes and motorcourts to address the functional and aesthetic features of the space to create a pleasant experience for residents. This may include landscaping, enhanced paving, architectural features that create depth and massing breaks, enhanced garage doors, or other design treatments.



Example - Projections, Wall Plane Offsets and Landscape Strips in Lane Treatments

4.4.8 Common Recreation Facilities

Common recreation facilities associated with attached residential communities such as pools, spas, club houses, management offices, barbecues, and other facilities shall be appropriate for the size and scale of the community. The following guidelines shall be considered in the design of common buildings and amenities:

1. Design common recreation facilities as key character elements for the neighborhood, where feasible.
2. Select architectural and community elements, such as street furnishings, benches, lighting standards, and trash receptacles, that are consistent with the overall architectural character of the neighborhood.
3. Provide enhanced elevations on all publicly visible sides of the building by incorporating architectural elements similar to those as found on the front elevation.
4. Use colors, massing, roof pitches, and materials that are compatible with adjacent buildings or exemplify the community theme.

4.4.9 Trash Enclosures, Utilities, and Service Areas

Since common utility and service areas can often create a nuisance, their design and placement must be carefully considered. The following guidelines are intended to reduce the impact of service and utility areas on the community:

1. Provide the adequate number of enclosures to accommodate the volume and types of refuse and recycling containers required by the local disposal company.
2. Locate enclosures in a convenient area for the majority of residents.
3. Minimize impact on adjacent residences and neighborhood developments by keeping enclosures away from the edges of the community so that they are not visible from the public right-of-way.
4. Construct trash enclosures with substantial masonry walls in a style and wall finish that is consistent with the overall architectural character of the development.
5. Equip all trash enclosures with complementary gates of durable construction, hinged to self-supporting steel posts.

4.5 DETACHED RESIDENTIAL DESIGN GUIDELINES

The following design guidelines apply to detached residential neighborhoods that occur outside the Town Center. Applicable building configurations include the following:

1. Conventional Home
2. Motor Court
3. Linear Green Court
4. Bungalow Green Court
5. Live/Work (Detached)
6. Villa House
7. Innovative

Although Villa House is an attached residential building configuration, it is intended to appear as a single family home and is therefore subject to these design guidelines. Refer to Chapter 3, Development Code, for design requirements specific to building configuration.



Key Map
(N.T.S.)

4.5.1 The Simple House Concept

In order to achieve authenticity of style in materials, detail, and execution while using resources efficiently, a more simple design must be considered in the crafting of the basic structure of detached homes. Straightforward massing and roof forms not only ensure efficient use of construction materials, but often lead to the most authentic expression of style. The "Simple House" concept suggests that elementary structural forms and building masses can achieve authentic traditional styles. By shifting the emphasis from complex floor and roof plan designs and pop-outs and onto material application and architectural detailing that reinforce the architectural style of each home, the public streetscene will be enhanced and limited resources will be used efficiently.

4.5.2 Detached Residential Design Fundamentals

Superior detached residential communities include the following design fundamentals:

1. Simple house designs enhanced with appropriate colors, materials, and details keep the architectural styles authentic.
2. Architecture forward to the street (rather than garage doors) makes the home, not the garage, the primary emphasis of the front elevation.
3. Some single story massing such as first floor pop-outs, porches, or bay windows along the public street frontage provide pedestrian scale.
4. Varied garage placement and treatment distinguishes individual homes and reduces the visual impact of garage doors on the public street.

5. An eclectic variety of complementary architectural styles carefully plotted creates diverse street scenes.
6. Varied roof pitches, heights, and forms reduce the visual impact of rooftops.
7. Contrasting colors and materials highlight architectural styles and create greater variety.
8. Enhanced architecture at high visibility areas, such as areas adjacent to open space, parks, and streets convey high quality design.
9. Connections between indoor and outdoor spaces are promoted in building and site design, enhancing livability and the Southern California lifestyle.



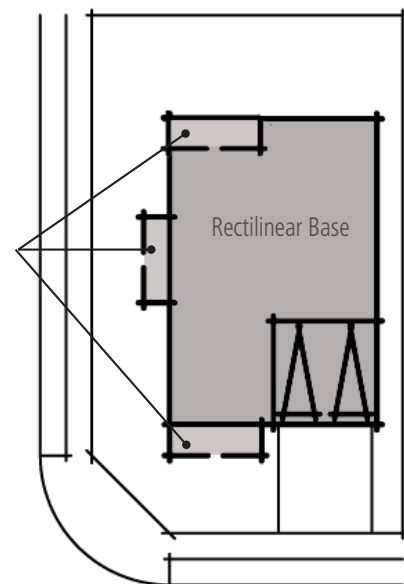
Example of simple house design

4.5.3 Architectural Massing

The Simple House concept requires simple architectural massing to maintain style authenticity and efficient construction framing. Simple house design adheres to the following massing criteria:

1. Use a simple rectilinear form as the basis for the floor plan. Add additional simple forms to expand, add interest, and achieve floor plan objectives.
2. Consider multiple, appropriate elevation styles for each floor plan to ensure the added forms yield the correct massing for each style.
3. Reflect interior uses within the repertoire of forms for the chosen architectural style while manipulating exterior mass and form to improve the streetscape.
4. Select architectural styles that best fit the massing derived from the floor plan. As an example, styles such as the Monterey and Spanish Colonial elevate as a two-story rectangular form. Designing a floor plan with simple two-story stacking of exterior walls yields the correct massing for either of these styles.

Added Simple Forms/Single Story Massing at Street as Appropriate to Style



Simple House Massing

5. Alternate street-facing garage locations, from shallow to deep, and garage configurations between floor plans within each neighborhood to provide variety in the same streetscene.
6. Minimize the number of foundation breaks to ease and simplify construction framing.
7. Use style appropriate architectural details, materials, and colors to articulate wall planes, create shadow, and provide visual interest.
8. Give particular consideration to the treatment of publicly visible elevations including side elevations, second story rear elevations, and roof elements visible from major streets.



Use of style appropriate details to articulate a simple house

4.5.4 Roof Forms

Rows of homes seen from a distance or along major roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line.

1. Vary roof forms and pitches to reflect authentic expression of a selected style. Develop a simple truss system with minimum deviations for simple and efficient framing.
2. Vary the pitch and form of roof lines to express a variety of conditions and minimize the visual impact of repetitious flat planes, similar building silhouettes, and similar ridge heights.
3. Use a variety of front-to-rear and side-to-side gables, hipped roofs, and/or the introduction of a one-story element.
4. Encourage the use of cool roof materials and colors, photovoltaics, or other energy saving materials and features.

4.5.5 Façade Treatments and Streetscape Plotting

Superior streetscapes provide visual interest through the combination of architectural diversity and an individual identity for each home. The following streetscape plotting criteria supports the creation of eclectic single family streets that function well and have visual variety:

1. When possible, refrain from strict compliance to minimum setbacks to avoid contributing to repetitious street scenes. This may be achieved through building placement, variation in floor plan form, and/or garage placement and configuration.
2. Orient buildings to provide a front door that is visible from the street.

3. When plotting the same floor plan more than 3 times in the same neighborhood, provide a minimum of 3 elevations per floor plan, each with a different architectural style that is clearly discernible through the use of style appropriate architectural details.
4. Do not repeat the same floor plan and elevation combination immediately adjacent to or across the street from one another.
5. Provide a minimum of 3 color schemes for each elevation style. Do not repeat the same color scheme on homes immediately adjacent to or across the street from one another.
6. Enhance neighborhood quality by adding an elevation designed specifically for corner lots or by enhancing an interior lot plan for use on the corner with additional architectural elements and/or details as found on the front elevation.
7. Use color, materials, windows, doors, and architectural details to provide variation and avoid unrelieved, continuous walls.
8. Avoid the appearance of false facades as follows:
 - a. For corner homes, wrap materials and colors to the street-facing side elevation so that materials terminate on an inside corner.
 - b. For interior lots, wrap materials from the front elevation to the side elevation so that materials terminate behind the leading edge of the side yard fence or on an inside corner.
 - c. Pay special attention to material and color application on entry ways, window and door trim, and other architectural elements to ensure color and materials terminate at an inside corner.
9. Design private and common open space areas in detached residential developments to substantially conform to the City's Small-Lot Single Family Open Space Design Guidelines except as detailed herein.



Example of the same floor plan with distinctly different elevation styles

4.5.6 Garages Placement and Treatments

The impact of repetitive, street-facing garages can be reduced by using the following techniques:

1. Recess garage doors a minimum of 12 inches behind the garage wall plane.
2. Roll up garage doors are the only garage doors permitted.
3. For street-facing garages, vary garage placement along the public street whenever possible by alternating front setbacks and configurations between floor plans.
4. Vary garage placement mix within neighborhood plotting plan. Garages may be attached or detached.
5. Vary garage door pattern, windows, and/or color as appropriate to individual architectural styles.
6. Provide additional treatments such as porte cocheres, single car doors, trellises, and/or gates. Porte cocheres and gates added to a deep recessed garage plan create an additional screened parking space and occasional outdoor private spaces.
7. Garage doors shall not exceed more than 50% of any building's single street frontage; Garages may be accessed from side streets and lanes to reduce the impact of garage doors on the streetscape.
8. Street-facing 3-car garages are not permitted. Additional spaces may be provided in swing-in, tandem, or split garage configurations.



Lane Treatments

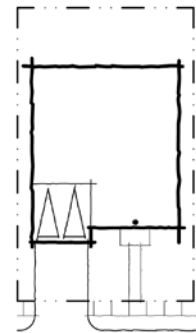


Enhanced Motor Court

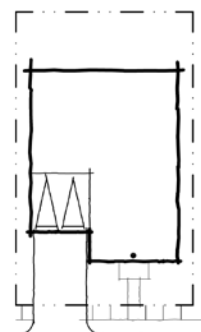


Porte Cochere

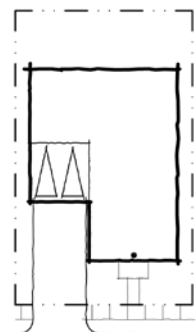
9. Design lanes and motorcourts to address the functional and aesthetic features of the space to create a pleasant experience for residents. This may include landscaping, enhanced paving, architectural features that create depth and massing breaks, enhanced garage doors, or other design treatments.
10. The following includes examples of various street-facing garage configurations. Configurations can be combined for greater diversity. A minimum of 2 configurations shall be used within each detached residential neighborhood containing street-facing garages:
 - a. Garage Forward – Front facing garage located forward of the home’s front facade. Extra attention and treatments shall be applied when using this garage placement. No more than 25% of detached homes within a subdivision may use this configuration.
 - b. Shallow Recessed Garage – Front facing garage recessed behind the front porch or living space of the home.
 - c. Mid-recessed garages – Front facing garage recessed to a lot depth near the mid-point of the home.
 - d. Deep Recessed Garage – Front facing garage located at the rear of the residential lot.
 - e. Swing-In Garage – A garage that has been oriented so that the side of the garage faces the street and access to the garage is provided by a curved driveway.
 - f. Tandem Garage – A garage that provides additional parking behind the primary garage parking space.
 - g. Split garage – Garage parking is “split” into two garages separated by living space. On corner lots, access to split garages may occur from different street frontages.



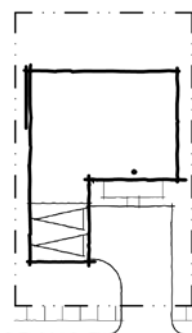
Garage Forward



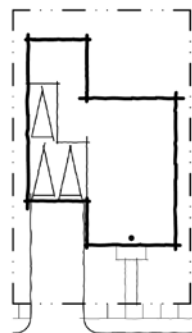
Shallow Recess



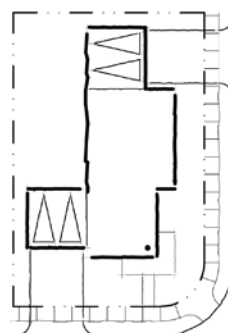
Mid-Recess



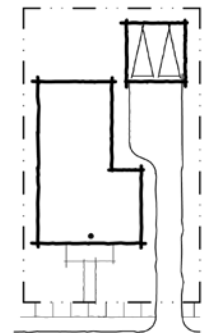
Swing-in



Tandem



Split



Deep-Recess

4.5.7 Storage, Utilities, and Services

Maintaining superior streetscenes requires storage, utilities, and service areas to be located in areas with limited or no visibility from the public street as follows:

1. Where a lane is present, locate services and above ground equipment on the lane and screen from view by fencing or landscaping to the greatest extent practicable.
2. When a lane is not present, locate above ground equipment and services at least 3 feet behind the façade of the house and screen with fencing or landscaping to the greatest extent practicable.
3. Locate waste container storage areas in private yards and screen from view by fencing or landscaping. If a private yard of sufficient size to house waste and recycling containers cannot be provided, then sufficient space must be provided in the garage such that storage areas do not conflict with required vehicle parking areas.
4. Coordinate with the local waste service provider early in the design process to ensure that adequate access to collection areas is provided.
5. Ensure trash collection areas are large enough to accommodate containers without conflicting with common driveways and travel ways.
6. Bio-retention facilities located in the front of residential lots shall be dedicated as an easement to the City to allow access, conduct inspections, and to restrict property owners from changing the geometry and landscaping of these BMPs.

4.6 COMMUNITY USE FACILITY DESIGN GUIDELINES

The following design guidelines apply to community use facilities that occur outside the Town Center. Community use facilities are non-residential and non-commercial buildings that typically serve a public or community purpose. Applicable building configurations include the following:

1. Community Purpose Facility
2. Neighborhood Recreation (Not associated with an attached residential community)

Such facilities may consist of a single building or a group of buildings on one site. Community use buildings associated with attached residential communities shall be integrated into the site plan for that community and are therefore exempt from these standards but are subject to the guidelines in Section 4.4, Attached Residential Design Guidelines. In addition, public and institutional buildings (such as schools, fire stations, libraries, police stations, and buildings associated with public parks) are exempt from these standards because of their unique disposition and application. Public and institutional buildings shall be subject to design review by the appropriate City department.

Since the intended use of the building(s) will drive the spatial and functional requirements of the building, these design guidelines must remain flexible to ensure that the needs of the intended use(s) are adequately addressed within the design.

Some uses may be subject to specific design requirements required by the state and other regulatory agencies. Such requirements shall take precedent over the requirements of this SPA and the design regulation and guidelines contained herein.

4.6.1 The Community Use Concept

Regardless of whether the facility is privately or publicly owned, community use facilities are intended for the use and enjoyment of the community and must therefore be treated as a public amenity. Building designs shall reflect the facility's function while at the same time support the intended character established for Village 8 West by incorporating design features that promote public use and enjoyment.



Key Map
(N.T.S.)

4.6.2 Community Use Design Fundamentals

Regardless of use, superior community use facilities include the following design fundamentals:

1. Primary buildings act as key, thematic icons for the surrounding community.
2. Design elements, building form, and site design reflect the intended use of the building(s), i.e. religious institution, community center, etc.
3. Building facades include variety and spontaneity to activate the pedestrian experience.
4. Building entries and common areas, not parking, remain the primary emphasis of the public street elevation.
5. Building and site design anticipates and accommodates pedestrian and vehicle circulation to reduce traffic impacts on neighboring streets and jointly optimize pedestrian and vehicular circulation.
6. Building mass and differentiation of roof forms, materials, color, and apparent floor heights reduce building bulk and create variety within the building façade.
7. Enhanced architecture on all four sides conveys high quality design.
8. Connections between indoor and outdoor spaces are promoted in building and site design.
9. Massing and architectural elements define street corners and primary building entries.

4.6.3 Site Planning and Building Placement

Since community use buildings will act as icons for the village, building placement is an important consideration. Institutional uses also require special consideration due to the associated traffic and noise associated with such uses. The following guidelines must be considered in the design of all institutional buildings:

1. Arrange buildings to create a variety of outdoor spaces including courtyards, plazas, squares, eating areas, arcades, and/or usable open spaces.
2. Orient buildings toward streets, pedestrian pathways and/or active spaces.
3. Include architectural treatments, structures, and/or landscape features that shelter pedestrian walkways, such as arbors or pergolas, where appropriate.
4. Design pedestrian and vehicular circulation routes that are intuitive, well-defined, and easily discernible for appropriate and functional maneuverability and activity levels.

4.6.4 Building Mass and Form

Community use buildings and facilities tend to be larger in scale and therefore massing is of particular concern. The following guidelines address methods to reduce the apparent mass of large buildings:

1. Avoid long, unbroken faces that exceed approximately 30 feet in length.
2. Use offsets and massing articulation to reflect the organization of the floor plan.
3. Vary building depths to provide interesting massing.
4. When appropriate to the use, provide one story elements at the ends of two-story buildings to soften building mass.
5. Use balconies, shade structures, one story projections, and other architectural elements to create interest and articulate volume.
6. Develop a special relationship between buildings and pedestrians by designing ground story facades at human scale through one or more of the following methods:
 - a. Breaking facades into bays and smaller forms.
 - b. Bringing signage down to a pedestrian level to reduce scale.
 - c. Introducing arcades, courtyards, and other outdoor spaces.
 - d. Utilizing massing elements to emphasize primary building entries and street corners.



Community Purpose Facility designed to create pedestrian spaces along the street; Offsets and massing reflect the interior spaces.

4.6.5 Roof Forms

The following guidelines address roof forms of community use buildings:

1. Change roof pitches and eave heights by using offsets in the plan. Provide a minimum vertical distance of 2 feet between roof plans.
2. Avoid continuous, unbroken roof lines longer than 90 feet in length.
3. In general, keep roof pitch slopes relatively shallow to minimize visual massing of buildings while remaining true to the selected architectural style.
4. Combine flat roofs with sloped roofs. The entire roof shall not be flat.
5. When appropriate to style and function, provide broad overhangs in response to climactic conditions, particularly at openings, porch enclosures, balconies, and window recesses.
6. When building forms are visible from adjacent residential neighborhoods, provide full roof solutions to the greatest extent feasible.
7. Design roofs for functionality while enhancing or complementing the overall architectural design of the building.
8. Integrate form, materials, fascia and/or cornice elements into the overall design vocabulary.
9. When used, create contiguous parapets and incorporate them into side/rear elevation returns.
10. Use roof forms to screen mechanical equipment whenever possible.
11. Encourage the use of cool roofs, photovoltaics, or other energy saving materials and features.



Varied Roof Forms

4.6.6 Façade Treatments

The following façade treatment guidelines are intended to improve the streetscape and create attractive community use buildings:

1. Enhance primary building or campus entries to create a sense of arrival and clearly indicate location.
2. Clearly identify building or campus entries with well defined primary pedestrian pathways and entry features such as arbors, porte cocheres, or architectural features.
3. Design windows to reflect interior uses and provide views to common outdoor spaces and the public street.
4. For schools and other uses that include multiple buildings in a campus setting, convey similar architectural character, colors, and materials on all buildings.

4.6.7 Parking

The following guidelines are intended to ensure that the design of parking areas are functional and do not detract from the public streetscape:

1. Locate parking behind or to the side of buildings to reduce the impact of large parking areas on the public street.
2. Design parking areas to be used as flexible outdoor spaces for farmers markets, festivals, special events, and other community events.
3. Locate drop-off areas and provide adequate stacking for vehicle traffic to avoid creating traffic conflicts on adjacent public streets and to reduce the impact on adjacent residential and commercial uses.

4.6.8 Utilities and Services

The following shall be considered in the location and design of mechanical equipment, utilities, service and loading areas, and waste collection facilities:

1. Locate loading and service areas to the side or rear of the building. Shield the loading/service areas with walls, berms, or landscaping to limit visibility from public streets or pedestrian spaces.
2. Integrate screening of mechanical equipment, waste enclosures, service areas, and other service-oriented building necessities into the site and building design.
3. Incorporate similar colors and materials as the principal building into the design of the screening, enclosures, and/or service buildings.
4. Locate waste containers away from public rights-of-way, building entries, and pedestrian spaces.
5. Screen all roof-mounted equipment with parapets, screen walls, fencing, equipment wells, structural enclosures, or similar features.
6. Install exterior, on-site utilities underground, where feasible. For utilities required to be above ground, screen and incorporate into the landscaping to the greatest extent possible.
7. Mount electrical equipment onto the interior of a building whenever practical. When interior mounting is impractical, screen electrical equipment from public view with walls, berms, or landscaping.
8. Provide lighting at activity areas, parking lots, and along major pathways.
9. If lighting is provided for outdoor activities, provide a timer.

4.7 LANDSCAPE DESIGN GUIDELINES

The following landscape design guidelines provide guidance in the landscaping of private lots. These guidelines are intended to be flexible to allow for individual expression of style while still reinforcing the village character and transect. All landscaping shall also comply with the following as applicable:

1. CVMC Section 20.12, Landscape water conservation
2. Section 3.6.B, Performance Standards, Part B Landscape
3. Village 8 West Landscape Master Plan
4. Village 8 West Fire Protection Plan
5. Village 8 Preserve Edge Plan
6. Village 8 West Water Quality Technical Report
7. Village 8 West Town Center Master Precise Plan

4.7.1 Private Lot Planting and Landscape Concepts

In addition to complying with the requirements of CVMC Section 20.12 Landscape water conservation, the following principles are to be incorporated into each part of the Village 8 West landscape:

1. Select plant species that are adapted to the site conditions and low water use. Limit the use of water intensive plantings.
2. Only use turf where it serves a function like play or sports use.
3. Use hydro-zoning, efficient irrigation application equipment, and proper irrigation scheduling for optimum plant growth while minimizing evaporation and runoff.
4. Apply mulch, organic or inorganic, over the soil to minimize evaporation.
5. Apply soil amendments where they can improve water penetration or water holding capacity of soil.
6. Plan for appropriate maintenance such as rain shut-off switches for automatic irrigation controllers, well timed mowing, and weed removal.
7. Use planting techniques such as clustering of trees and large shrubs to partially screen or break up steep manufactured slopes.
8. Where direct building frontage is not proposed and sufficient room exists, provide a layering of different plantings to create a landscaped edge that will enhance the pedestrian experience along major sidewalks and trails.

Landscaping and structures within the fire management zone shall be subject to the fire management standards within the Fire Protection Plan. All manufactured slopes adjacent to the MSCP Preserve shall be landscaped as outlined in the Village 8 West Preserve Edge Plan.

4.7.2 Town Center Landscaping

The areas between the building facades and the curb line will be the primary pedestrian zone. The following landscape concepts apply to urban landscapes for private lot setbacks and pedestrian spaces:

1. Utilize plant palettes which maximize visibility while providing a positive pedestrian experience and include canopy or accent trees, low shrubs, and ground covers. Using turf as a ground cover is prohibited.
2. Use of urban landscape forms such as raised planters, containers, tree grates, and green walls is encouraged.
3. Utilize consistent tree planting patterns. Trees shall be limbed up to 8 feet minimum in pedestrian areas and 13'6" in vehicular areas.
4. Incorporate social spaces with outdoor seating areas and sidewalk cafes.
5. Changes in paving texture, color, or material in accent areas, pedestrian spaces, or along internal pathways are encouraged.
6. Include focal elements such as specimen plantings, water features, or public art.



Focal Element



Water Feature



Public Art

4.7.3 Attached Residential Landscaping

The following landscaping guidelines apply to the setbacks, common areas, and pathways of attached residential neighborhoods:

1. Use planting to reinforce design patterns and serve as a unifying element.
2. Utilize plant materials consisting of trees, shrubs, and ground covers.
3. Provide permanent irrigation systems for planting areas.
4. Landscape street yard areas in a manner complementary to the village streetscape.
5. Design mailbox structures and trash/recycling enclosures to complement adjacent residential homes.
6. Locate utility boxes and equipment as unobtrusively as possible and screen with landscaping.
7. Common open space areas may include amenities such as outdoor eating and seating areas, play grounds, swimming pools, and sports courts. Decorative water features will be allowed, subject to water budget calculations.
8. Use trees to define streets, neighborhoods, and corridors and to accent entries and landmarks.

4.7.4 Detached Residential Landscaping

The following landscaping guidelines apply to the private front yards and corner side yards of individual single-family lots:

1. Front and exterior side yards requiring landscaping shall consist predominantly of trees, shrubs, ground cover, decorative rocks, and other natural materials except for necessary walks, drives, and fences.
2. All residences adjacent to open space lots shall be subject to the fire management standards within the Village 8 West Fire Protection Plan.
3. Installation and maintenance of all landscaping (including front yards) shall be the responsibility of the homeowner.

4.7.5 Community Use Landscaping

The following landscaping guidelines apply to the setbacks, pedestrian spaces and pathways of community use facilities:

1. Provide a distinct landscape character for each community use site based on its specific location, neighborhood, and purpose.
2. Include amenities such as outdoor gathering spaces and recreational areas.
3. Incorporate special paving in important areas, pedestrian spaces, or along internal pathways.
4. Provide focal elements such as landscaping that enhance an architectural element, entries, water features, and/or public art.



Outdoor Gathering Space



Special Paving along Pathway

4.7.6 Manufactured Slope Landscaping

Landscaping on steep manufactured slopes will vary depending upon location within the community.

1. Slopes adjacent to roadways shall employ a similar landscape palette for the adjacent corridor as specified in Chapter 5, Circulation and Corridor Design.
2. Slopes within parks and public open space areas shall employ landscaping in accordance with Chapter 7, Parks and Open Space.
3. Landscape designs shall address streetscape and provide landscaping intensity zones, greenbelt edge treatments, and slope treatments for erosion control.
4. Landscaping concepts shall provide for a transition from the manicured appearance of development areas to the natural landscape in open space areas.
5. Plantings shall be selected to frame and maintain views and should not block views created through grading and/or site design.
6. Landscaping for highly visible slope areas shall include a varied plant palette capable of creating a gradual transition from naturalized slope areas at project boundaries to development areas within the project. This design shall incorporate the careful massing of groundcovers, shrubs, and tree forms to soften the appearance of the steep slopes when viewed from public areas.
7. As illustrated in Exhibit 4.8, the following slopes shall be designed as highly visible slopes by the Landscape Master Plan:
 - a. Northwest corner of Planning Areas C and D
 - b. Northwest corner of Planning Area I
 - c. Along Otay Valley Road at the northeast corner of the City of San Diego's Reservoir site
 - d. Northeast corner of Planning Area R
 - e. West side of Planning Area N
 - f. Northwest corner of Planning Area Q
 - g. West Side of Planning Area P, subject to the approved Plant list in Appendix A of the Edge Plan
 - h. South side of Lot V, subject to the approved plant list in Appendix A of the Edge Plan



Exhibit 4.9 - Highly Visible Slopes



Chapter 5

Circulation & Corridor Design



5 - Circulation & Corridor Design



5.1 A MULTI-MODAL APPROACH

The Village 8 West circulation system provides a system of roadway and trail corridors to support both vehicular and non-vehicular modes of transportation to serve the community. This system includes the extension of existing and planned roads, trails, and transit from adjacent villages as well as internal systems to serve the SPA. This chapter describes how this system accommodates all users including pedestrians, bicyclists, vehicles, low speed vehicles (LSVs), and public transit.

Streets within the SPA are designed as “complete” streets. As defined by the Complete Street Coalition, complete streets are defined as roadways that are “...designed and operated to enable safe access for all users. Pedestrians, bicyclists, motorists and transit riders of all ages and abilities must be able to safely move along and across a complete street.” Benefits of complete streets include the following:

1. Improved safety for all users by providing adequate facilities for all users and reducing traffic speeds.
2. Balanced transportation systems that provide direct connections, variety of transportation choices, and reduced traffic congestion.
3. Opportunities for healthier, more active lifestyles that include walking and bicycling.
4. A potential reduction in carbon emissions and dependence on oil by shifting trips to non-motorized and alternative modes of transportation.

Corridors will also play a key role in establishing the village design theme. Corridors will be defined through the landscape palette and design themes identified by the roadway and trail standards described in this chapter, through the placement and types of buildings as regulated by Chapter 3, Development Code, and through the landscape and architectural design of individual parcels and community elements as described in Chapter 4, Community Design. Each corridor will have an identifiable landscape theme consistent with its location within the Transect. All these design elements work together to create superior street scenes that encourage pedestrian activity and a strong village identity.

5.2 MULTI-MODAL PLANNING PRINCIPLES

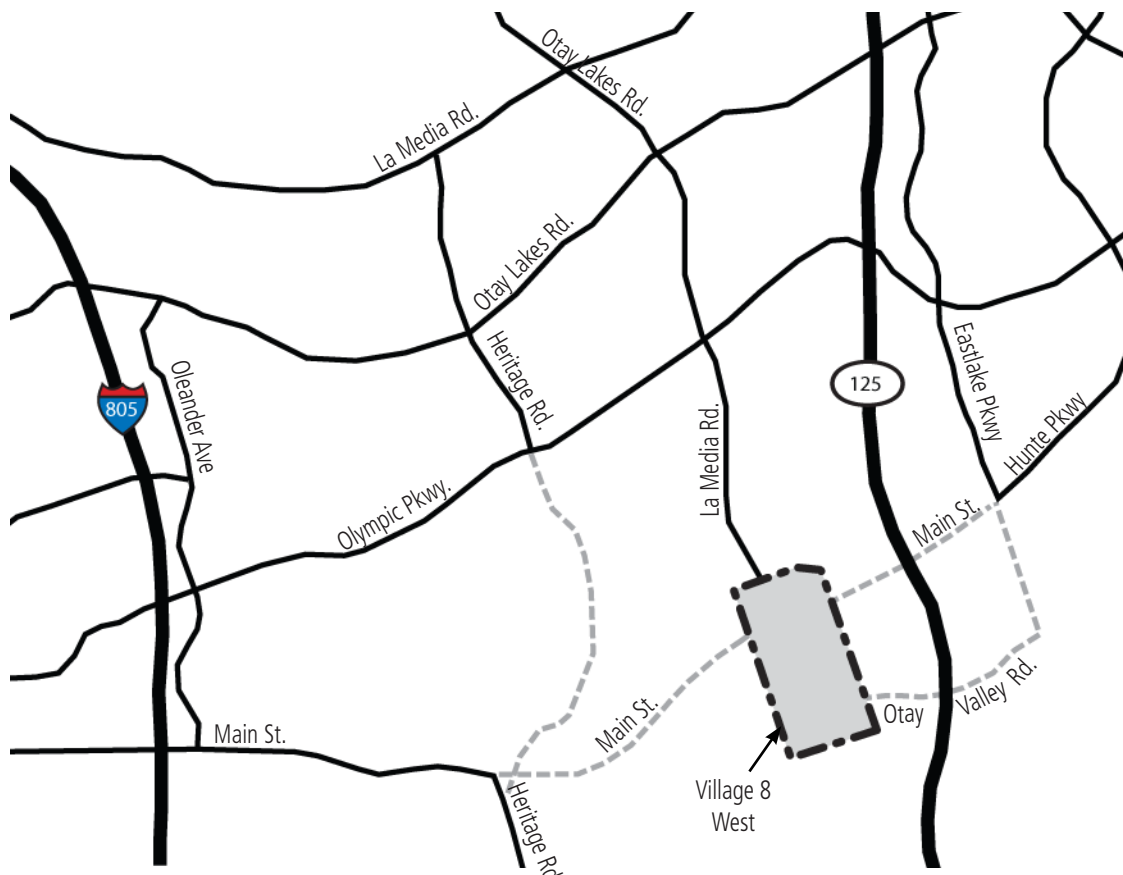
The following principles led to the creation of the multi-modal transportation system described in this section:

1. Design Complete Streets that consider all modes of travel including automobiles, bicycles, pedestrians, transit, low speed electric vehicles (LSVs), and alternative vehicles.
2. Permit decreased levels of service (LOS) during peak hours along Town Center Arterials to reduce the number of automobile travel lanes and to slow traffic in pedestrian oriented areas.
3. Provide multiple connections and routes to evenly distribute traffic and reduce the need for large volume roadways, create slower speed streets that are safer for pedestrians and bicycles, and shorten distances between destinations.
4. Ensure alternative routes are available via low-speed streets (less than 35 mph) between key destination points to accommodate low speed electric vehicles (LSVs).
5. Where appropriate, provide room for future dedicated transit lanes or corridors to promote efficient transit.
6. Provide bulb-outs, enhanced paving, or other traffic calming features, subject to City of Chula Vista and Fire Department approval, in areas where pedestrians and vehicles are anticipated to mix.
7. Create active, vibrant, high-density, mixed-use areas to generate enough ridership to support public transit.
8. Locate transit stops near major pedestrian nodes and generators.
9. Respect the privacy of residential uses when designing pedestrian paths and selecting transit stop locations.
10. Provide shade trees along streets to provide comfortable walking and biking environments, reduce heat islands, and shade parked vehicles.
11. Locate transit stops and stations in convenient locations.
12. Provide transit stops with adequate lighting and well-designed shelters.
13. At the intersection of two or more transit routes, minimize walking distances between transfer stops.
14. Provide convenient, secure bicycle parking for all uses including residential, commercial, parks, and active open space areas.
15. Provide on-street parking and only the minimum required off-street parking to reduce the impact of parking lots and structures on the streetscape and promote the use of bicycles, transit, and alternative modes of travel.
16. Provide Village Pathways, Regional Trails, and other multi-use trails including connection to the Chula Vista Greenbelt and the Otay Valley Regional Park as identified in the Otay Ranch GDP.

5.3 EXISTING REGIONAL CIRCULATION NETWORK

Regional vehicular access to Village 8 West, as shown in Exhibit 5.1 - Existing Regional Circulation, is currently provided from State Route 125 (SR-125) via Olympic Parkway to La Media Parkway. La Media Parkway currently terminates at the northerly boundary of Village 8 West. Secondary vehicular access is also currently available from I-805 and downtown Chula Vista via Olympic Parkway to La Media Parkway or via Main Street. Main Street currently terminates at the intersection of Heritage Road. Both La Media Parkway and Main Street are planned to extend to SR-125, which is located less than one mile east of the project site, providing more direct access to the site.

Public transportation is currently provided by Chula Vista Transit, a part of Metropolitan Transit System. Multiple routes, Routes 712 and 709, serve the Otay Ranch Area; however, neither route currently extends service to Village 8 West. The nearest stop is located over 1.5 miles away.



Legend - General Development Planned Uses


-  Freeway/Toll Road
-  Existing Roadway
-  Planned Roadway



Exhibit 5.1 - Existing Regional Circulation

5.4 VEHICULAR CIRCULATION NETWORK

Exhibit 5.2 - Vehicular Circulation organizes traffic into a hierarchy of travel ways, arranged according to anticipated volumes and modes of travel. This organization is consistent with the roadway classifications established by the Otay Ranch General Development Plan (GDP). In Village 8 West, roadways form a modified grid pattern that promotes walkability and supports urban development in the Town Center. This modified grid pattern gives way to a more suburban street pattern near the southern edge of the SPA, providing a transition to the natural open space areas in the south and responding to the topography of this portion of the site.

Both La Media Parkway and Main Street are Town Center Arterials that serve as the major roadways for the SPA. Main Street will provide the main east-west connection. (See Sections 5.6.1 and 5.6.2.) Main Street will be extended east to provide a future connection to Village 8 East and a future Main Street interchange at SR-125. La Media Parkway will be extended from its existing terminus just north of the site and become La Media Parkway within the Town Center. La Media Parkway will extend south and then curve to the east, providing a future connection to Village 8 East and a future La Media Parkway interchange at SR-125. (See Sections 5.6.3-5.6.5.) Driveway access along Town Center Arterials shall be located a minimum of 50 feet from any street intersection unless otherwise approved by the City Engineer.

Central to the circulation concept for Village 8 West is the use of urban couplets on La Media Parkway and Main Street, through the heart of the Town Center. An urban couplet or Town Center Arterial is an arterial roadway that splits into two one-way roadways through the urban core. The intent is to bring traffic into the Town Center, rather than directing traffic away from and around the Town Center, thereby promoting a vibrant and successful commercial mixed-use area. These two roadways combined handle similar volumes of traffic as the traditional two-way arterial while allowing for a better mix of pedestrian, bicycle, transit, and vehicle circulation. Each road consists of no more than two travel lanes and includes sidewalks, parallel parking, and a striped bike lane. Reduced street width, shade trees, minimized setbacks, and urban uses required along the couplet create a visual street frame and a pedestrian friendly atmosphere. Such networks have the additional benefit of increasing the exposure and amount of commercial frontages within the Town Center, providing for alternative modes of transportation, and defining the Town Center as an identifiable place. This one-way street system reduces left turn delays and creates safer turning movements at each intersection, which benefits automobile drivers, bicyclists, and pedestrians. The result is an active, healthy Town Center.

Exhibit 5.2 - Vehicular Circulation illustrates the location of roadway transitions from 6 lane prime to 4 lane Town Center Arterials as described in the legend.

Secondary access through the village is provided via a residential collector, Avenida Caprise (See Sections 5.6.6 - 5.6.9.) The residential collector provides an alternate route through the village, connecting residential neighborhoods to the Town Center. Calle Escuela provides an additional connection to Village 8 East. (See Section 5.6.10.) Driveway access along Avenida Caprise and Calle Escuela shall be located a minimum of 25 feet from any street intersection unless otherwise approved by the City Engineer.



Legend - GDP Roadway Designations

- Town Center Arterial
- 6-Lane Prime
- 4-Lane Major with Future BRT in median
- Residential Collector
- Parkway Residential¹
- Utility Access Road/Future Avenida Caprise Extension²
- Transition - 6 Lane Prime to 4 Lane Town Center Arterial
- Transition - 4 Lane Major to 4 Lane Town Center Arterial
- Potential BRT Transit Stop/Station³
- Potential Local Transit Stop³

Notes:

1. Alignment of parkway residential streets per Tentative Map 19-03
2. See TM 19-03, Street section 14 for phased improvements
3. Refer to Exhibit 5.7 for Transit Routes



Exhibit 5.2 - Vehicular Circulation

The balance of the roadway system for Village 8 West is made up of Parkway Residential Streets. (See Section 5.6.11) These streets provide direct access to single family homes in the southern and western portions of the SPA. Alignment of these streets will be determined by the tentative map(s) for planning areas N, P, and V. Additional private streets and lanes will be provided for other planning areas as part of the site plan for single family cluster, multi-family, and mixed-use neighborhoods. The design of these street sections will be determined by the site plan and shall be subject to design review.

5.5 ALTERNATIVE MODES

Alternative modes of transportation including low speed electric vehicles (LSV's), bicycles, walking, and transit contribute to healthier and more vibrant communities by providing a variety of alternatives to the car. Providing alternative modes allows people to get out of their cars and into the public realm where they can interact with one another as a community. Alternative modes also promote healthier lifestyles by encouraging increased physical activity and potentially reducing vehicle use and the associated air pollutants.

The following section describes the major alternative transportation modes accommodated within Village 8 West. These include LSV, pedestrian, bicycle, and public transit.

5.5.1 Low Speed Vehicle (LSV) Circulation Network

Low speed electric vehicles (LSVs) provide a clean, alternative vehicular mode of transport, ideal for shorter trips. The LSV network, as illustrated in Exhibit 5.3 - Low Speed Electric Vehicle (LSV) Circulation consists of low speed streets. LSVs are permitted on all streets with a posted speed limit of 35 miles per hour or less. The circulation system has been intentionally designed to provide an internally connected system of low speed streets that allow LSVs to travel between various destinations within Village 8 West. Calle Escuela also provides a connection for LSVs to the remaining portion of Village 8 (Village 8 East). LSVs are not permitted on sidewalks, trails, or other pedestrian pathways.

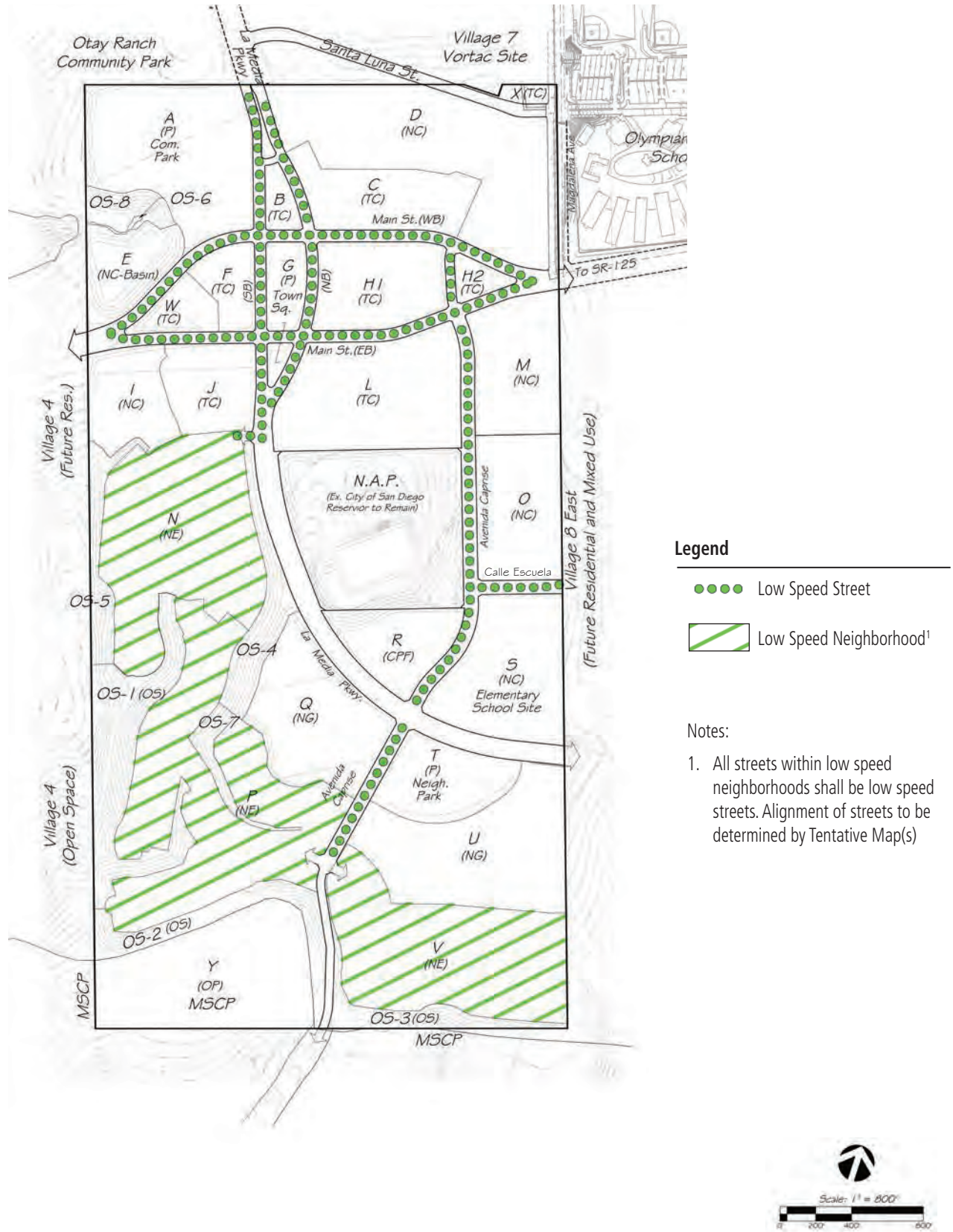


Exhibit 5.3 Low Speed Vehicle (LSV) Circulation

5.5.2 Pedestrian Circulation Network

The pedestrian circulation network includes an interconnected system of pathways, trails, and sidewalks as illustrated in Exhibit 5.4 - Pedestrian Circulation. Potential transit stops are also shown since these modes are closely related. The following includes a brief description of each type of pedestrian corridor:

1. Village Pathway - The Village Pathway, which currently terminates at the south end of Magdalena Avenue, has been extended through the SPA; future connections are provided to Village 8 East via Calle Escuela and Village 3 and 4 to the west via Main Street. Village Pathways in Otay Ranch are intended to provide an off-street, interconnected multi-use trail that allows bicycles and pedestrians to travel between Village Cores and Town Centers. Within the Town Center, bike lanes are also provided so that bicycles do not conflict with the high levels of pedestrian activity anticipated in this urban center. These 10-foot wide, paved trails run parallel to public roadways and are shown on the cross section of the adjacent street. (See Exhibits 5.8, 5.12, 5.13, 5.16, and 5.17)
2. Regional Trail - The 10-foot wide Regional Trail, which currently terminates on La Media Parkway in Village 4, will be extended through Village 8 West along La Media Parkway. In the Town Center, this trail will consist of a paved trail that is more consistent with the urban character of the area. The Regional Trail will also extend along Avenida Caprise, south of La Media Parkway, providing access to the future Chula Vista Greenbelt Trail and Otay Ranch South Community Park in the southerly portion of Village 8 West. (See Exhibits 5.10, 5.11, 5.15, and 5.16)
3. Greenbelt Trail- The greenbelt trail is part of the Otay Valley Regional Park system. The greenbelt trail is south of Village 8 West and shall conform to the Chula Vista Greenbelt Master Plan and the Otay Valley Regional Park Concept Plan.
4. Sidewalks -All streets include sidewalks, providing connections between destinations including residential neighborhoods, the Town Center, parks, schools, and rural trails through open space.
5. Neighborhood Trails- Neighborhoods trails are off-street trails that provide pedestrian connections between neighborhoods. They typically occur on slopes, at the end of cul-de-sacs, or where other site conditions do not allow full roadway connections. The intent is to promote walkability by providing more direct pedestrian connections than would otherwise occur along public roadways. The final location and alignment of these trails will be determined by the Tentative Map(s) for Planning Areas N, P, and V. (See Exhibit 5.21)
6. Parks, paseos, and public pathways - Additional pathways that are not illustrated in Figure 5.4 shall be provided through parks, the Town Center, and attached residential neighborhoods to provide direct pedestrian connections between the various planning areas in Village 8 West and to adjacent villages. The alignment of park pathways will be determined by the individual park site master plan while the alignment of paseos and other public pathways will be determined by the Landscape Master Plan, Town Center Master Precise Plan and the site plan(s) individual planning areas.

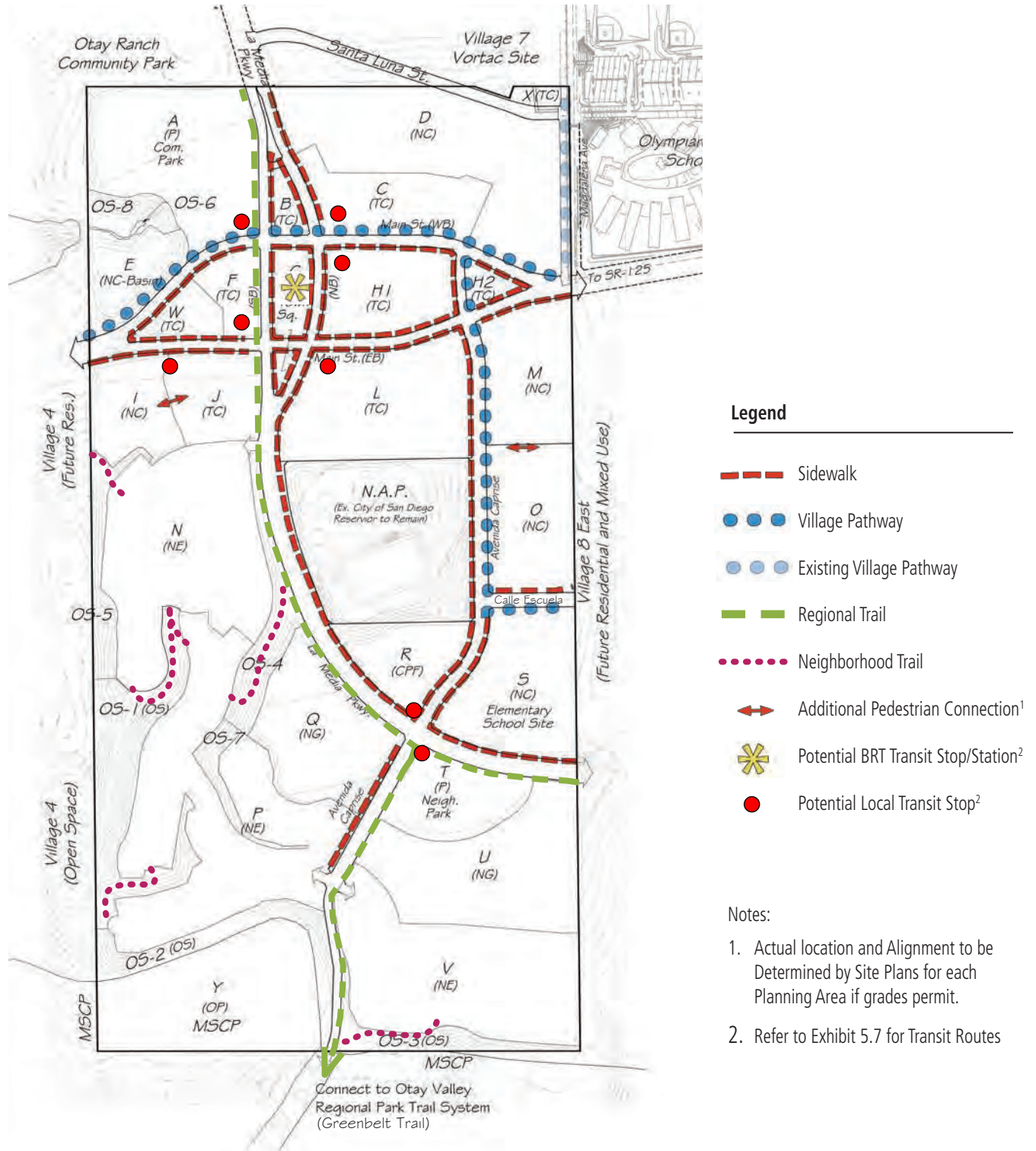


Exhibit 5.4 - Pedestrian Circulation

5.5.3 Bicycle Circulation Network

Bicycles are accommodated as illustrated in Exhibit 5.5 - Bicycle Circulation and as described below:

1. Village Pathway - The Village Pathway, which currently terminates at the south end of Magdalena Avenue, has been extended through the SPA; future connections are provided to Village 8 East via Calle Escuela and Village 3 and 4 to the west via Main Street. The Village Pathways in Otay Ranch are intended to provide an off-street, interconnected multi-use trail that allows bicycles and pedestrians to travel between Village Cores and Town Centers. Within the Town Center, on-street bike lanes are also provided so that bicycles do not conflict with the high levels of pedestrian activity anticipated in this urban center. These 10-foot wide, paths run parallel to public roadways and are shown on the cross section of the adjacent street. (See Exhibits 5.8, 5.12, 5.13, and 5.17)
2. Bike Lanes - Main vehicular thoroughfares include dedicated, striped, on-street Class II bike lanes as shown in the cross section for each roadway. (See Exhibits 5.7-5.15, and 5.17)
3. Local Streets - Although no dedicated lanes are provided for bicycles, the traffic volumes on parkway residential streets will be low enough to accommodate bicycles as well as vehicles. The alignment of these streets will be determined by the Tentative Map(s) for Planning Areas N, P, and V. (See Exhibit 5.18)
4. Park Pathways - Some park pathways may be designed to accommodate bicycles subject to City of Chula Vista approval. The alignment of these pathways will be determined by the individual park site master plan.
5. Regional Trail - The Regional Trail is located along La Media Parkway and extends to the south along Avenida Caperise, ultimately connecting to the Chula Vista Greenbelt Trail as part of the Otay Valley Regional Park system. A Class III bike lane in this corridor provides a connection to the Chula Vista Greenbelt Trail. The greenbelt trail shall conform to the Chula Vista Greenbelt Master Plan and the Otay Valley Regional Park Concept Plan. (See Exhibits 5.10, 5.11, 5.15 and 5.16.)

Bicycle facilities shall be designed pursuant to the Chula Vista Bikeway Master Plan except as described herein.

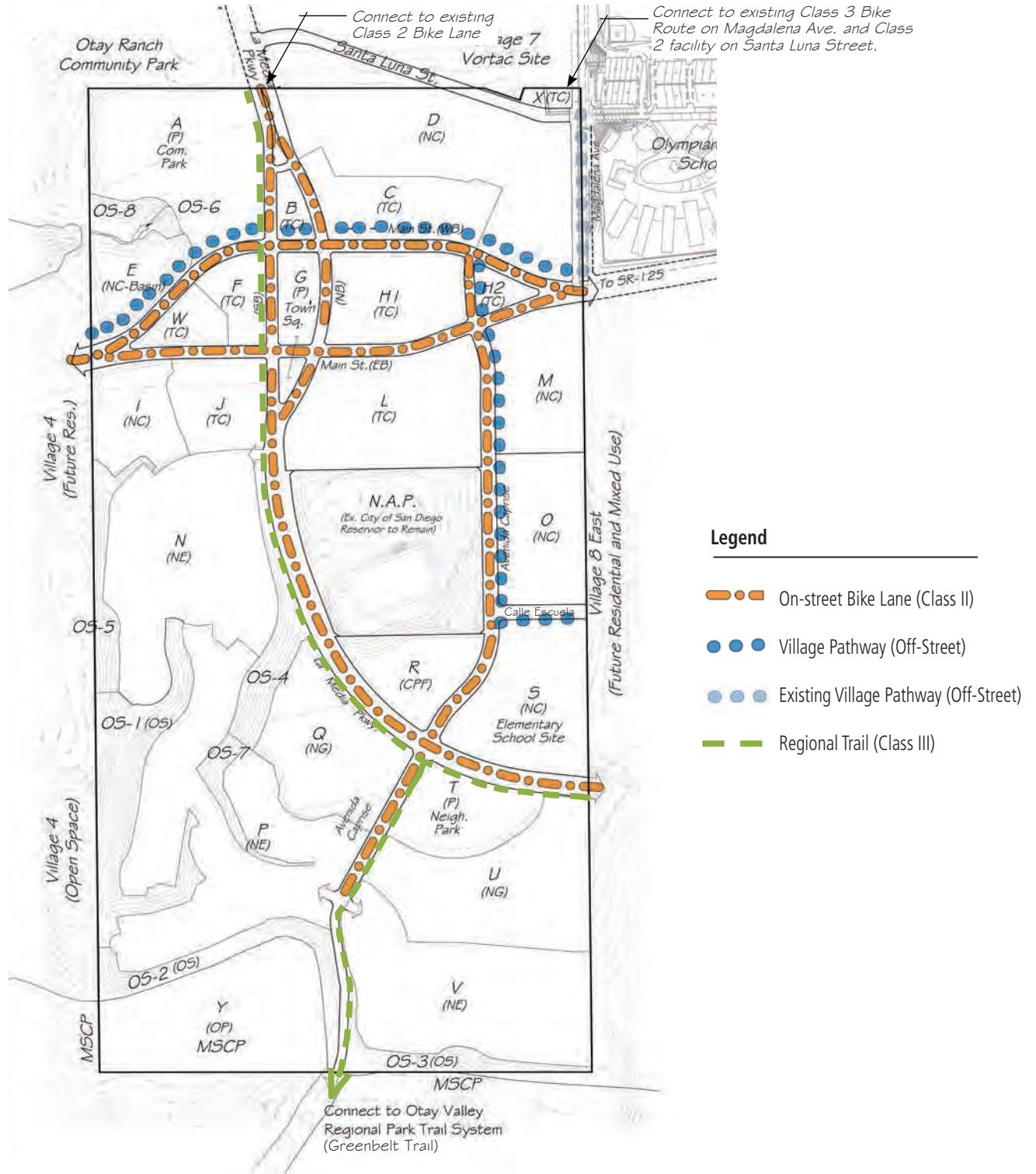


Exhibit 5.5 - Bicycle Circulation

5.5.4 Transit

Exhibit 5.6 -General Plan Transit illustrates existing and planned transit facilities through the SPA and surrounding areas. Village 8 West has been designed to be transit ready for future extension of transit service into the area. In addition to the existing and planned facilities illustrated in Exhibit 5.6 - General Plan Transit, additional potential transit stops are illustrated in Exhibit 5.7 - SPA Transit. Transit service will be provided by one or more of the various transit service types described in this section. The final route, type of service, and timing of service will ultimately be determined by the transit agency. All transit stops shall be designed to be ADA complaint and shall meet the design criteria of the transit service provider.

A. BUS RAPID TRANSIT

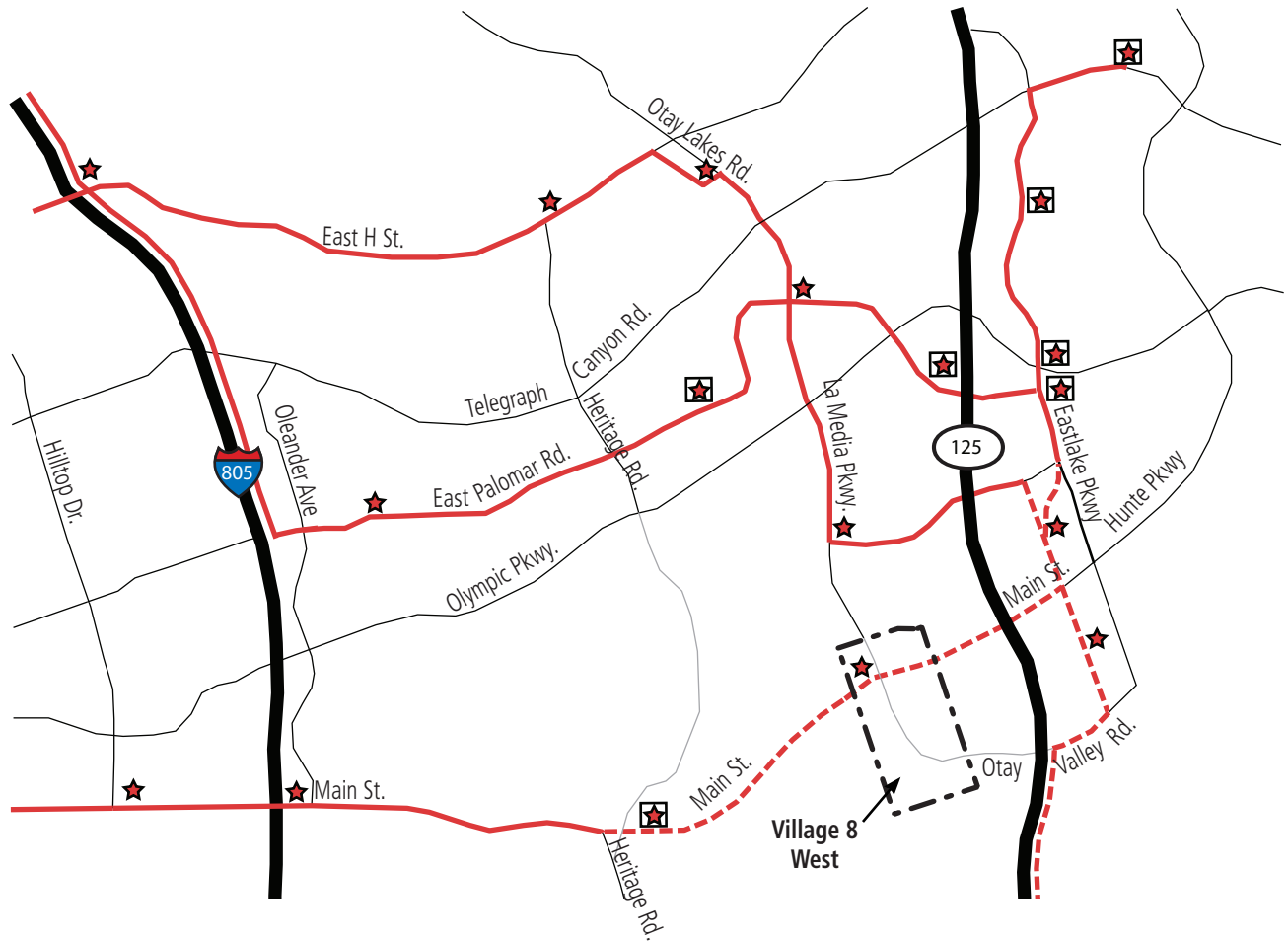
Bus Rapid Transit (BRT) is the highest level of transit service being considered for the Otay Ranch area. BRT is designed to provide longer distance, higher speed (45-60 mph average), regional trips along high capacity corridors such as arterial roads and freeways. Standard all stop service can be supplemented with express service during peak commute hours to provide direct non-stop service between major residential, employment, and activity centers. BRT combines a series of transit-only lanes with mixed flow lanes that are shared with normal auto traffic. In mixed flow conditions, BRT vehicles typically receive priority at signalized intersections. BRT systems include high-quality, rubber-tired, low floor buses that offer speed, comfort, and amenities with the flexibility of a non-fixed track. Stops are typically spaced 0.5-1 mile apart along arterials and 4-5 miles apart along highways. BRT has a ridership capacity of 50-80 seated plus standees. Village 8 West has reserved right-of-way in Main Street to accommodate potential Bus Rapid Transit.

B. RAPID BUS

Rapid Bus provides a service level option between BRT and High-Frequency Local Bus service. Rapid Bus also provides higher speed service (averaging 25 mph) along high volume arterial corridors. Rapid Bus combines short segments of transit-only lanes with mixed flow lanes that are shared with normal auto traffic. In mixed flow conditions, rapid bus vehicles typically receive priority at signalized intersections. Rapid Bus can be upgraded to BRT over time as warranted. Rapid Bus includes high-quality, rubber-tired, low floor buses that offer speed, comfort, and amenities with the flexibility of a non-fixed track. Stops are typically spaced 0.5-1 mile apart. Rapid Bus has a ridership capacity of 40 seated plus standees. Potential Rapid Bus service could be accommodated on Main Street. The BRT dedicated lane is planned in La Media Parkway South of the couplet.

C. HIGH-FREQUENCY LOCAL BUS

High-Frequency Local Bus provides mid-to-short distance trips between key local activity centers and neighborhoods. Buses consist of typically standard and single articulated buses with low floor design. High-Frequency Local Bus integrates with normal auto traffic. Buses travel at speeds up to the posted limit of the streets they operate on; however, due to the frequent stops, the average speed is approximately 12 mph. Stops are spaced approximately 1-4 blocks apart. Typical passenger capacity is 37-57 seated plus standees.



Legend - Transit Routes







-  Existing Roadway
-  Proposed Roadway
-  Proposed Transit Route Along Existing Roadway
-  Proposed Transit Route Along Proposed Roadway
-  Proposed Stop/Station
-  Proposed Stop with Park and Ride



Exhibit 5.6.A - General Plan Transit

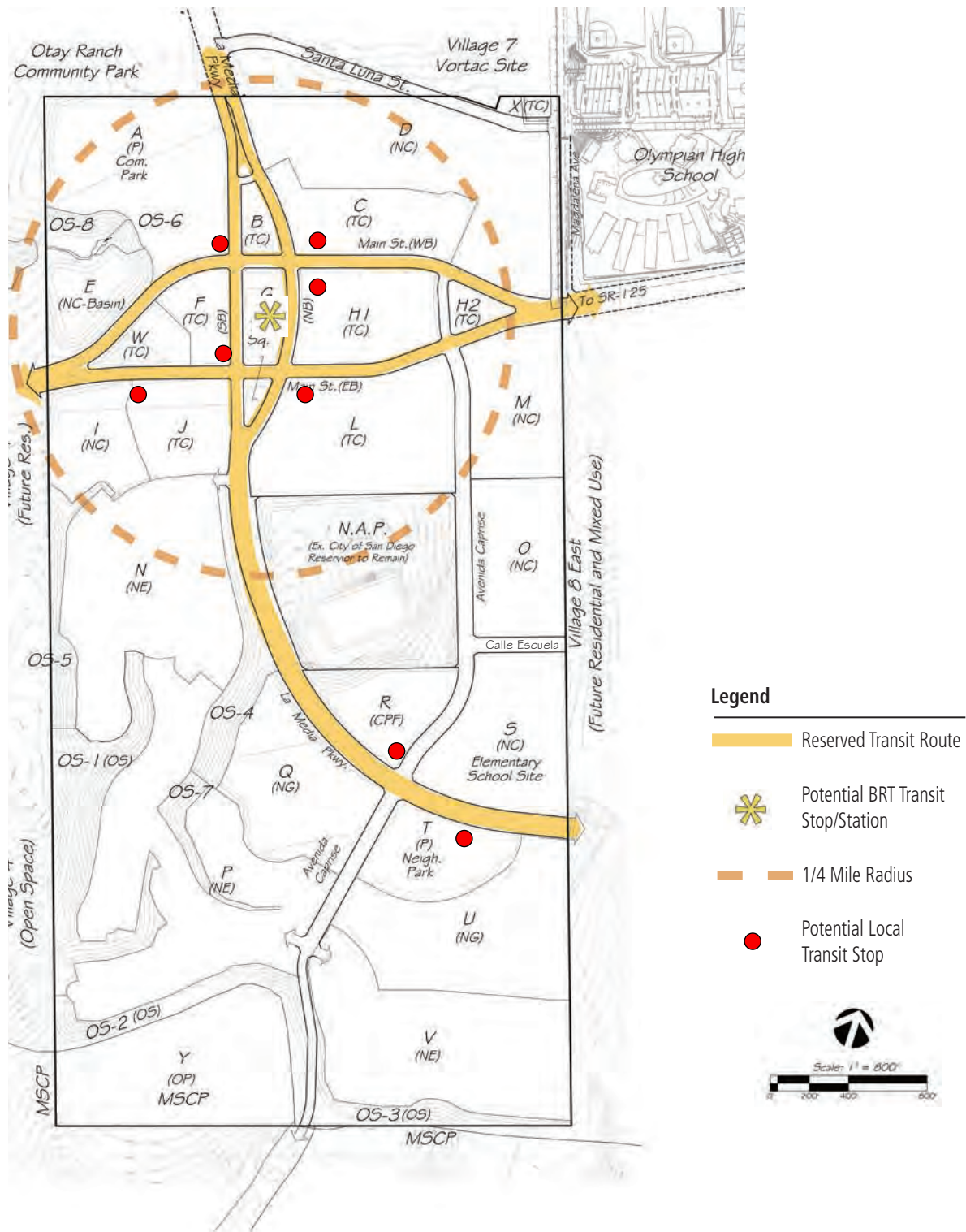


Exhibit 5.6.B - SPA Transit

5.6 STREET AND TRAIL CORRIDOR STANDARDS

The following sections provide a detailed description of each proposed public street and trail corridor and its components. Each section addresses the dimensions, modes of travel, and landscaping. Any other streets, such as smaller streets that provide internal circulation to planning areas and commercial projects shall be designed and reviewed as part of the Site Plan and/or Tentative Map for individual planning areas and shall be subject to City approval and the requirements of the Village 8 West Water Quality Technical Report (WQTR).

All street sections shown herein are conceptual. Final design shall be determined by the Tentative Map but may be modified without a SPA amendment at final map. Any encroachments into public ROW are subject to a City of Chula Vista Encroachment Permit.

5.6.1 Eastbound Main Street

Main Street serves as the primary east-west connection through the Town Center, providing connections to adjacent neighborhoods and State Route 125. Main Street consists of an urban couplet, an arterial roadway split into two one-way streets. At the edges of the Town Center, the couplet transitions back to currently planned conventional reaches of Main Street. Exhibit 5.7 illustrates the eastbound half of the couplet.



Key Map
(N.T.S.)

A. GDP Classification: Town Center Arterial

B. General Dimensions

- 1. Right-of-Way: 76 feet
- 2. Curb-to-Curb: 46 feet
- 3. Median: None

C. Building Frontage

- 1. Setbacks: See Table 3.1: Residential Development Standards Summary
- 2. Encroachments: No first story elements below 8 feet; 3 feet maximum for elements 8 feet or more above sidewalk

D. Modes

- 1. Vehicles: 2 travel lanes (1-way, east bound)
- 2. Parking: Parallel parking (both sides/south side is a future transit reserve)
- 3. Bike: Class II bike lane (1-way, south side)
- 4. Pedestrian: Sidewalks (both sides)*
- 5. Transit: Future transit reserve (south side)
- 6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

- 1. Intensity: High, Urban
- 2. Street Trees: *Metrosideros excelsus*/New Zealand Christmas Tree and *Koelreuteria bipinnata*/Chinese Flame Tree; Planted in tree wells, spaced 35 feet on center
- 3. Accent Trees: See Section 5.7, Accent Trees
- 4. Tree Planters: Minimum dimension of 6 feet x 8 feet

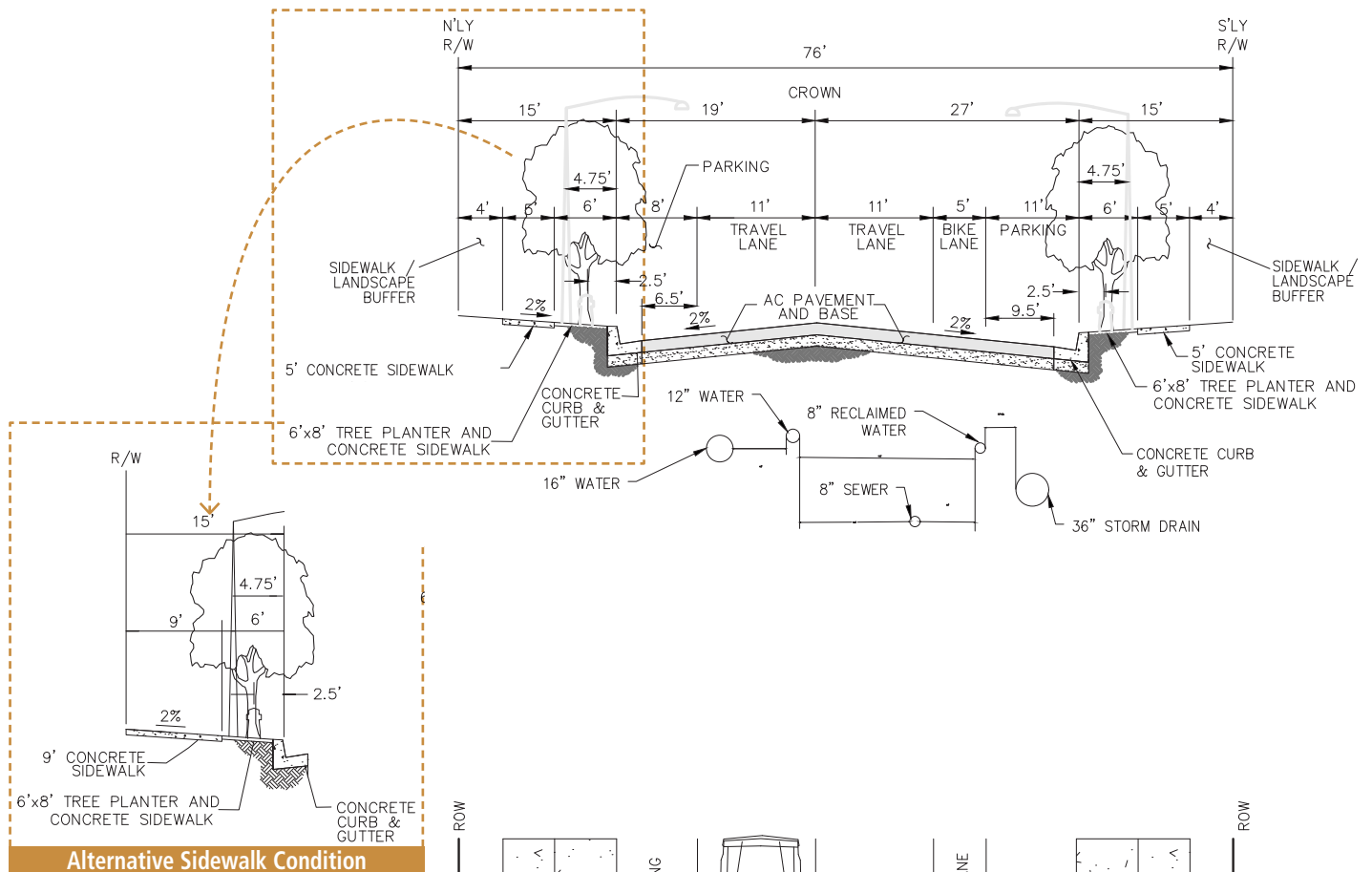


Koelreuteria bipinnata/ Chinese Flame Tree



Metrosideros excelsus/ New Zealand Christmas Tree

*: Sidewalk may be 5 feet with 4 feet landscape buffer or 9 feet, depending on slope and building orientation. Final design to be determined at design review level.



Alternative Sidewalk Condition

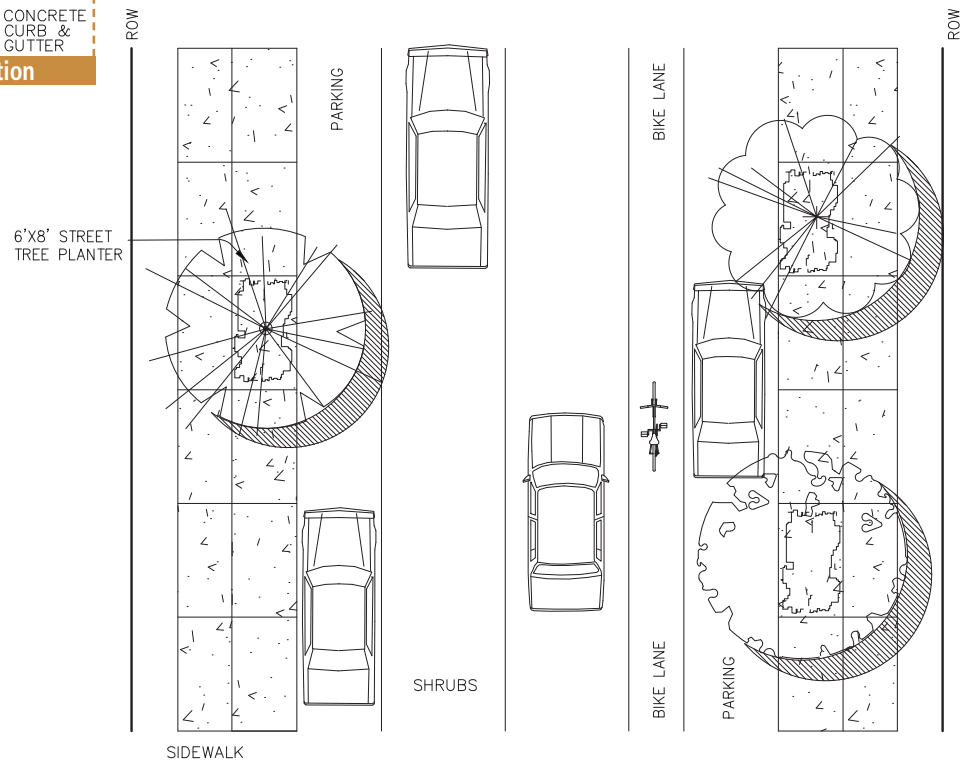


Exhibit 5.7 - Eastbound Main Street (TM Street Section 3)

5.6.2 Westbound Main Street

Main Street serves as the primary east-west connection through the Town Center, providing connections to adjacent neighborhoods and State Route 125. Main Street consists of an urban couplet, an arterial roadway split into two one-way streets. At the edges of the Town Center, the couplet transitions back to currently planned conventional reaches of Main Street. Exhibit 5.8 illustrates the westbound half of the couplet.



Key Map
(N.T.S.)

A. GDP Classification: Town Center Arterial

B. General Dimensions

1. Right-of-Way: 77 feet
2. Curb-to-Curb: 46 feet
3. Median: None

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: No first story elements below 8 feet; 3 feet maximum for elements 8 feet or more above sidewalk; Utilities, outdoor seating, sales, etc. shall not encroach into the 10-foot Village Pathway



D. Modes

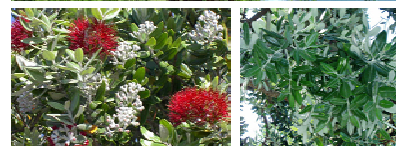
1. Vehicles: 2 travel lanes (1-way, westbound)
2. Parking: Parallel parking (both sides/north side is a future transit reserve)
3. Bike: Class II bike lane (1-way, north side)
4. Pedestrian: Sidewalk (south side)* / Village Pathway (north side)
5. Transit: Future transit reserve (north side)
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph



Koelreuteria bipinnata/ Chinese Flame Tree

E. Landscaping

1. Intensity: High, Urban
2. Street Trees: Metrosideros excelsus/New Zealand Christmas Tree and Koelreuteria bipinnata/Chinese Flame Tree; Planted in tree wells, spaced 35 feet on center
3. Accent Trees: See Section 5.7, Accent Trees
4. Tree Planters: Minimum dimension of 6 feet x 8 feet



Metrosideros excelsus/ New Zealand Christmas Tree

*: Sidewalk may be 5 feet with 4 feet landscape buffer or 9 feet, depending on slope and building orientation. Final design to be determined at design review level.

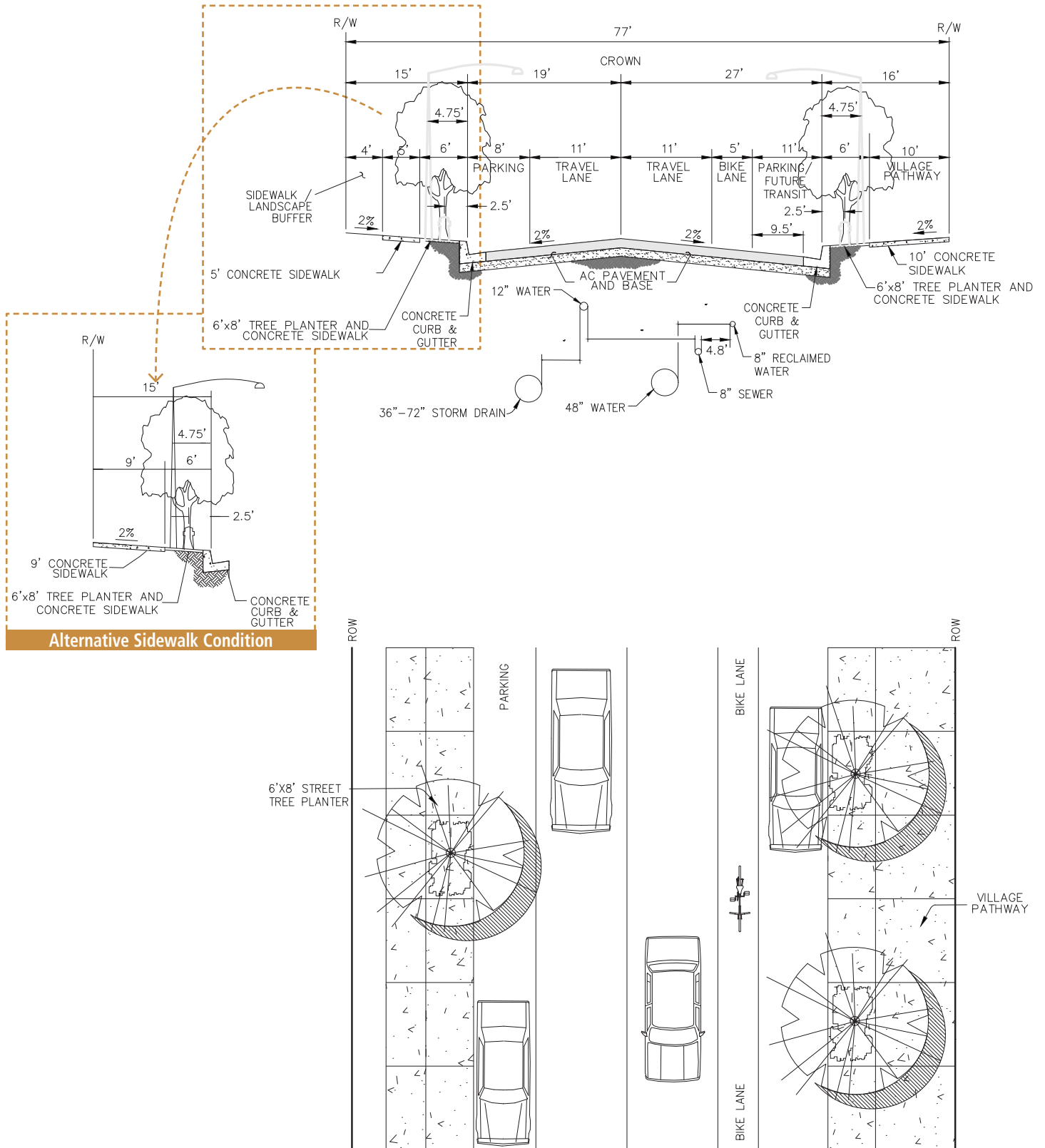


Exhibit 5.8 - Westbound Main Street (TM Street Section 4)

5.6.3 Northbound La Media Parkway

The northbound couplet portion of La Media Parkway serves as the primary north-south connection through the Town Center, providing connections to adjacent neighborhoods. Within this portion of the SPA, La Media Parkway splits into two one-way streets. At the edges of the Town Center, the couplet transitions back to existing La Media Parkway to the North and to the planned two-way street configuration of La Media Parkway described in Section 5.6.5. Exhibit 5.9 illustrates the northbound half of this couplet.



Key Map
(N.T.S.)

A. GDP Classification: Town Center Arterial

B. General Dimensions

1. Right-of-Way: 73 feet
2. Curb-to-Curb: 43 feet
3. Median: None

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: No first story elements below 8 feet; 3 feet maximum for elements 8 feet or more above sidewalk

D. Modes

1. Vehicles: 2 travel lanes (1 way, northbound)
2. Parking: 2 parallel parking lanes (1 on each side)
3. Bike: Class II bike lane (1-way, east side)
4. Pedestrian: Sidewalk (both sides)*
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

1. Intensity: High, Urban
2. Street Trees: *Metrosideros excelsus*/New Zealand Christmas Tree; Planted in tree wells, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees
4. Tree Planters: Minimum dimension of 6 feet x 8 feet



Metrosideros excelsus/ New Zealand Christmas Tree

*: Sidewalk may be 5 feet with 4 feet landscape buffer or 9 feet, depending on slope and building orientation. Final design to be determined at design review level.

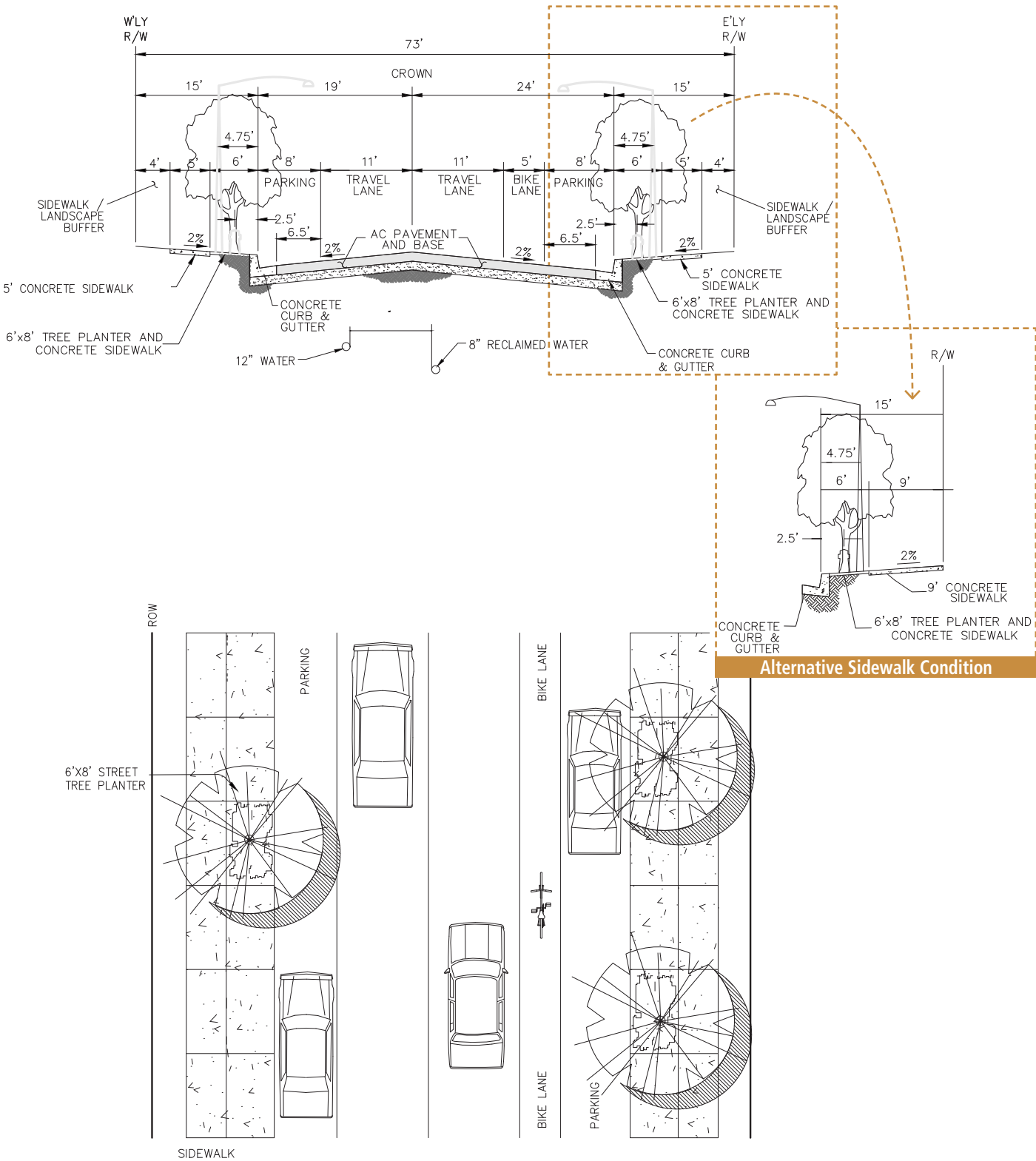


Exhibit 5.9 - Northbound La Media Parkway (TM Street Section 2)

5.6.4 Southbound La Media Parkway

The southbound couplet portion of La Media Parkway serves as the primary north-south connection through the Town Center, providing connections to adjacent neighborhoods. Within this portion of the SPA, La Media Parkway splits into two one-way streets. At the edges of the Town Center, the couplet transitions back to existing La Media Parkway to the north and to the planned two-way street configuration of La Media Parkway described in Section 5.6.5. Exhibit 5.10 illustrates the southbound half of this couplet.



Key Map
(N.T.S.)

A. GDP Classification: Town Center Arterial

B. General Dimensions

1. Right-of-Way: 74 feet
2. Curb-to-Curb: 43 feet
3. Median: None

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: No first story elements below 8 feet; 3 feet maximum for elements 8 feet or more above sidewalk; Utilities, outdoor seating, sales, etc. shall not encroach into the 10-foot Regional Trail.

D. Modes

1. Vehicles: 2 travel lanes (1-way, south bound)
2. Parking: 2 parallel parking lanes (on each side)
3. Bike: Class II bike lane (1-way, west side)
4. Pedestrian: Sidewalk (east side)*
Concrete Regional Trail (west side)
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

1. Intensity: High, Urban
2. Street Trees: *Metrosideros excelsus*/New Zealand Christmas Tree; Planted in tree wells, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees
4. Tree Planters: Minimum dimension of 6 feet x 8 feet



Metrosideros excelsus/ New Zealand Christmas Tree

*: Sidewalk may be 5 feet with 4 feet landscape buffer or 9 feet, depending on slope and building orientation. Final design to be determined at design review level.

5.6.5 Two-Way La Media Parkway

La Media Parkway serves as the primary north-south connection through the SPA, providing connections to adjacent villages, State Route 125, and all neighborhoods in the southern portions of the SPA. The two-way section of La Media Parkway occurs south of the Town Center and consists of a divided two-way arterial roadway. Future BRT lanes are planned in the center median. Exhibit 5.11 illustrates this section.



Key Map
(N.T.S.)

A. GDP Classification: Four Lane Major

B. General Dimensions

1. Right-of-Way: 118 feet
2. Curb-to-Curb: 27 feet in each direction
3. Median: 34 feet

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 2 feet for projections
Length of combined encroachments shall not exceed 50% of the building's frontage

D. Modes

1. Vehicles: 4 travel lanes (2 in each direction)
2. Parking: Emergency parking only
3. Bike: Class II bike lanes (1 in each direction)
4. Pedestrian: Sidewalk (east side)
D.G. Regional Trail (west side)
5. Transit: BRT (in median)
6. LSVs: Not permitted

E. Landscaping

1. Intensity: High
2. Street Trees: Albizzia julibrissin/Silk Tree; Planted in landscaped parkways and median, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees



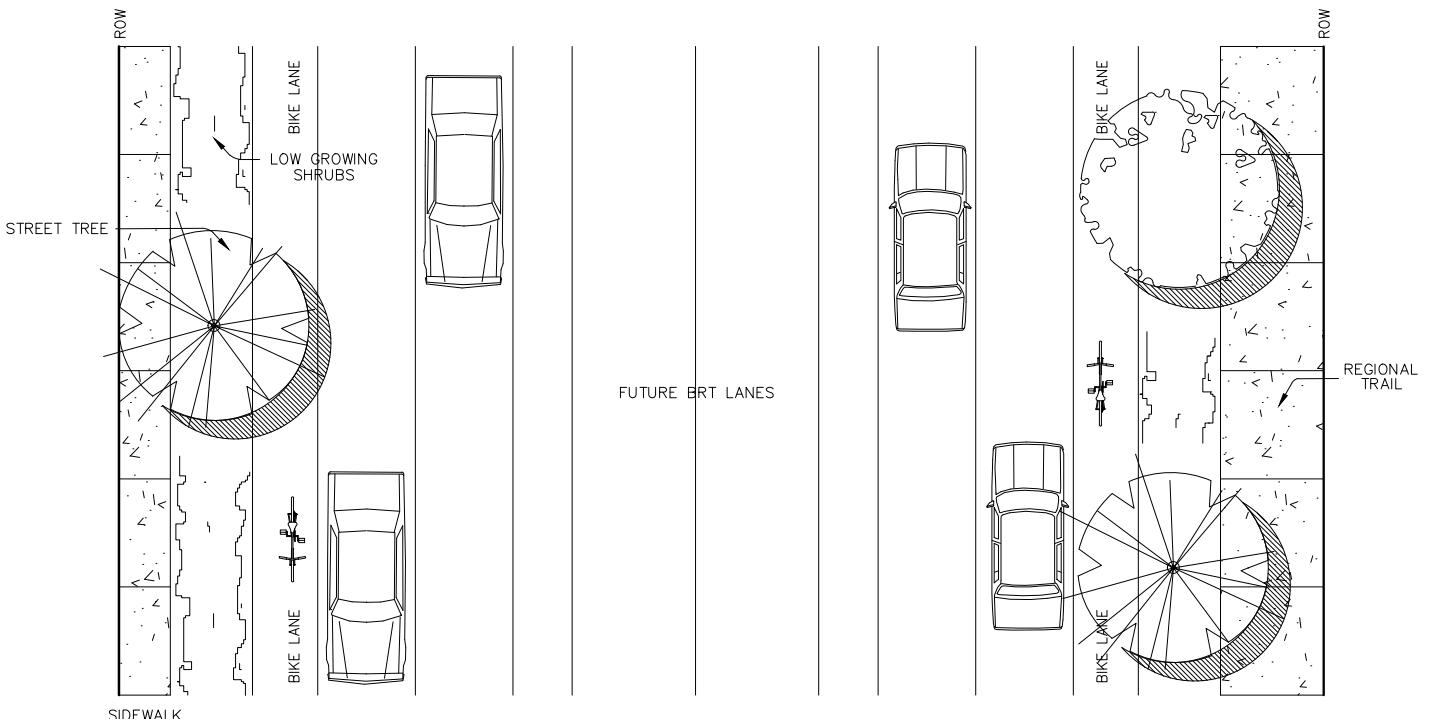
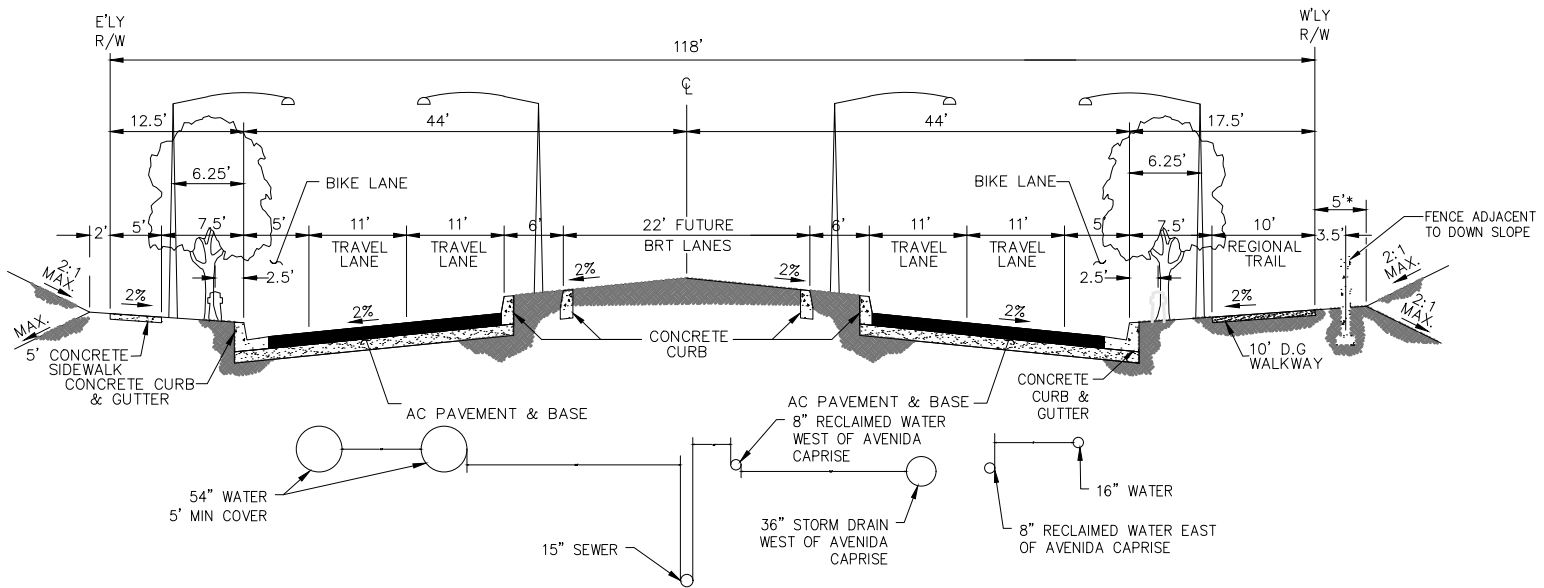


Exhibit 5.11 - Two Way La Media Parkway (TM Street Section 10)

5.6.6 Avenida Caprise (Between Eastbound and Westbound Main Street)

Avenida Caprise provides a secondary north-south connection through the SPA. This street connects residential neighborhoods in the southern portions of the SPA to the Town Center. Exhibit 5.12 illustrates this street section between eastbound and westbound Main Street.



Key Map
(N.T.S.)

A. GDP Classification: Residential Collector

B. General Dimensions

1. Right-of-Way: 63 feet
2. Curb-to-Curb: 32 feet
3. Median: None

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: No first story elements below 8 feet; 3 feet maximum for elements 8 feet or more above sidewalk; Encroachments; Utilities, outdoor seating, sales, etc. shall not encroach into the 10-foot Village Pathway

D. Modes

1. Vehicles: 2 travel lanes (1 in each direction)
2. Parking: No parking
3. Bike: Class II bike lanes (1 in each direction)
4. Pedestrian: Sidewalk (west side)*
Village Pathway (east side)
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

1. Intensity: Medium
2. Street Trees: *Melaleuca linariifolia* / Flaxleaf Paperbark;
Planted in tree wells, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees



Melaleuca linariifolia / Flaxleaf Paperbark

*: Sidewalk may be 5 feet with 4 feet landscape buffer or 9 feet, depending on slope and building orientation. Final design to be determined at design review level.

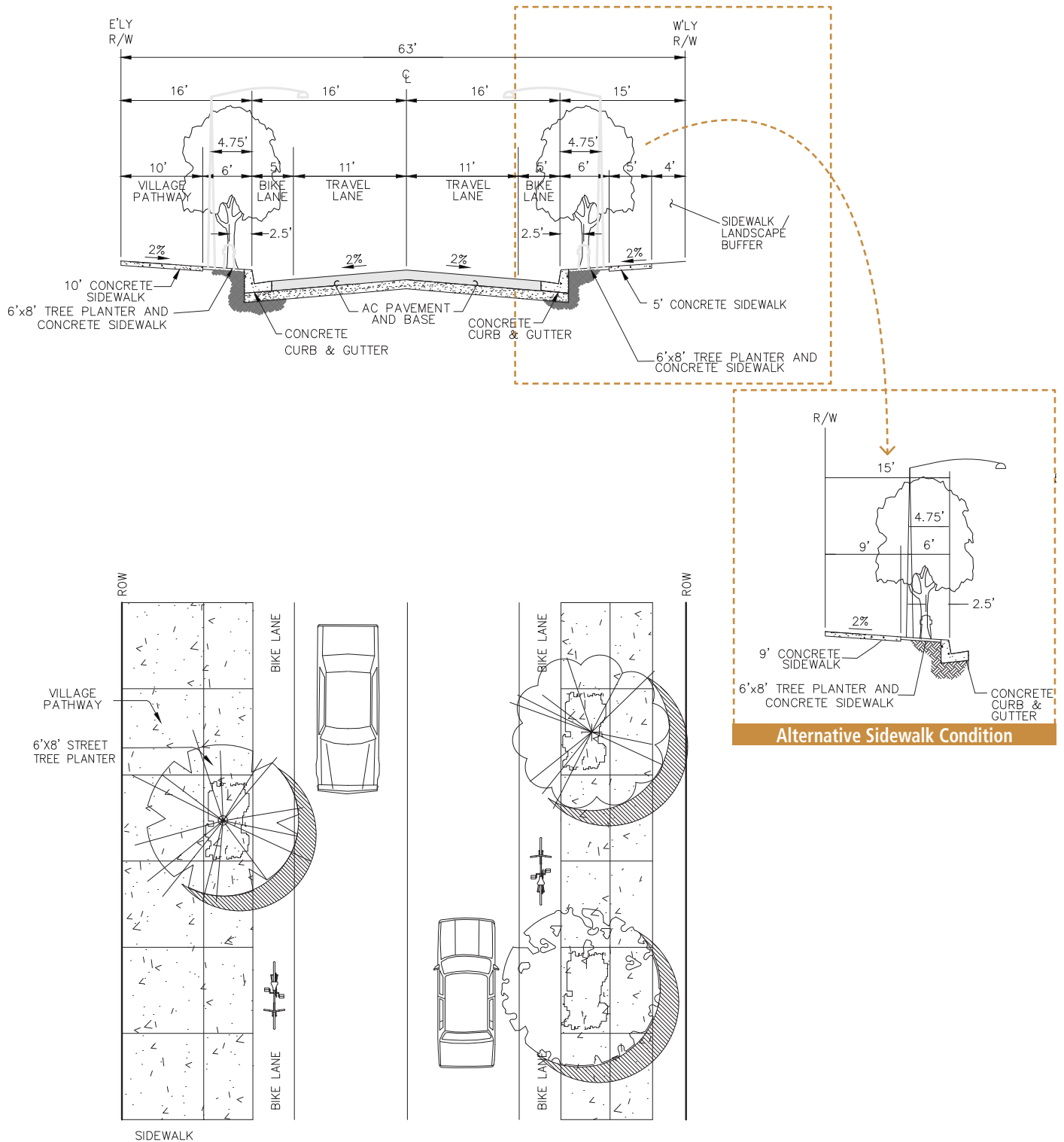


Exhibit 5.12 - Avenida Caprise (Between Eastbound and Westbound Main Street) (TM Street Section 5)

5.6.7 Avenida Caprise (Between Main Street and Calle Escuela)

Avenida Caprise provides a secondary north-south connection through the SPA. This street connects residential neighborhoods in the southern portions of the SPA to the Town Center. Exhibit 5.13 illustrates this street section between Main Street and Calle Escuela.



Key Map (N.T.S.)

A. GDP Classification: Residential Collector

B. General Dimensions

1. Right-of-Way: 89 feet
2. Curb-to-Curb: 58 feet
3. Median: 10 feet (2-way left turn lane)

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 5 feet for Outdoor Living Spaces
2 feet for projections
Length of combined encroachments shall not exceed 50% of the building's frontage
Encroachments into the Village Pathway are prohibited

D. Modes

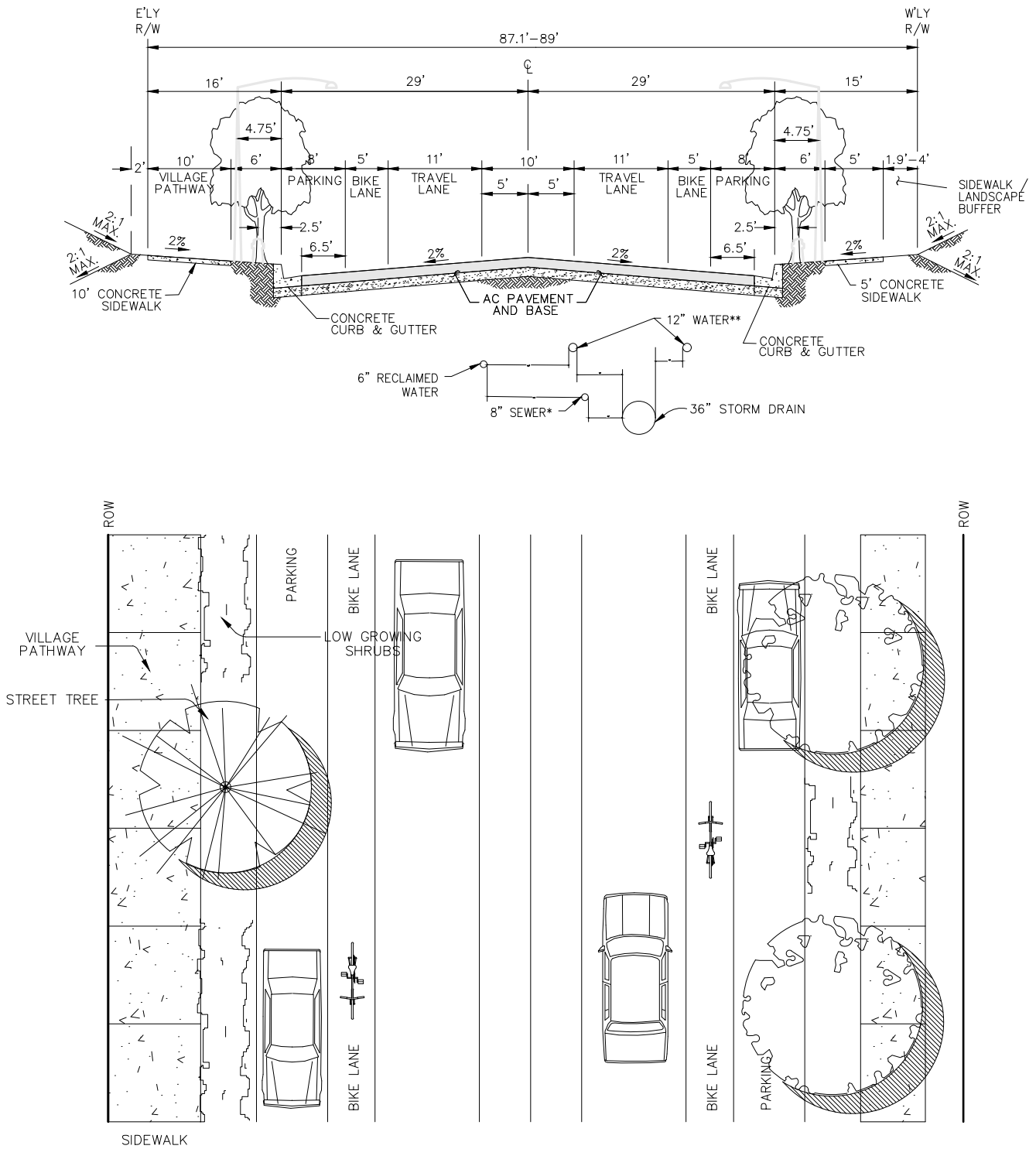
1. Vehicles: 2 travel lanes (1 in each direction)
2. Parking: Parallel Parking (both sides)
3. Bike: Class II bike lanes (1 in each direction)
4. Pedestrian: Sidewalk (west side)*
Village Pathway (east side)
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph



Melaleuca linariifolia / Flaxleaf Paperbark

E. Landscaping

1. Intensity: Medium
2. Street Trees: Melaleuca linariifolia / Flaxleaf Paperbark;
Planted in tree wells, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees



**Exhibit 5.13 - Avenida Caprise (Between Main Street and Calle Escuela)
(TM Street Section 6)**

5.6.8 Avenida Caprise (Between Calle Escuela and La Media Parkway)

Avenida Caprise provides a secondary north-south connection through the SPA. This street connects residential neighborhoods in the southern portions of the SPA to the Town Center. Exhibit 5.14 illustrates this street section between Calle Escuela and La Media Parkway.



Key Map
(N.T.S.)

A. GDP Classification: Residential Collector

B. General Dimensions

1. Right-of-Way: 80 feet
2. Curb-to-Curb: 58 feet
3. Median: 10 feet (2-way left turn lane)

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 5 feet for Outdoor Living Spaces
2 feet for projections
Length of combined encroachments shall not exceed 50% of the building's frontage

D. Modes

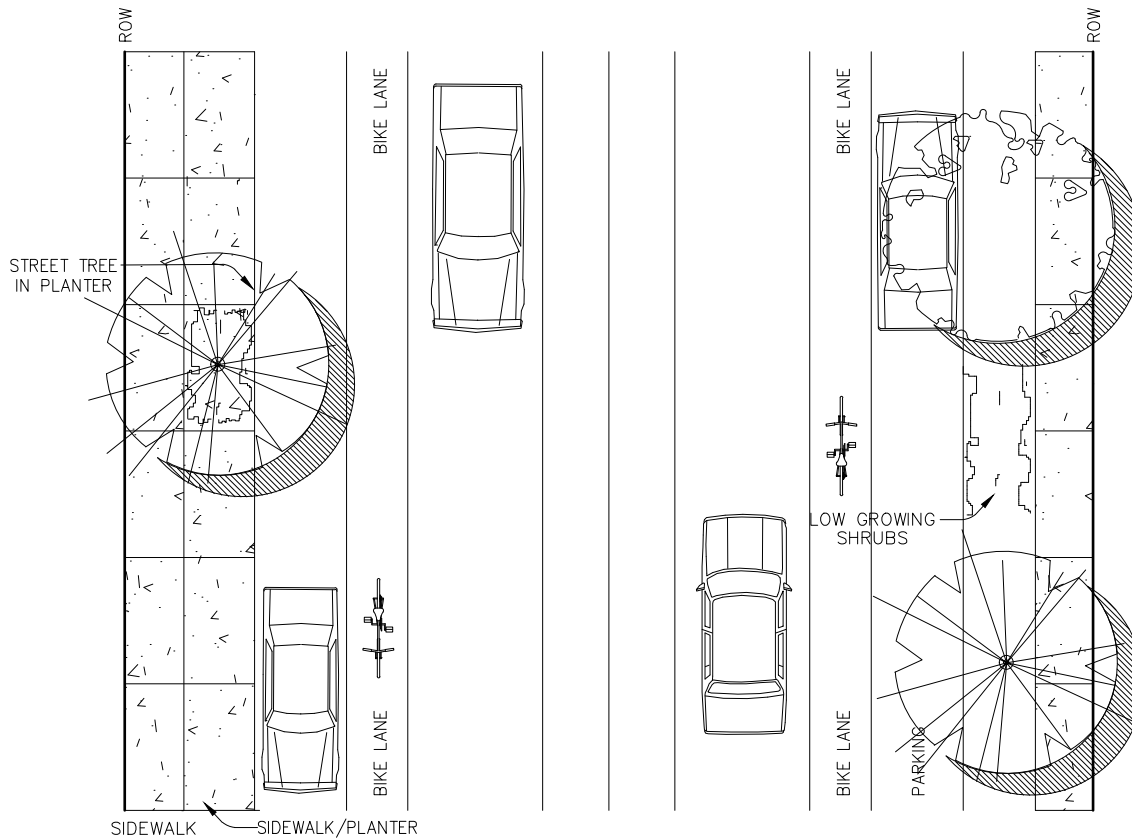
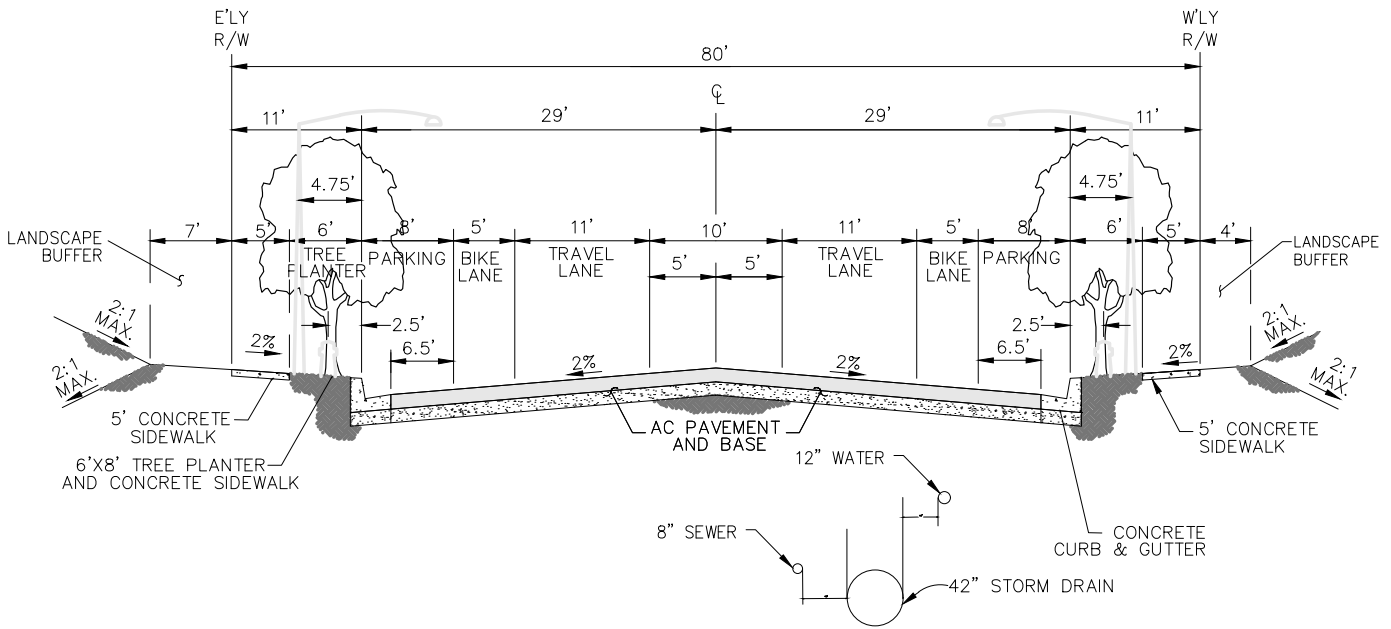
1. Vehicles: 2 travel lanes (1 in each direction)
2. Parking: Parallel Parking (both sides)
3. Bike: Class II bike lanes (1 in each direction)
4. Pedestrian: Sidewalk (both sides)
Sidewalk to be widened to 11 feet with 6'x 8' tree planters along the school frontage.
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph



Melaleuca linariifolia / Flaxleaf Paperbark

E. Landscaping

1. Intensity: Medium
2. Street Trees: Melaleuca linariifolia / Flaxleaf Paperbark;
Planted in parkway, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees



**Exhibit 5.14 - Avenida Caprise (Between Calle Escuela and La Media Parkway)
(TM Street Section 7)**

5.6.9 Avenida Caprise (South of La Media Parkway)

Avenida Caprise provides a secondary north-south connection through the SPA. This street connects residential neighborhoods in the southern portions of the SPA to the Town Center. Exhibit 5.15 illustrates this street section.



Key Map
(N.T.S.)

A. GDP Classification: Residential Collector

B. General Dimensions

1. Right-of-Way: 89 feet
2. Curb-to-Curb: 58 feet
3. Median: 10 feet (2-way left turn lane)

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 5 feet for Outdoor Living Spaces
2 feet for projections
Length of combined encroachments shall not exceed 50% of the building's frontage

D. Modes

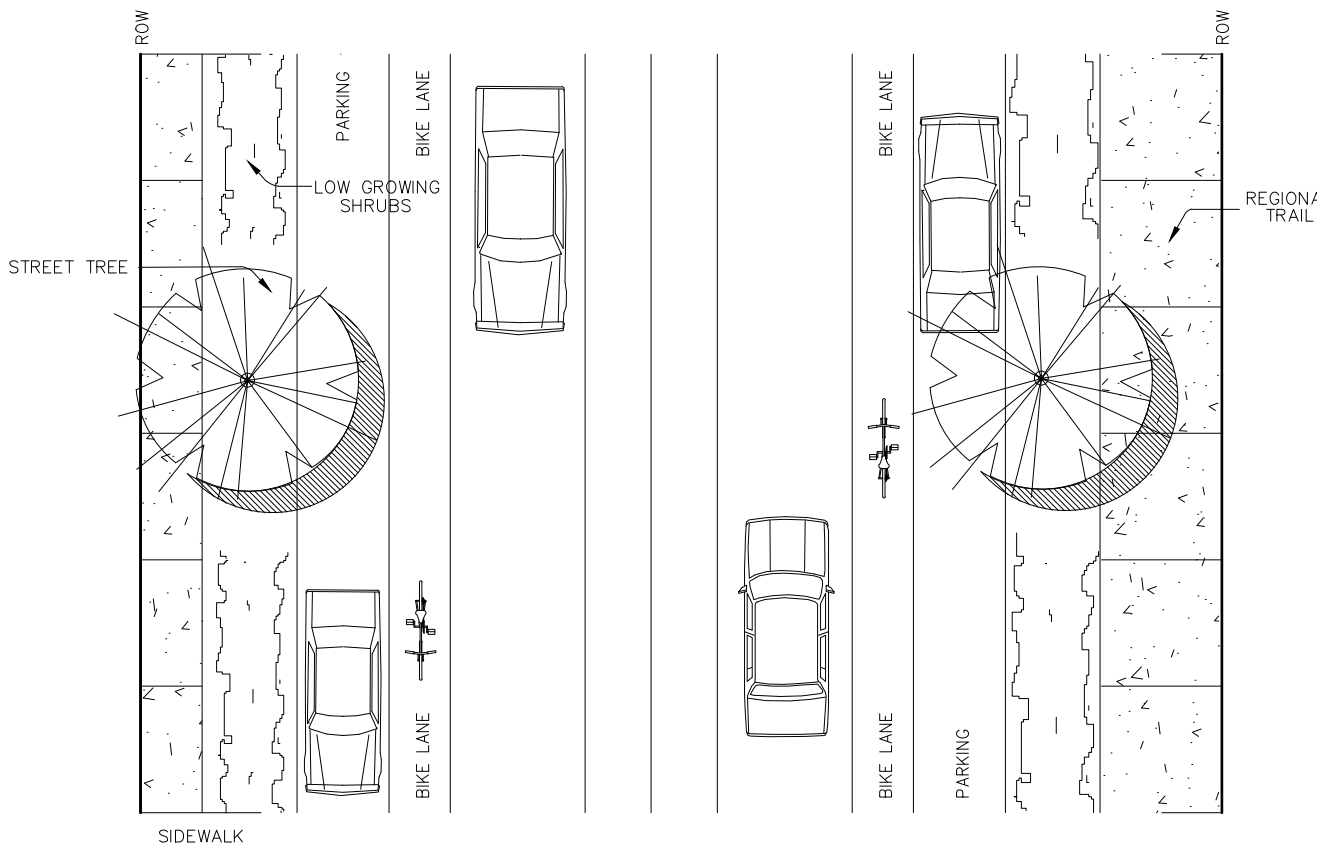
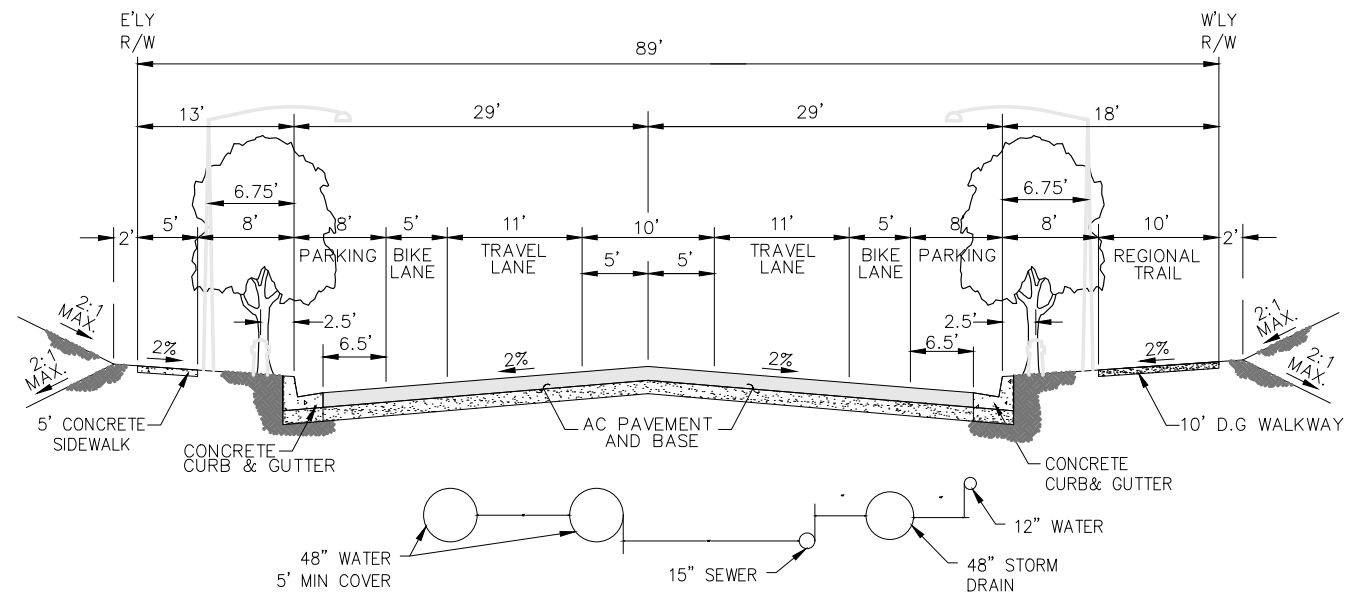
1. Vehicles: 2 travel lane (1 in each direction)
2. Parking: Parallel parking lane (both sides)
3. Bike: Class II bike lanes (both sides)
4. Pedestrian: Sidewalk (west side)
DG Regional Trail (east side)
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

1. Intensity: Medium
2. Street Trees: *Melaleuca linariifolia* / Flaxleaf Paperbark;
Planted in parkway, spaced 40' on center
3. Accent Trees: See Section 5.7, Accent Trees



Melaleuca linariifolia / Flaxleaf Paperbark



**Exhibit 5.15 - Avenida Caprise (South of La Media Parkway)
(TM Street Section 8)**

5.6.10 Avenida Caprise (South of Calle Mayfair)/ Utility Access Road

This section of Avenida Caprise extends to the edge of the SPA boundary, a dedicated public right-way provides for future access to the Otay Valley Regional Park (OVRP). As part of this SPA, a regional trail (a multi-use trail for bicycles, pedestrians, and other non-motorized modes of transportation) will be constructed within the right-of-way. This trail will function as a dual purpose maintenance road on an interim basis for the sewer line that connects the SPA to the Salt Creek Interceptor and as a primary connection from the Village 8 West to the greenbelt/OVRP trail to the south. Exhibit 5.16 Illustrates the access road/regional trail section. This corridor is also the future extension of Avenida Caprise per the Village 8 East SPA Plan/TM.



Key Map
(N.T.S.)

A. GDP Classification: Not identified at the GDP level

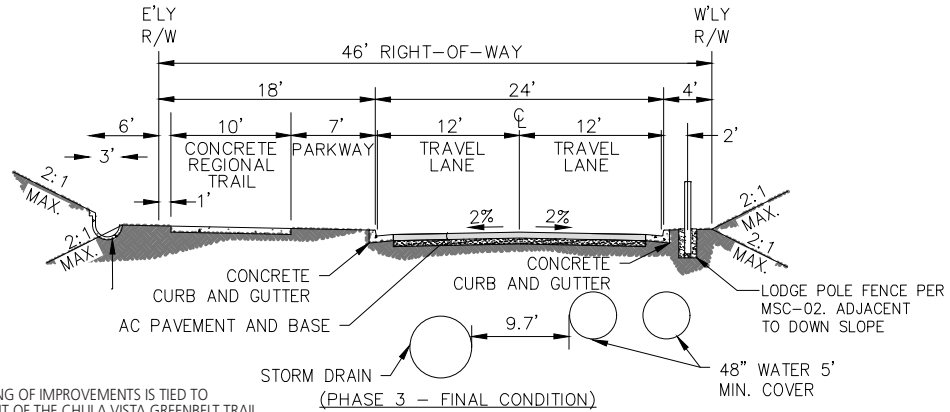
B. General Dimensions

1. Right-of-Way: 46 feet
2. Curb-to-Curb: 24 feet

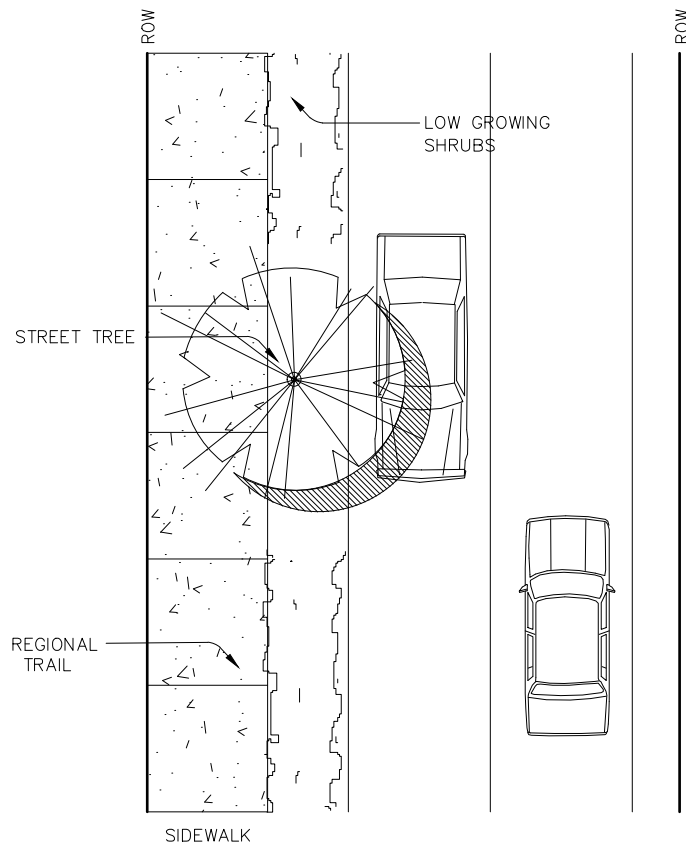
C Modes

1. Vehicles: 2 travel lanes (1 in each direction)
2. Parking: None
3. Bike: Shared with vehicle and Regional Trail (east side)
4. Pedestrian: Regional Trail (east side)
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

D. Landscaping: See Chapter 7, Parks and Open Space; Signage shall be designed pursuant to the Chula Vista MSCP Plan.



NOTE: PHASING OF IMPROVEMENTS IS TIED TO DEVELOPMENT OF THE CHULA VISTA GREENBELT TRAIL (PHASE 2 IMPROVEMENTS) AND THE OTAY RANCH SOUTH COMMUNITY PARK (PHASE 3 FINAL IMPROVEMENTS). HOWEVER THE APPLICANT MAY DEVELOP THE PHASE 3 FINAL IMPROVEMENTS PRIOR TO THE DEVELOPMENT OF THE OTAY RANCH COMMUNITY PARK AT THEIR DISCRETION. SEE TM STREET SECTIONS 12 AND 14 FOR ADDITIONAL DETAILS.



**Exhibit 5.16 - Avenida Caprise (South of Calle Mayfair)
(TM Street Section 14)**

5.6.11 Calle Escuela

Calle Escuela provides a secondary connection to Village 8 East. The width of the street is designed to conform to the proposed street sections of the adjacent property. Exhibit 5.17 illustrates this section.



Key Map
(N.T.S.)

A. GDP Classification: Residential Collector

B. General Dimensions

1. Right-of-Way: 85 feet
2. Curb-to-Curb: 58 feet
3. Median: 10 feet (2-way left turn lane)

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 5 feet for Outdoor Living Spaces
2 feet for projections
Length of combined encroachments shall not exceed 50% of the building's frontage
Encroachments into the Village Pathway are not permitted

D. Modes

1. Vehicles: 2 travel lanes (1 in each direction)
2. Parking: Parallel parking lane (both sides)
3. Bike: Class II bike lanes (both sides)
4. Pedestrian: Sidewalk (north side)
Village Pathway (south side)
Concrete Village Pathway to be widened to 16' with 6' x 8' tree planters along school frontage.
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

1. Intensity: Medium
2. Street Trees: Lagerstroemia indica/Crape Myrtle;
Planted in tree wells, spaced 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees



Lagerstroemia indica/ Crape Myrtle

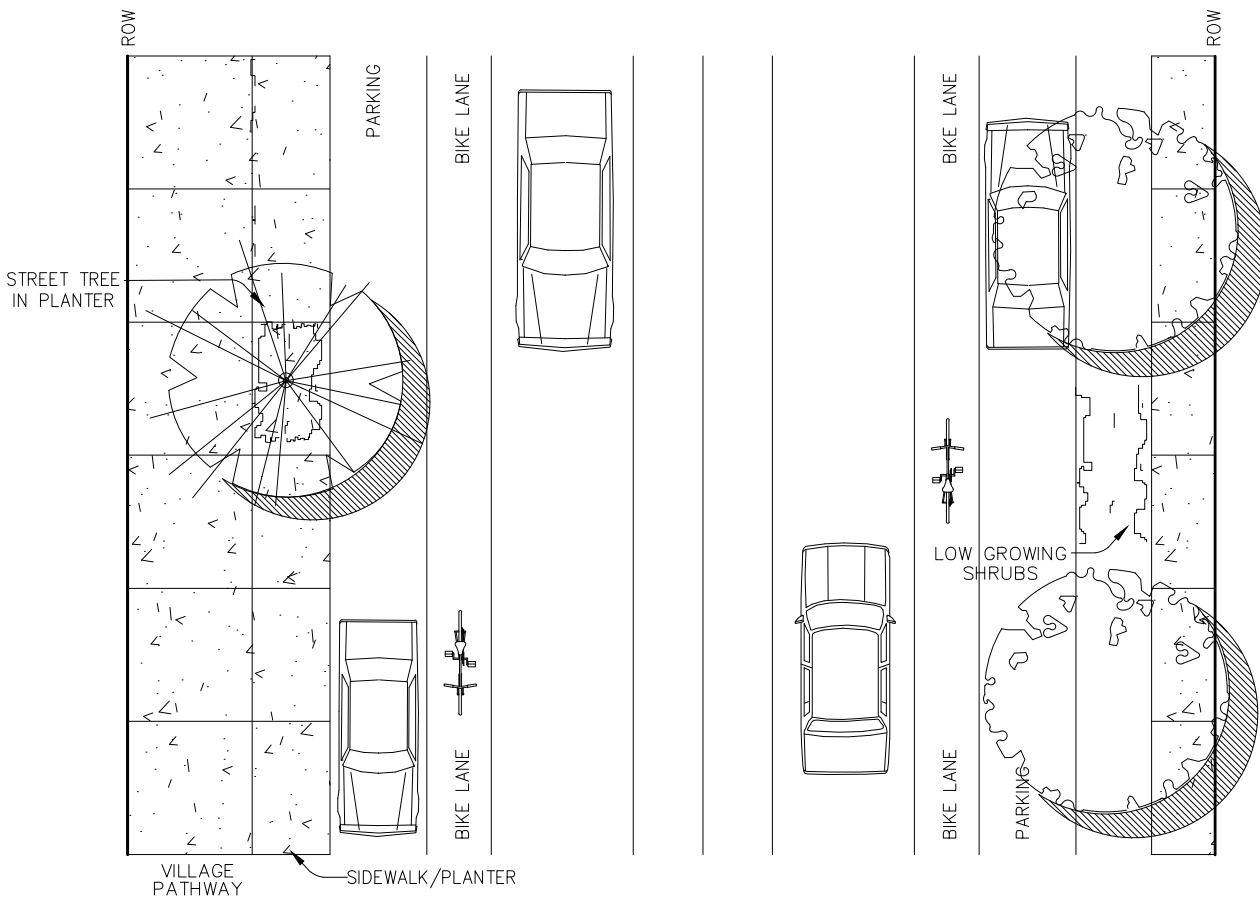
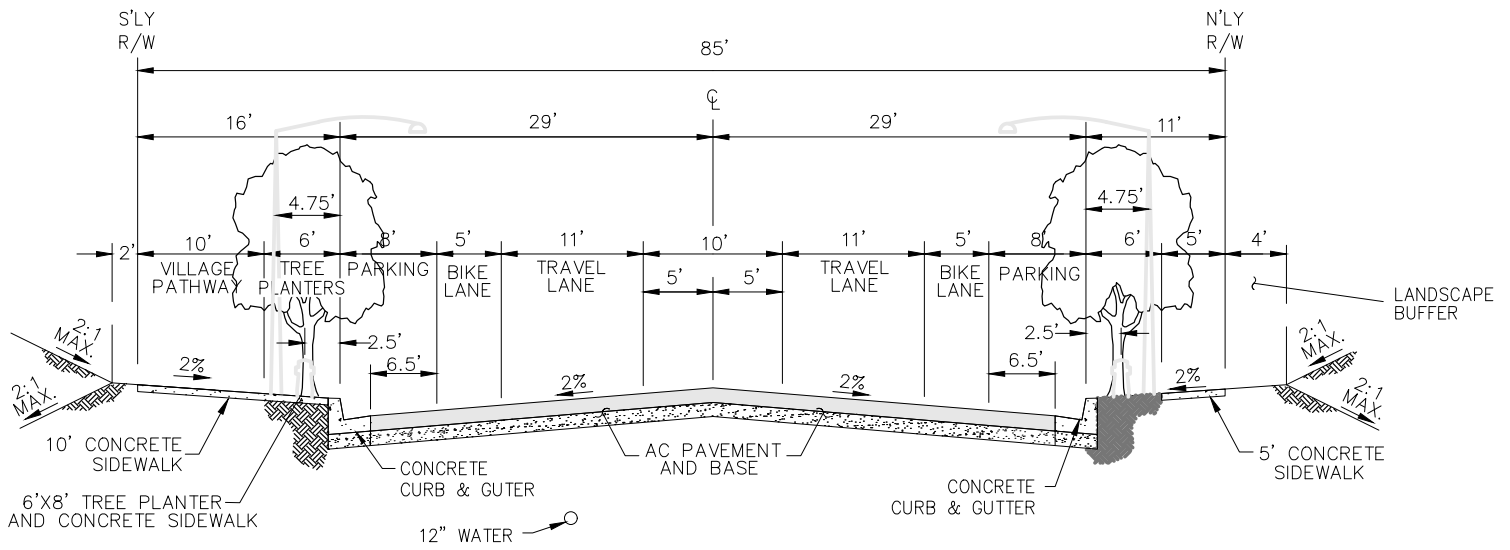


Exhibit 5.17 - Calle Escuela (TM Street Section 9)

5.6.12 Parkway Residential

Parkway residential streets are public streets that occur in the residential neighborhoods of the T-2 Transect as indicated by the hatch pattern on the key map. The exact alignment of these streets will be determined by the Tentative Map(s) for these areas. Parkway residential street patterns shall be designed to maximize connectivity within individual neighborhoods and promote walkability. Cul-de-sacs shall be designed to provide pedestrian connections between dead end streets and adjacent planning areas or open space trails as appropriate to site conditions. Exhibit 5.18 Illustrates this section. Private residential streets shall be reviewed as part of the site plan review of individual projects.



Key Map
(N.T.S.)

A. GDP Classification: Parkway Residential

B. General Dimensions

1. Right-of-Way: 58 feet
2. Curb-to-Curb: 32 feet
3. Median: None

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 2 feet for Outdoor Living Spaces / 2 feet for projections

D. Modes

1. Vehicles: 2 travel lanes (1 in each direction)
2. Parking: Parallel parking lanes (both sides)
3. Bike: Shared with vehicle and parking lanes
4. Pedestrian: Sidewalk (both sides)
5. Transit: None proposed
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

E. Landscaping

1. Intensity: Low
2. Street Trees: Varies by Parcel (See page 5-38):
 - Parcel V: Quercus ilex/Holly Oak
 - Parcel P: Lophostemon coneferus/Brisbane Box or Koelreuteria bipinnata/ Chinese Flame Tree
 - Parcel N: Koelreuteria bipinnata/Chinese Flame Tree, Geijera parvifolia/ Australian Willow or Jacaranda mimosifolia/ Jacaranda
 Planted in Parkway, spaced 1 tree for each building frontage or 40 feet on center
3. Accent Trees: See Section 5.7, Accent Trees

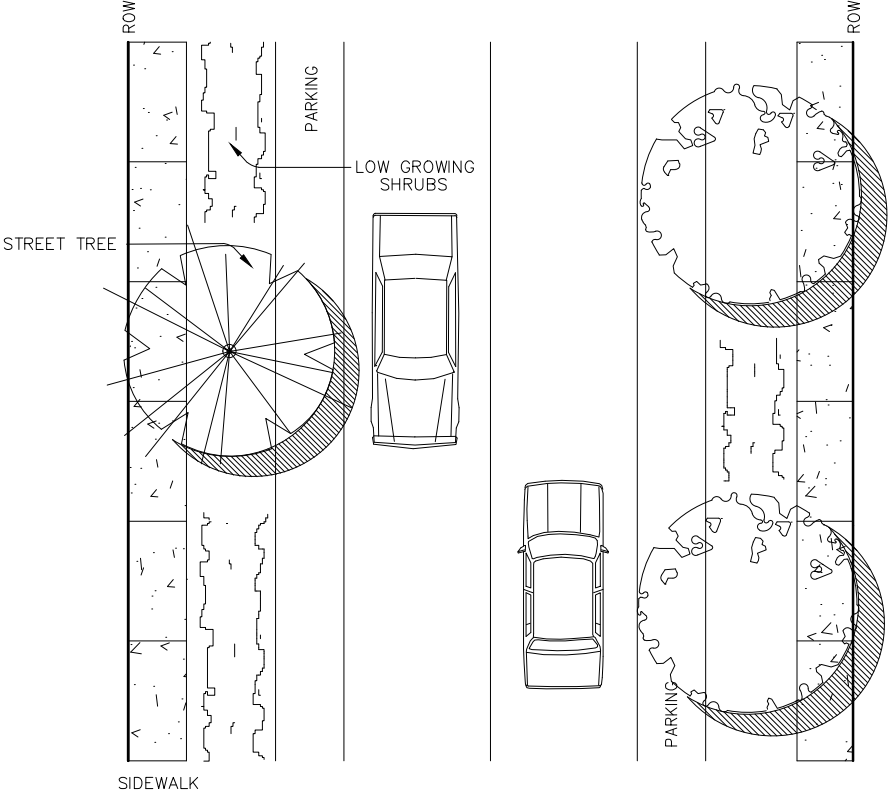
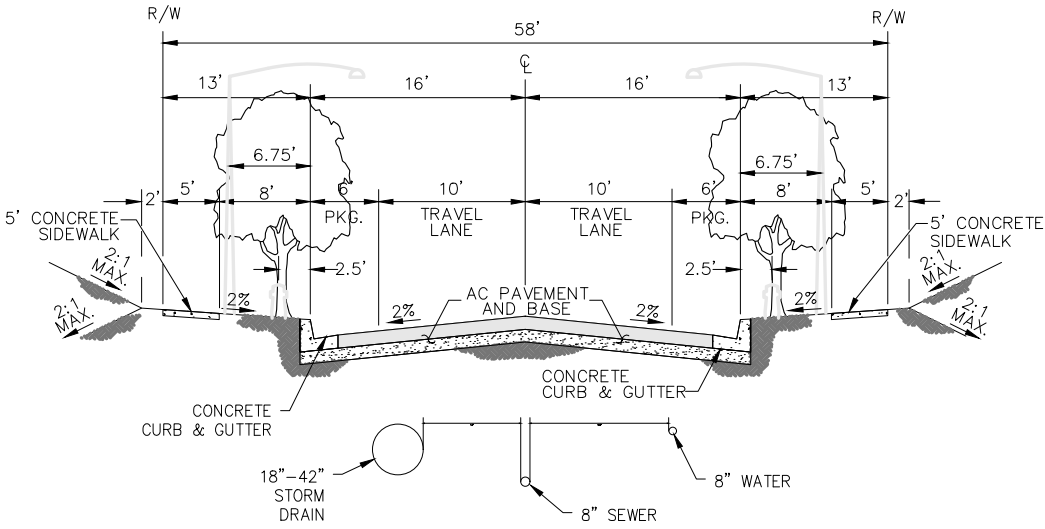


Exhibit 5.18 - Parkway Residential (TM Street Section 11)

Parkway Residential Trees



Jacaranda mimosifolia / Jacaranda



Lophostemon confertus / Brisbane Box



Geijera parviflora / Australian Willow



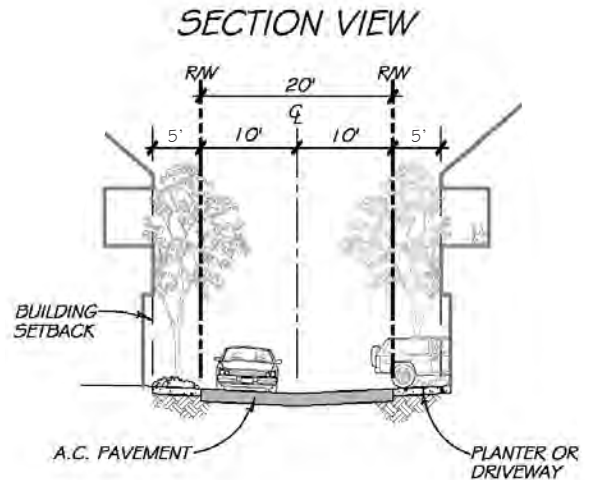
Koelreuteria bipinnata / Chinese Flame Tree



Quercus ilex / Holly Oak

5.6.13 Common Lane

Common lanes are private alleyways that occur in the neighborhoods of any transect to provide access to rear-loaded garages and parking. The exact location and alignment of these streets will be determined by the site plans for individual Planning Areas. Exhibit 5.19 Illustrates this section.



A. GDP Classification: Alley Street

B. General Dimensions

1. Right-of-Way: 20 feet
2. Curb-to-Curb: 20 feet
3. Median: None

C. Building Frontage

1. Setbacks: See Table 3.1: Residential Development Standards Summary
2. Encroachments: 0 feet first story/
2 feet for second story

D. Modes

1. Vehicles: 2 travel lanes
(1 in each direction)
2. Parking: Parallel and perpendicular parking where appropriate; Parking shall not encroach into travel lanes
3. Bike: None
4. Pedestrian: None
5. Transit: None
6. LSVs: Permitted in vehicle travel lanes if speed is less than 35 mph

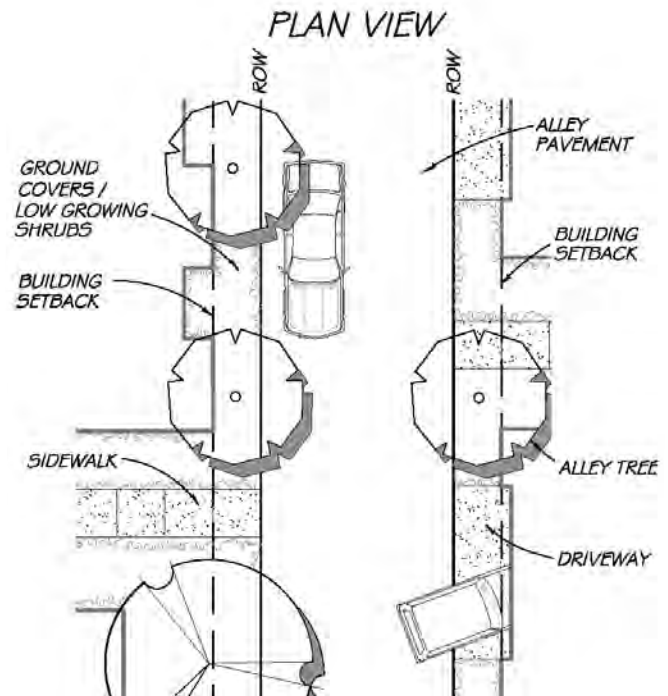


Exhibit 5.19 - Common Lane

E. Landscaping

1. Intensity: Low
2. Street Trees: Varies by planning area (To be determined by the landscape palette for the planning area); Planted between buildings and other locations where space is available
3. Accent Trees: Lane landscaping will consist primarily of ground covers, shrubs, and vines to soften the appearance of the alley (Species to be determined by the landscape palette for the planning area)

5.6.14 25' Easement and Utility Access Road

At the edge of Parcel V and extending to the southern most portion of Avenida Caprise, is a dedicated utility access road with pavement as well as permeable gravel. This utility road will function as a maintenance road for utilities. Exhibit 5.20 Illustrates the easement and utility access road and may also function as a Neighborhood Trail.



Key Map
(N.T.S.)

A. GDP Classification: Not identified at the GDP level

B. General Dimensions: 12 feet of paving
25 foot easement

C Modes

- 1. Vehicles: Maintenance and emergency vehicles only
- 2. Bike: Yes
- 3. Pedestrian: Yes
- 4. Transit: No
- 5. LSVs: No

D. Landscaping: See Chapter 7, Parks and Open Space; Signage shall be designed pursuant to the Chula Vista Greenbelt Master Plan

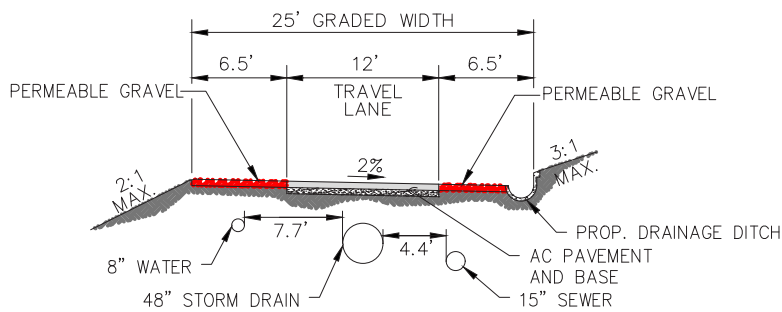


Exhibit 5.20 - 25' Easement and Utility Access Road (TM Street Section 14)

5.6.15 Neighborhood Trail

Neighborhood trails occur along interior slopes, connecting adjacent planning areas where steep slopes prevent direct roadway connections. The intent of these trails is to promote walkability by creating shorter travel distances between neighborhoods, and enjoyable recreational opportunities separated from vehicles. Topography in this portion of the SPA requires trails to be relatively narrow and grades to be relatively steep. While every effort should be made to provide accessibility, designing portions of these trails to meet handicap accessibility standards is not feasible. In locations where accessibility standards cannot be achieved, signage shall be posted notifying the public that these trails are not accessible. Exhibit 5.21 - Neighborhood Trail Illustrates this trail section.



Key Map
(N.T.S.)

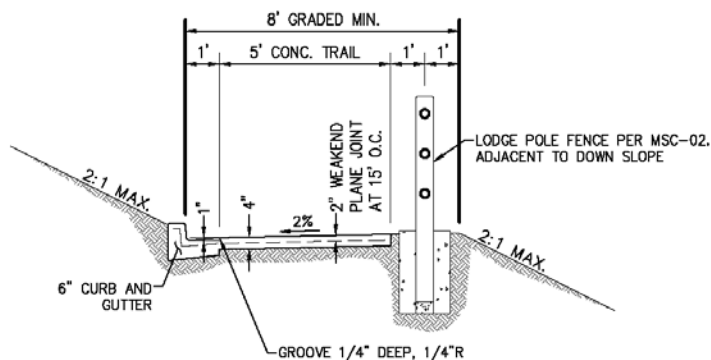
A. GDP Classification: Not identified at the GDP level

B. General Dimensions: 5 feet minimum

C. Modes

- 1. Vehicles: No
- 2. Bike: Yes
- 3. Pedestrian: Yes
- 4. Transit: No
- 5. LSVs: No

D. Landscaping: See Chapter 7, Parks and Open Space



- NOTE:
- 1) APPROPRIATE SIGNAGE SHALL BE PROVIDED AT EACH APPLICABLE NEIGHBORHOOD TRAIL HEAD WHENEVER TRAIL SLOPE GRADIENTS ARE NOT COMPLIANT WITH ADA THRESHOLDS.
 - 2) CONCRETE TO BE 520-C-2500

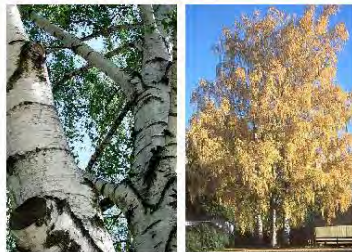
Exhibit 5.21 - Neighborhood Trail

5.7 ACCENT TREES

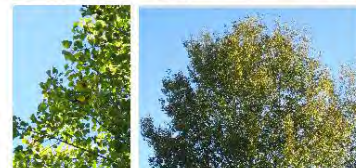
This section provides photographic examples of the various accent tree species that may be used to complement the landscape throughout Village 8 West. All accent trees shall be coordinated with the appropriate City departments and shall comply with the Village 8 West Preserve Edge Plan, the Village 8 West Fire Protection Plan, and the Model Water Conservation Ordinance.



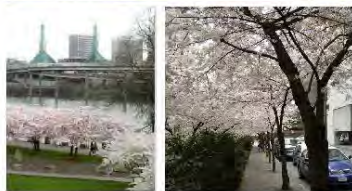
Betula pendula/European White Birch



Erythrina coralloides/Naked Coral



Populus fremontii 'Nevada'/Fremont Cottonwood



Prunus x. y. 'Akebono'/Akebono Flowering Cherry

5.8 TRAFFIC CALMING

Traffic calming measures promote pedestrian and bicycle safety as well as vehicle safety by controlling the speed and distribution of vehicles travelling through the SPA. All proposed traffic calming features shall require City and Fire Department approval prior to installation. Traffic calming measures implemented in Village 8 West include the following:

A. Intersection Bulb-outs

Intersection bulb-outs are described as intersections where the face of curb is projected into the parking lane to narrow the through travel way at the intersection. Bulb outs are incorporated into the street design by replacing parking at the intersection with sidewalk and planting areas as shown in Exhibit 5.22 - Typical Intersection Bulb-outs. This configuration creates a narrowing of the travel way and tighter turning movements, forcing the driver to slow down. In addition, bulb-outs improve pedestrian visibility and shorten crossing distances, furthering pedestrian safety. Exhibit 5.23 - Traffic Calming illustrates the conceptual location of intersection bulb-outs in Village 8 West.

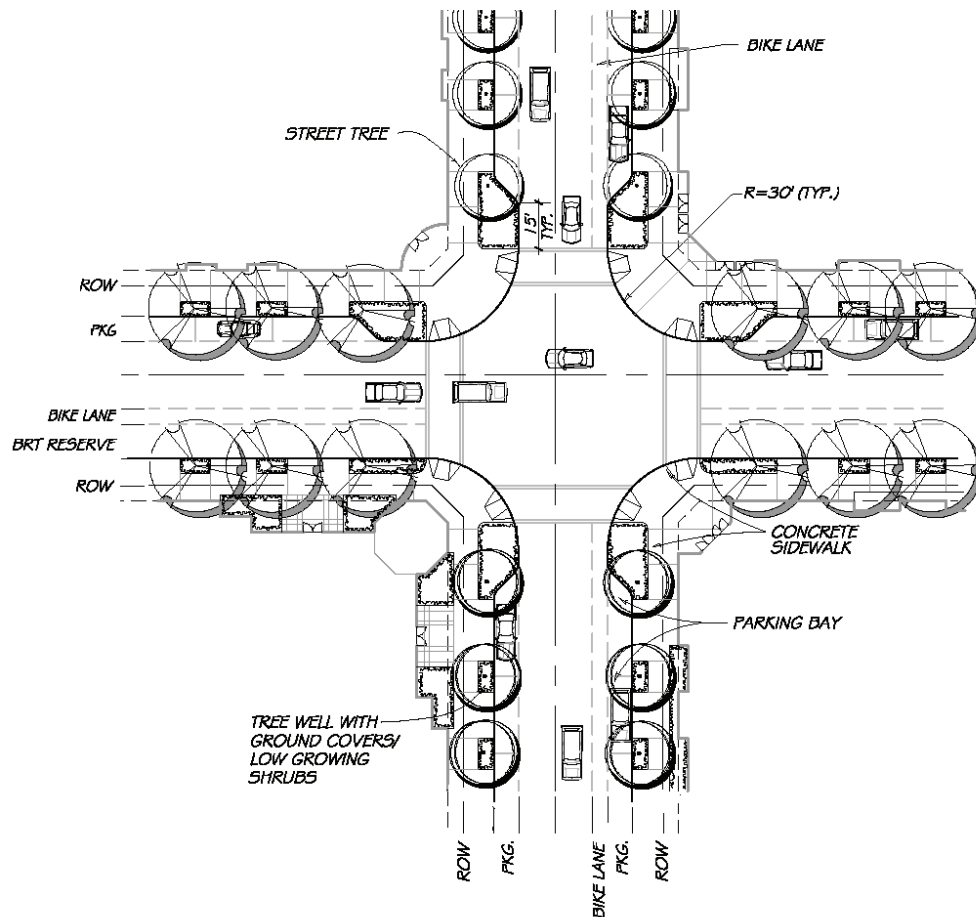


Exhibit 5.22 - Typical Intersection Bulb-outs

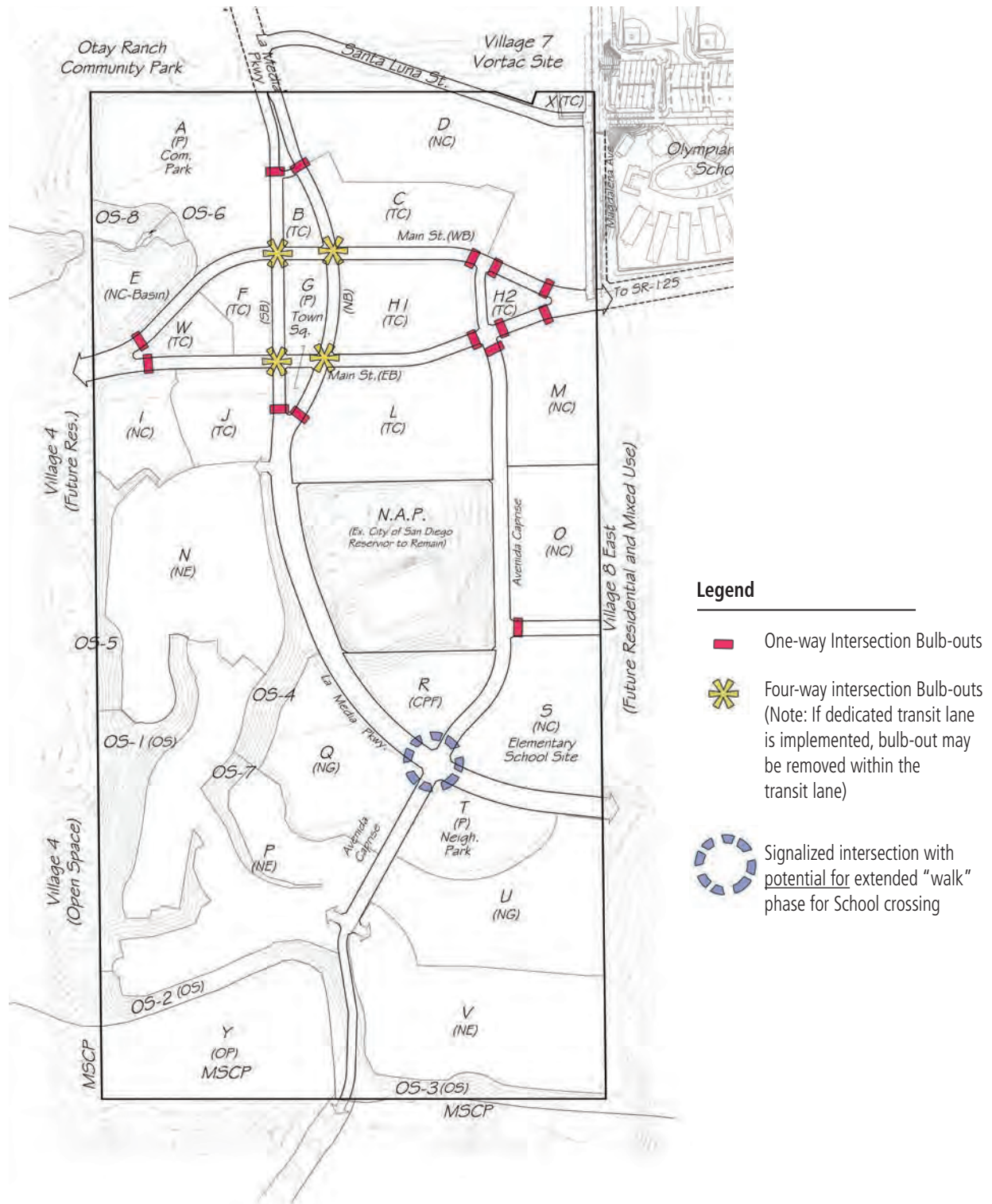


Exhibit 5.23 - Traffic Calming

B. Urban Couplet

The Town Center Arterials have been designed as urban couplets and extend through the heart of the Town Center as Main Street and La Media Parkway. These couplets act as a traffic calming devices by separating the arterial roadway into two one-way roadways. The two one-way roads that make up the couplet are able to handle similar volumes of traffic as a traditional two-way arterial; however, the narrower street section creates a more pedestrian oriented environment, activating the street, and changing the driver's perception and comfort level. Furthermore, the couplet has the additional benefit of reducing left turn delays and creating safer turning movements at each intersection, which benefits automobile drivers, bicyclists, and pedestrians.

C. Narrow, Multi-Modal Streets

Narrow, multi-modal streets calm traffic by changing the perception of the vehicle driver. Narrow lanes and the presence of bicycles and buses on the road reduces the comfort level of vehicle drivers, thereby causing them to drive more slowly and cautiously. This creates a safer environment for all modes of transportation, including pedestrians, by heightening the driver's awareness.

D. Multiple Connections

The circulation pattern for Village 8 West is designed with multiple connections to more evenly distribute traffic, resulting in calmer streets. Multiple connections provide alternate route options, thereby distributing traffic throughout the network rather than funneling all traffic onto one single roadway. Numerous intersections also require vehicles to travel more slowly and make frequent stops, thereby calming traffic further.

E. On-Street Parking

On-street parking contributes to traffic calming by slowing traffic down as drivers search for available parking spaces and enter or leave on-street parking spaces. On-street parking also contributes to pedestrian safety and comfort by creating a buffer between moving traffic and pedestrians, reducing the level of perceived noise on the sidewalk, and reducing the need for alternative parking locations such as surface lots and parking garages. Finally, on-street parking promotes successful retail businesses and pedestrian activity by providing convenient and efficient access to parking and allowing multiple users to reach multiple destinations. Areas with increased activity require drivers to slow down and be more alert of potential conflict with pedestrians.

F. School Crossing

A signalized intersection will be located at the intersection of Avenida Caprise and La Media Parkway, as shown in Exhibit 5.23 - Traffic Calming, to allow safer pedestrian crossing for school children traveling between the elementary school and residential neighborhoods south of La Media Parkway. A signalized intersection provides for a safer school crossing than an unsignalized crossing. The pedestrian crossing time will be set based on the width of the intersection and a walking speed of 4 fps. The "Walk" Phase could be set longer to ensure sufficient time for pedestrians to cross. The signal will allocate time during the cycle to pedestrians and improve visibility when compared to other traffic control for this intersection. Depending upon how the school is situated, it is feasible that the crosswalks at the signalized intersection could be painted yellow indicating a school crossing.

5.9 TRANSPORTATION DEMAND MANAGEMENT (TDM)

Transportation Demand Management (TDM), also called Mobility Management, refers to strategies designed to improve the efficiency of transportation resources. The primary objectives of TDM include:

1. Reducing congestion
2. Conserving of energy and reducing emissions
3. Promoting health and fitness
4. Improving accessibility at all economic levels
5. Improving livability
6. Providing efficient parking
7. Increasing safety
8. Providing affordable transportation

5.9.1 TDM Strategies

The TDM objectives are achieved in Village 8 West through the following strategies:

1. Reduce trips and Vehicle Miles Traveled (VMTs) through land use planning and streetscape design including:
 - a. Mixed-use development that provides a variety retail shops and services within walking distance of homes and businesses, thereby reducing the need to drive to multiple locations. (See Chapter 3.)
 - b. Compact development to support transit, retail, and services. (See Chapter 2 and 3.)
 - c. Affordable housing to allow access for all income levels. (See Appendix H.)
 - d. Design criteria that result in pedestrian friendly streetscapes to promote walkability. (See Chapters 3, 4, and this chapter.)
2. Design a multi-modal transportation system that optimizes joint use of the roadway infrastructure for all modes of transportation while reducing congestion and improving safety.

3. Design a vehicular circulation system with reduced speeds, managed access, one-way streets (an urban couplet), multiple connections, and intersection improvements that reduce congestion and minimize traffic conflicts.
4. Provide infrastructure to support, promote, and prioritize alternative modes including pedestrians, bicyclists, transit, and low speed vehicles (LSVs).
5. Implement traffic calming features to improve pedestrian safety, optimize speeds, and reduce congestion delays.
6. Provide more accurate and flexible parking standards to maximize parking efficient and reduce the impact of parking on the pedestrian environment. (See Chapter 3)
7. Participation in a Transportation Management Association (TMA) to manage parking and provide transportation services and events.

5.9.2 Transportation Management Association (TMA)

Transportation Management Associations (TMAs) are non-profit, member-controlled organizations that provide transportation services in a particular area to reduce VMTs and implement other TDM strategies. TMAs are generally public-private partnerships, consisting primarily of area businesses with local government support. Funding is typically provided through a CFD or other non-revocable funding mechanism.

Village 8 West will participate in a TMA that could also include Village 9, the University/RTP, other villages, or a geographically broader area if initiated by the regional transportation agency. The TMA may include both non-residential and residential properties, increasing membership and access. The TMA would include public-private partnerships of area businesses to create an institutional framework to provide TMA services. This arrangement will allow small employers to provide commute trip reduction services and financial incentives comparable to those offered by large companies. Commercial properties in Village 8 West would be required to participate in the TMA.

The TMA would provide the following services:

1. Parking Management
2. Shared Parking Coordination
3. Priority Parking for HOVs and other Alternative Modes
4. Rideshare Matching and Vanpool Coordination

The TMA may also provide the following additional services:

1. Marketing and Promotion – website, flyers and mailers, maps, contests, community events, kiosks, improved wayfinding, education programs
2. Commuter Financial Incentives – parking cash outs, travel allowances, free/discounted transit/tollway fares, etc.

3. Alternative Work Schedule Support – flextime, compressed work weeks, staggered shifts
4. Guaranteed Ride Home Services
5. Shuttle Services
6. Special Event Transport Management
7. Telework Support – telecommuting, satellite office/local work center, mobility working, video conferencing, distance learning, internet shopping/errands
8. Transportation Access Guides
9. Wayfinding and Multi-Modal Navigation Tools
10. Car-share Services
11. Bicycle Rentals or Loan Services
12. On-going Coordination with City and/or the regional transportation agency - regarding safety hazards and code enforcement issues that impact both vehicular and non-vehicular modes
13. Implementing the Chula Vista Bikeway Master Plan within Village 8 West and other participating villages in conjunction with local advocacy groups and City staff

5.10 ROADWAY PHASING

The SPA Plan Public Facilities Financing Plan (PFFP) establishes the circulation phasing plan and identifies the timing of specific improvements necessary to maintain the levels of services in the City's threshold standards in the Growth Management Element of the Chula Vista General Plan. The PFFP also describes the obligations for the construction, or contributions toward construction, for specific street segments.

The phasing of the circulation plan, including specific access points and internal circulation, bicycle, pedestrian, and road crossings will be determined by the PFFP. Variations to these concepts may occur where safety or efficiency can be enhanced.

5.11 ROADWAY MAINTENANCE

Other necessary street maintenance, including litter removal, weed/trash abatement, and the repair of streets, sidewalks, curbs and gutters, shall be provided by the City of Chula Vista and/or other maintenance entities as determined by the City through its Street Maintenance Program.



Chapter 6

Grading



6 - Grading



Creating attractive slopes adjacent to roadways through thoughtful grading, retaining wall, and landscape design



Providing graceful transitions between planning areas, individual lots, and adjacent uses

6.1 INTRODUCTION

The Land Use and Transportation Element of the Chula Vista General Plan states that the mesas, hilltops, and gently rolling topography in the Chula Vista area offer the best conditions for development. Steeply sloped hills and valleys can serve as resources, linking the developed regions and the important natural features in the area. The goal of the Otay Ranch General Development Plan is to concentrate urban development on the flatter areas and retain the sensitive natural topographic features.

6.2 GRADING REQUIREMENTS

In order to ensure that subsequent grading plans manifest the intent of the City's policies regarding landform grading and hillside development, tentative maps, tentative parcel maps, and final grading plans shall be consistent with the grading design concepts of the Village 8 West Conceptual Grading Plan, and shall adhere to the grading standards and policies described herein.

6.2.1 Otay Ranch General Development Plan

The Otay Ranch General Development Plan also contains specific criteria to guide grading in the overall Otay Ranch area. Final grading designs implementing the SPA grading concept are required to incorporate the following:

1. Grading within the SPA shall be subject to Chapter 15.04-Excavation, Grading and Fills of the Chula Vista Municipal Code.
2. Ranch-wide, there shall be preservation of 83% of the existing steep slopes (property that possesses gradients of 25% or greater pursuant to RMP Phase II).
3. Geotechnical investigations shall be provided with each SPA plan.
4. Grading within each village is intended to minimize earthmoving distances and to facilitate phased grading.
5. Naturalized buffering shall be provided as a transition between development and significant existing landforms.
6. Manufactured slope faces over 25 feet in height shall be varied to avoid excessive "flat planned" surfaces.
7. Variable slope ratios not exceeding 2:1 should be utilized when developing grading plans.
8. To complement landform grading, landform planting techniques will be utilized. As in a natural setting, major elements of the landscape are concentrated largely in the concave "drainages," while convex portions are planted primarily with ground cover and minor materials.

6.2.2 Otay Ranch Overall Design Plan

The Otay Ranch Overall Design Plan provides additional guidelines for grading within the project area:

1. When grading in any of the defined scenic corridors, contours shall be carefully modulated and softened to blend with existing natural slopes to create a more natural and irregular appearance.
2. Excessively long, uniform slopes shall be avoided.
3. Contours should be rounded and blended without sharp or unnatural corners where cut or fill slopes intersect a natural canyon or slope.
4. Transitions between new cut and fill slopes and natural slopes should be made by rolling the top or bottom of the new slope to integrate the two conditions.
5. When grading for development or where roadways intersect a natural slope without cut or fill slopes (daylight condition), a rounded top or bottom of the slope should be retained to blend the natural slope with the building pad or road.
6. Create road alignments to meet the natural contours with minimal grading and blending of cut/fill slope with natural topography is required.
7. When feasible, divided roads may be split vertically to soften the impact of grading and to maximize potential scenic views.
8. Landscape graded slopes with native and indigenous plant materials to blend with existing planting when adjacent to new landscaping.

The Otay Ranch Phase 2 Resource Management Plan establishes a system to ensure that 83% of steep slopes are preserved ranch-wide. According to the Phase 2 Resource Management Plan, application of the 83% preservation standard for existing steep slopes (slope gradient of 25% or greater pursuant to RMP Phase 2) means that 6,350 acres of steep slopes must be preserved ranch-wide and 1,301 acres of steep slopes may be developed.

6.2.3 Steep Slope Analysis

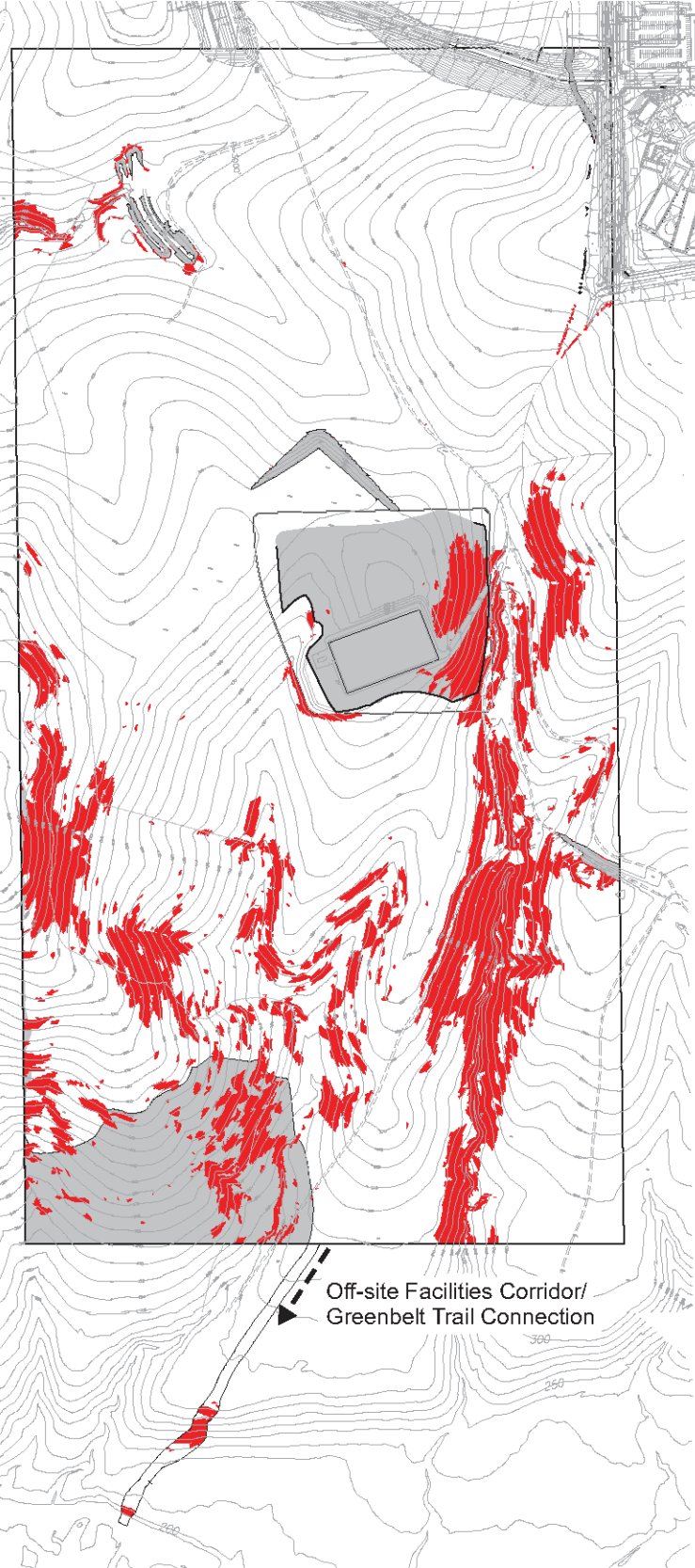
The GDP and RMP establish a Ranch-wide standard for landform modification that 83 percent of steep slopes (slopes with gradients of 25 percent or greater) shall be preserved within the Otay Ranch. Development of the Village 8 West SPA Plan would impact approximately 29 acres of steep slopes within the Otay Valley Parcel. Future build-out projections for the Otay Valley, Proctor Valley, and San Ysidro Parcels estimate that an additional 1,149 acres of steep slopes will be impacted Ranch-wide including the 29 acres within Village 8 West. Combined with existing steep slope impacts (i.e., 255 acres), Ranch-wide impacts are estimated at 1,403 acres. Exhibit 6.1 and Table 6.1 provide a summary of the projected Ranch-wide impacts to steep slopes at build-out.

Table 6.1- Otay Ranch Steep Slope Impacts

Parcel	Existing Steep Slopes (Slope Gradient ≥ 25%)	Steep Slope Impacts(City of Chula Vista)	Projected Steep Slope Impacts (County of San Diego)
Otay Valley Parcel			
Approved SPA Plans: Villages 1 and 1 West, 2, 4 (Park Portion), 5, 6, 7, 11, and Planning Area 12 (Eastern Urban Center and Freeway Commercial)	350.7	254.6	-
Remaining SPA Plans: Village 3, 4 (Remainder), 8 West, 8 East, 9, 10, University, and Planning Area 18	371.5	282.3(1)	-
Proctor Valley			
Remaining SPA Plans: Village 13, 14, 16, and 19	486.3	-	378.3
San Ysidro Mountains			
Remaining SPA Plans: Villages 15 and 17	560.1	-	488.0
Outside Development Areas	8,052.7	N/A	N/A
Ranch-wide Totals	9,821.3	1,403.2	

Notes: Slope impacts are based on best available data including currently proposed projects (SPA Plans/Tentative Maps) and current GDP/SRP development areas. Excludes acreages associated with Wildlife Agency conservation acquisitions that would no longer be developable: (a) 108 acres within Proctor Valley, and (b) 72.1 acres within San Ysidro Mountains. Assumes development will impact 100% of steep slopes (slope gradient ≥ 25%) within current GDP/SRP development areas.

Based on these results, future impacts to steep slopes would exceed the 1993 Otay Ranch GDP/RMP estimate of 1,301 acres (based on 83 percent of the originally estimated 7,651 acres of steep slopes Ranch-wide). As previously discussed however, deviations from the RMP are permissible provided the project’s actual impact to steep slopes will not preclude subsequent entitlements from achieving the Ranch-wide preservation standard. In consideration of this, a current assessment of steep slopes using current, detailed topographic information and surveys indicates a total of 9,821 acres of steep slopes exist Ranch-wide. Applying the GDP/RMP requirement for 83 percent steep slope preservation equates to 1,670 acres that could be impacted. As shown in Table 6.1, current and projected impacts to steep slopes could amount to 1,403 acres, which is within the RMP allowances. The 1,403 acres impacted equates to approximately 86 percent preservation. Actual impacts to steep slopes may be less than projected as this analysis conservatively assumes that 100-percent of steep slopes within current GDP development areas would be affected.



Slope	Percent	Acre
>25%		
On Site (in grading footprint):	8.89%	28.42
On Site (MSCP/outside grading footprint):	0.93%	<u>2.98</u>
Total		31.40
Reservoir Site		
>25% (in grading footprint):	1.68%	0.33
>25% (outside grading footprint)	12.29%	2.41
Offsite Sewer and Storm Drain		
>25% (in grading footprint):	17.3%	0.32
		28.42
		0.33
		<u>0.32</u>
Total Impact Area		29.07

Existing Steep Slopes

Outside Grading Footprint

Exhibit 6.1 - Steep Slope Analysis

6.3 GRADING CONCEPT

Exhibit 6.2 - Conceptual Grading Plan provides a preliminary grading concept identifying major slope locations, both on and off-site, required to implement the Village 8 SPA. Grading limits cannot extend outside the areas shown on the grading plan without further environmental study. The preliminary grading design is illustrated on the Conceptual Grading Plan. The grading concept is based on the following objectives:

1. Create efficient man-made landforms that visually respond to natural terrain characteristics by including slope gradients that vary along the length of the slope and slopes that undulate horizontally (curvilinear).
2. Avoid slopes in excess of 2:1 gradient and slopes that do not utilize landform grading in areas that are clearly visible to the public where practical.
3. Create and maintain on- and off-site views in areas where grading will not cause adverse visual, public safety, and environmental impacts.
4. When significant land forms are modified for project implementation, round the land form as much as possible to blend into the natural grade.
5. With the approval of the City Engineer, round the tops and toes of slopes to blend with adjacent topography. When slopes cannot be rounded, utilize vegetation to alleviate sharp angular appearances.
6. Create smooth transitions between the SPA and surrounding properties and the existing City of San Diego Reservoir.
7. Create an area with minimal topographic variation for the Town Center that will accommodate mixed-use, community purpose facility, schools, parks, and multi-family residential development.
8. Create usable areas that provide for a variety of residential housing types.
9. Minimize, where feasible, impacts to sensitive areas adjacent to Wolf Canyon and the Otay River Valley.
10. Create usable park areas acceptable to the City of Chula Vista.

6.4 GRADING PRACTICES

Preliminary soils and geotechnical reports have been prepared for Village 8 West and have identified the site as being suitable for development. The proposed raw grading quantity for the Village 8 West project is approximately 4,770,000 cubic yards of balanced cut and fill material. This raw quantity is exclusive of remedial measures that may be required by the soils engineer. Actual quantities will be based on more detailed engineering at the tentative map, grading plan, and final map stages. Exhibit 6.3 - Cut and Fill Map illustrates the estimated locations of cut and fill. At no time shall disturbed soil area of the project site be more than 100 acres for an individual grading permit or a combination of grading permits under associated Tentative Map unless approved by the City Engineer on a case-by-case basis.

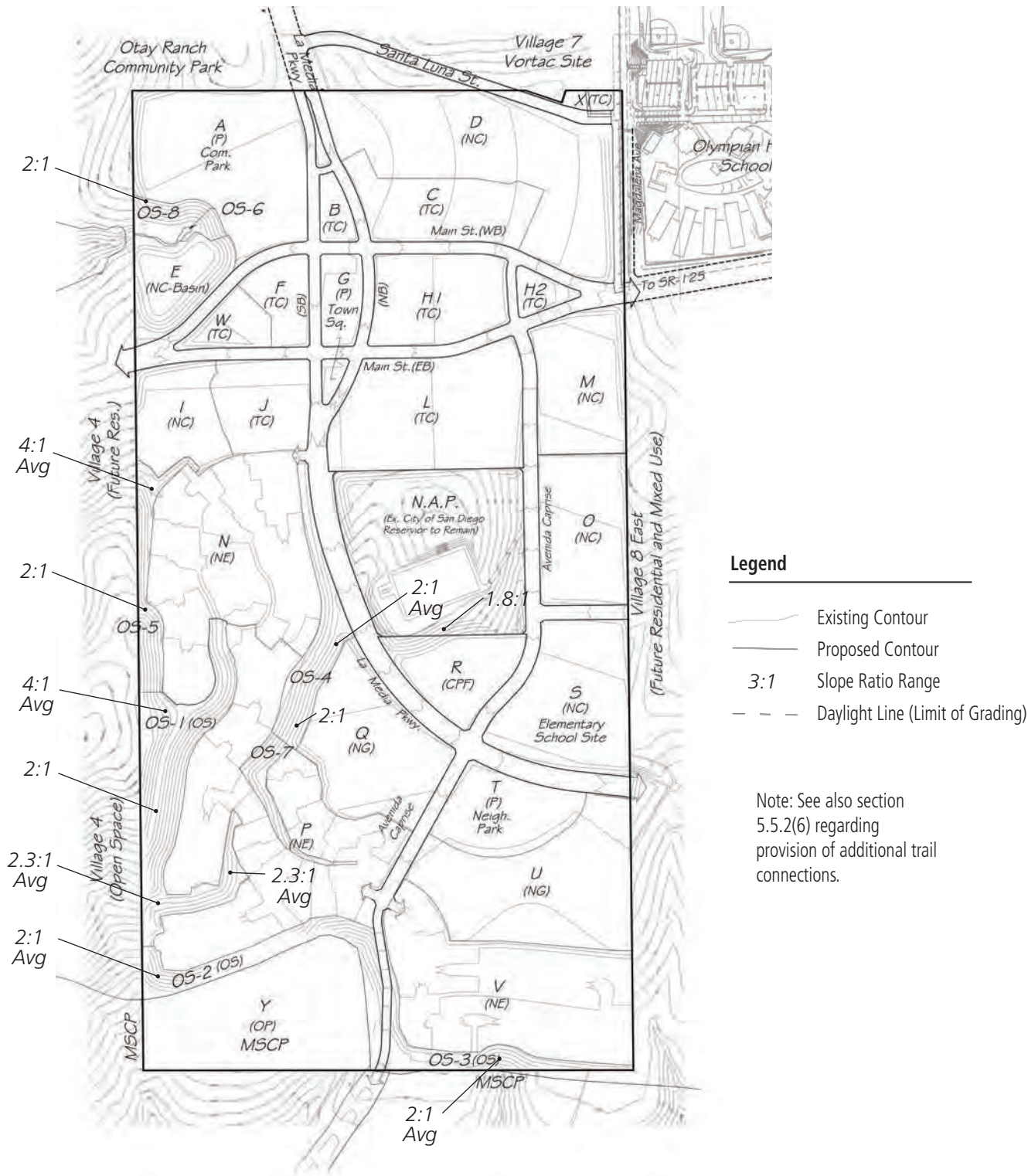


Exhibit 6.2 - Conceptual Grading Plan



Exhibit 6.3 - Cut and Fill Map

6.4.1 Landform Grading

Prior to approval of grading plans, the applicant shall prepare grading and building plans in accordance with the Otay Ranch GDP, the General Plan and Grading Ordinance #1797, CVMC 15.04, which includes slope rounding and blending standards. The plans shall be prepared to the satisfaction of the Development Services Director and the City Engineer. These plans and guidelines shall provide the following that serve to reduce the aesthetic impacts:

1. Grading concepts that ensure manufactured slopes that are contoured, blend with, and mimic adjacent slopes.
2. Landscape designs that conform to Section 4.7.6, Manufactured Slope Landscaping.

6.4.2 Erosion Control

Based on actual conditions at the time of construction, control measures such as berms, interceptor ditches, and vegetation will be used to minimize erosion and protect nearby open spaces and watersheds. All control measures will be consistent with best management practices and shall be subject to all applicable federal, state, and local regulations.

Based on actual field conditions, the erosion potential of slopes will be reduced with erosion control measures such as the following:

A. Construction Measures

1. Schedule construction activities to reduce the amount and duration of soils exposed to wind, rain, runoff, vehicle tracking.
2. Preserve existing vegetation to the maximum extent practicable.
3. Apply hydraulic mulch, hydroseed, soil binders, straw mulch, geotextiles, or wood mulch to disturbed soils until permanent stabilization measures can be implemented.
4. Create temporary earthen dikes and swales to divert runoff from stabilized and disturbed areas.
5. All grading and/or construction activities shall be conducted in accordance with the required mitigation measures outlined in the EIR and associated Mitigation, Monitoring, and Reporting Program prepared for Village 8 West,

B. Permanent Measures

1. Install berms at the tops of all slopes.
2. Include concrete brow ditches in slope design.
3. Provide energy dissipation devices at storm drain outlet points.
4. Landscape slopes and irrigate appropriately to minimize runoff.

Erosion control will be in accordance with best management practices. Project grading permits will provide assurances acceptable to the City Engineer that landscaped slopes will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slopes which exceed ten feet in height will be maintained by a homeowners' or property owners' association or a Landscape Maintenance District (LMD).

6.5 SLOPE MAINTENANCE

All slopes within Village 8 West shall be maintained to improve the appearance of the community, ensure the long-term stability of man-made slopes, and allow for the continued viability of landscaping as specified by the project's grading permits. Slopes shall be maintained by various entities as follows:

1. Private lots - Private Property Owner.
2. Publicly owned lands with slopes exceeding 10 feet in height - Homeowner's Association, Property Owner's Association, Landscape Lighting Maintenance District (LLMD), or a landscape maintenance Community Facilities District (CFD).
3. Publicly owned lands with slopes 10 feet in height or less - City of Chula Vista Community Facilities District (CFD).

6.6 GRADING REVIEW

Tentative maps, tentative parcel maps, and grading plans will require conformance with the grading concepts and requirements contained in this SPA, and to all applicable City policies and ordinances.

Prior to grading plan approval by the City Engineer, all grading will be subject to the requirements of the Chula Vista Municipal Code, Grading Ordinance No. 1797, Storm Water Management and Discharge Control Ordinance No 2854, the City of Chula Vista Subdivision Manual, Design and Construction Standards of the City of Chula Vista, San Diego Area Regional Standard Drawings, and Standard Specifications for Public Works Construction.

Prior to issuance of any land development permits including clearing, grubbing, and/or grading, the project proponent shall also comply with applicable mitigation measures outlined in the EIR and the associated Mitigation and Monitoring Report Program prepared for Village 8 West.

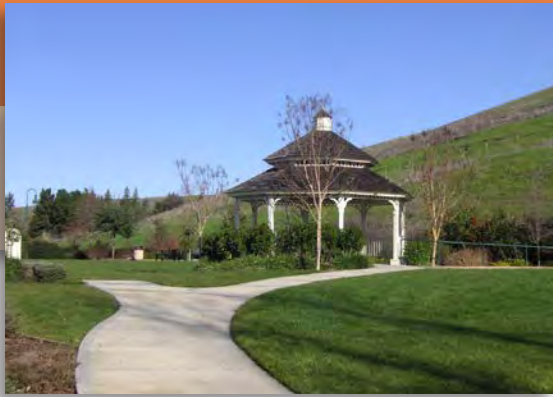


Chapter 7

Parks & Open Space



7- Parks & Open Space



Creating social spaces for the people, families, and the community to gather



Providing places for children to play and facilities for people to recreate

7.1 INTRODUCTION

This chapter serves as the Parks, Recreation, and Open Space Master Plan required by the Otay Ranch GDP. The Parks, Recreation, and Open Space Master Plan designates a variety of parks and open spaces throughout the SPA. This plan implements the goals, objectives, policies and implementation measures of the GDP and the Draft City of Chula Vista Parks and Recreation Master Plan (2018). This network of parks and open spaces shall define the community's character and provide a variety of active and passive recreational opportunities while raising the quality of life for both residents and visitors. Trails linking these parks and open space areas are discussed in Chapter 5, Circulation and Corridor Design.

The City of Chula Vista requires a variety of parks, recreational uses, and open spaces to preserve natural resources and meet the social and recreational needs of the community. Permitted uses for each park and open space area are discussed in Chapter 3, Development Code. Open space areas are identified by the T-1 Transect and are subject to the zone requirements for T-1: Open Space Preserve (OSP) and T-1: Open Space (OS).

Exhibit 7.1 - Designated Parks and Open Space identifies and tabulates each park and open space area within the Village 8 West SPA. This section also describes in detail the requirements for parks, open space, and slopes and how these requirements have been met through this SPA plan. Additional information regarding the appropriate amenities, landscaping requirements, and other design considerations for each type of park and open space are also provided in the following sections.



Parks

Classification	Planning Area	Gross Acres	Eligible Acres
Community Park	A	15.1	14.8
Neighborhood Park	T	5.5	5.5*
Town Squares	G	2.8	2.0
Total Parks		23.4	22.3

*Note: Includes 4:1 slopes

Open Space

Classification	Planning Area	Gross Acres
Preserve (MSCP)	Y	15.6
Perimeter Slopes	OS-1-3 & 6	20.5
Interior Slopes	OS-4, 5, 7, & 8	8.2

Trails

- Sidewalk
- Village Pathway
- Existing Village Pathway
- Regional Trail
- Neighborhood Trail
- Additional Pedestrian Connections
- Potential Transit Stop/Station



Exhibit 7.1 - Designated Parks, Trails & Open Space

7.2 OPEN SPACE

In accordance with the Otay Ranch Resource Management Plan (RMP), the development of each Otay Ranch Village requires that land designated as preserve (OSP) be dedicated to the Otay Ranch RMP Preserve. This requirement is equal to 1.188 acres of open space conveyance per one acre of development less the acreage of "common use lands," i.e. local schools, parks, arterial roads, and other lands designated as public use areas. Village 8 West is also obligated to convey land associated with the off-site water quality basin. At 1.188 acres of conveyance per developed acre, the anticipated conveyance obligation for Village 8 West is approximately 261.2 gross acres as shown in Table 7.1 - Open Space Conveyance Obligation. This acreage is an estimate only; actual acreages shall be determined at the time of final map.

Table 7.1 - Open Space Conveyance Obligation

Development	Gross Acreage
Total SPA	300.7
Off-Site South Water Quality Basin	4.1
Total Developable Area	304.8
Common Uses not calculated as part of the conveyance obligation:	
Schools	- 11.1
Parks	- 23.4
Preserve Area	- 15.6
Arterial Roadway Rights-of-Way	- 34.8
Total Common Uses	- 84.9
Total Developable Land Area (Subject to conveyance)	219.9
Per Acreage Conveyance	x 1.188
Estimated Total Conveyance Acreage	261.2*

***Note: Actual acreage to be determined by the RMP**

Approximately 15.6 acres designated as Open Space Preserve (Parcel Y) is provided on-site. Parcel Y and other off-site land within the Otay Ranch RMP/MSCP Preserve will be dedicated to the Preserve Owner/Manager in accordance with the RMP requirements prior to Final Map recordation. Section 7.2.1, Open Space Preserve, provides design standards for open space preserve areas within the SPA.

An additional 28.7 acres of open space is provided as perimeter and interior slopes (OS-1-7). Of this total, approximately 8.2 acres consist of the Preserve Edge. The actual location of perimeter slopes, internal slopes, and the Preserve Edge will be determined by the tentative map or final map(s).

7.2.1 Open Space Preserve

Open Space Preserve includes all land designated as T-1: OSP, which will be dedicated to the Otay Ranch RMP/MSCP Preserve. Land use and design of these areas is regulated by the MSCP Subarea Plan, the Resource Management Plan (RMP), and the Greenbelt Master Plan as discussed in Chapter 3, Development Code. These areas are intended to remain unimproved with any uses highly restricted. Vegetation will consist of native plants that already occur on site. The Preserve Owner/Manager (POM) is responsible for overseeing the day-to-day and long range preserve management activities within the MSCP Preserve in accordance with the Otay Ranch Resource Management Plan (RMP).



Key Map
(N.T.S.)

Planning Area	Gross Acres
Y	15.6
Total	15.6

Appropriate Amenities & Facilities

Only under limited circumstances may certain amenities and facilities be permitted within the Preserve, as determined by the City to be compatible with the goals and objectives of the City’s MSCP Subarea Plan and Otay Ranch RMP. Any proposed amenities or facilities within the Preserve shall be subject to the prior review and approval of the Development Services Director.

7.2.2 Perimeter Slopes

Perimeter slopes refer to the slopes that occur at the edges of development within the SPA. The portions of these slopes that are located within 100 feet of the MSCP Preserve are part of the Preserve Edge and shall be subject to the requirements of Appendix D - The Village 8 West Preserve Edge Plan. The intent of the Preserve Edge is to create a buffer zone between proposed development and the Otay Ranch Preserve, thereby protecting the Preserve from human activity and non-native species. This area also includes dedicated right-of-way for a future access road to Otay Valley Regional Park and the Greenbelt trail (See Section 5.6.13.) Perimeter slopes shall be subject to the following requirements:



Key Map
(N.T.S.)

Planning Area	Gross Acres
OS-1, 2, 3 & 6	20.5
Total	20.5

A. Appropriate Amenities & Facilities

1. Trails and supporting uses such as benches and signage; see Section 5.6.13 for greenbelt trail standards
2. No structures other than walls and fences are permitted; All walls and fences shall be built and landscaped to minimize visual impacts to the Preserve, Otay Valley Regional Park, public rights-of-way, and views to open space
3. Amenities and facilities within the Preserve Edge shall be restricted to types that are least likely to impact adjacent biological resources as further described in the Village 8 West Preserve Edge Plan (Appendix D)

B. Landscaping

1. The plant list contained in the "Wildland/Urban Interface: Fuel Modification Standards" Appendix L of the City's MSCP Subarea Plan must be reviewed and utilized to the maximum extent practicable
2. Within the Preserve Edge, plants shall consist of those specified within Appendix D - The Village 8 West Preserve Edge Plan
3. Plants shall have an informal character consistent with neighboring planning areas
4. Planting techniques such as clustering of trees and shrubs shall be used to screen or break-up large slope areas
5. Native and drought tolerant species preferred
6. Turf shall not be permitted

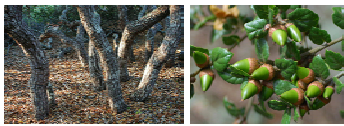
7. See Section 8.2.4, Landscaping Water Conservation Ordinance
8. Landscaping shall be designed to minimize erosion, stabilize slopes, and provide a buffer between development and the MSCP
9. Grading techniques shall conform with the requirement of Chapter 6 - Grading
10. See Exhibit 7.2 - Perimeter Slope Tree Palette

C. Paving and Surfaces

1. All grading of trails shall meet the requirements set forth in Chapter 6 - Grading
2. Trails shall be constructed of decomposed granite; asphalt concrete may be used where appropriate
3. Trails shall be designed in accordance with Section 5.6.13 and Section 5.6.14

D. Lighting

1. Lighting shall be limited to pathways and trails as required for safety
2. Lighting shall be designed to minimize impacts to nearby residential neighborhoods and open space
3. Neighborhood trails are not required to provide lighting except as determined by the Development Services Director



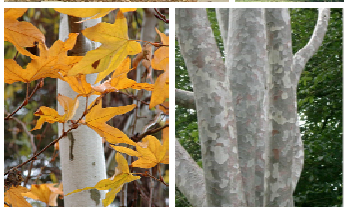
Quercus agrifolia / Coast Live Oak



Quercus engelmannii / Engelmann Oak



Heteromeles arbutifolia / Toyon



Platanus racemosa / California Sycamore



Prunus ilicifolia / Hollyleaf Cherry

Exhibit 7.2 - Perimeter Slope Tree Palette

7.2.3 Interior Slopes

Interior Slopes refers to the manufactured slopes that occur at the edge of roadways, between planning areas, and adjacent to the reservoir. Although some slopes have been identified in this plan, the actual location and design of these slopes will be determined by future tentative map(s) and/or final map(s) for individual planning areas. Regardless of zone, all interior slopes shall be subject to the following requirements:



Key Map
(N.T.S.)

Planning Area	Gross Acres
OS-4, 5, 7 & 8	8.2
Total	8.2

A. Appropriate Amenities & Facilities

1. Trails and supporting uses such as benches and signage
2. No structures other than walls and fences are permitted

B. Landscaping

1. Plants shall have an informal character consistent with neighboring planning areas (See Exhibit 7.3- Interior Slope Tree Palette)
2. Planting techniques such as clustering of trees and shrubs shall be used to screen or break-up large slope areas.
3. Native and drought tolerant species are preferred
4. Turf shall not be permitted
5. Landscaping shall be designed to minimize erosion and stabilize slopes
6. Grading techniques shall conform with the requirement of Chapter 6 , Grading
7. See Exhibit 7.3 - Interior Slope Tree Palette
8. See Section 8.2.4, Landscaping Water Conservation Ordinance
9. Please also refer to Section 4.7.6, Manufactured Slope Landscaping

C. Paving and Surfaces

1. All grading of trails shall meet the requirements set forth in Chapter 6, Grading
2. Trails shall be constructed of decomposed granite; asphalt concrete may be used where appropriate

D. Lighting

1. Lighting shall be limited to pathways and trails as required for safety
2. Lighting shall be designed to minimize impacts to nearby residential neighborhoods
3. Neighborhood trails are not required to provide lighting except as determined by the Development Services Director



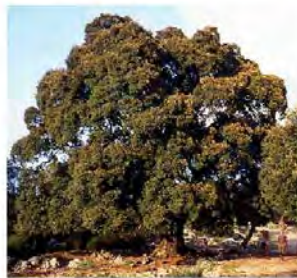
Lophostemon confertus / Brisbane box



Olea europaea 'Wilsoni' / Wilson Olive



Quercus agrifolia / Coast Live Oak



Quercus illex / Holly Oak



Pittosporum phylliracoides / Willow Pittosporum



Rhus lancea / African Sumac



Eucalyptus torquata / Coral Gum



Geijera parviflora / Australian Willow

Exhibit 7.3 - Interior Slope Tree Palette

7.3 PARKS

According to the GDP and the Quimby Act, Village 8 West is obligated to provide 3 acres of parkland for every 1000 residents. Based on a Village 8 West projected resident population of 6,425 persons (2.58 pph for multi-family and 3.33 pph for single family), approximately 19.3 acres of parkland is required by the GDP. See Table 7.2 - GDP Park Obligation below.

Table 7.2 - GDP Park Obligation

Number of Units	Persons per Household (pph)	Population (Pop)	Required Acreage (3 acres/1000 pop)
1,773 MF	2.58	4,574	13.7
561 SF	3.30	1,851	5.6
2,334 Units		6,425	19.3

According to the City of Chula Vista Municipal Code (CVMC) Chapter 17.10, the method used to calculate the amount of actual required park space is 460 square feet developed park land per each single family unit and 341 square feet per each multi-family unit. According to this method, Village 8 West is obligated to provide approximately 20.4 acres of parkland. See Table 7.3 -CVMC Park Obligation below.

Table 7.3 - CVMC Park Obligation

Number of Units	Park Coefficient (Square Feet)	Required Acreage
1,773 MF	341	13.9
561 SF	460	5.9
2,334 Units		19.8

In Village 8 West, park obligations are met through the provision of community parks, neighborhood parks and town squares. The Village 8 West plan provides 14.8 eligible acres of land that will be added to the Otay Ranch Community Park, 5.5 eligible acres as a Neighborhood Park, and 2.0 eligible acres as a Town Square in the Town Center for a total of 22.3 eligible acres of parkland as shown in Table 7.4 - Village 8 West Park Summary. Actual park acreage requirements will be based on the number of residential units (and projected population) approved on all Village 8 West final maps.

Table 7.4 - Village 8 West Parks Summary

Park Type	Planning Area	Gross Acres	Eligible Acres
Community Park	A	15.1	14.8 ¹
Neighborhood Park	T	5.5	5.5 ²
Town Square	G	2.8	2.0
Total Parks		23.4	22.3

1. Note: Includes 3-acre City of San Diego easement to be vacated.

2. Includes 4:1 slopes.

The total park acres provided exceeds the park obligation for Village 8 West. This excess acreage shall be applied to meeting the park obligation of the Village 9 SPA. In concert with the Park Land Dedication Ordinance (CVMC 17.10), the City of Chula Vista Parks and Recreation Master Plan (PRMP) recognizes the practice of aggregating park acreage obligation from various development areas to create and site community parks (typically 30 acres and larger in size). The PRMP establishes goals for the creation of a comprehensive parks and recreation system that meets the needs of the public by effectively distributing park types and associated recreation facilities and programs throughout the City. Consistent with PRMP, the Otay Ranch General Development Plan identifies a large-scale Otay Ranch Community Park within the western sector of the Otay Ranch Otay Valley Parcel. Partially located within Villages 2, 4, and 8 West, the Otay Ranch community park represents the aggregation of park obligation from area Villages. The portion of the future community park currently located within Village 8 West represents aggregated park acreage obligation from Village 8 West and Village 9 and it is the intent of the Village 8 SPA to obligate the dedication of such park acreage (approximately 2.5 acres) from Village 8 West to satisfy a portion of Village 9's park obligation as needed.

Phasing of park facilities, ownership, and maintenance responsibility will be determined by the Public Facilities Financing Plan (PFFP). Actual facilities and amenities within each park will be determined as part of the individual park site master plan process.

7.3.1 Otay Ranch North Community Park (portion)

The Otay Ranch North Community Park will be a gathering place for residents of Village 8 West and surrounding villages. This park will provide amenities that bring the community together, such as athletic fields (lighted), recreation facilities, and group picnic areas. The Community Park shall be required to comply with referenced City policy documents including, but not limited to, the Chula Vista Parks Master Plan, Parks Facility Master Plan and the Public Facilities Finance Plan.



Key Map
(N.T.S.)

Planning Area	Gross Acres	Eligible Acres
A	15.1	14.8

A. Appropriate Amenities & Facilities

1. Age-appropriate play equipment
2. Seating areas
3. Athletic Fields (Lighted)
4. Sport Courts (Lighted)
5. Group Picnic Areas
6. Open play areas
7. Gardens
8. Trails
9. Recreation complex or other central park feature
10. Restrooms
11. Parking (required spaces to be determined during the review of the park site Master Plan)
12. Utilize site planning, walls, berms, landscaping, and other techniques to minimize noise impacts

B. Landscaping

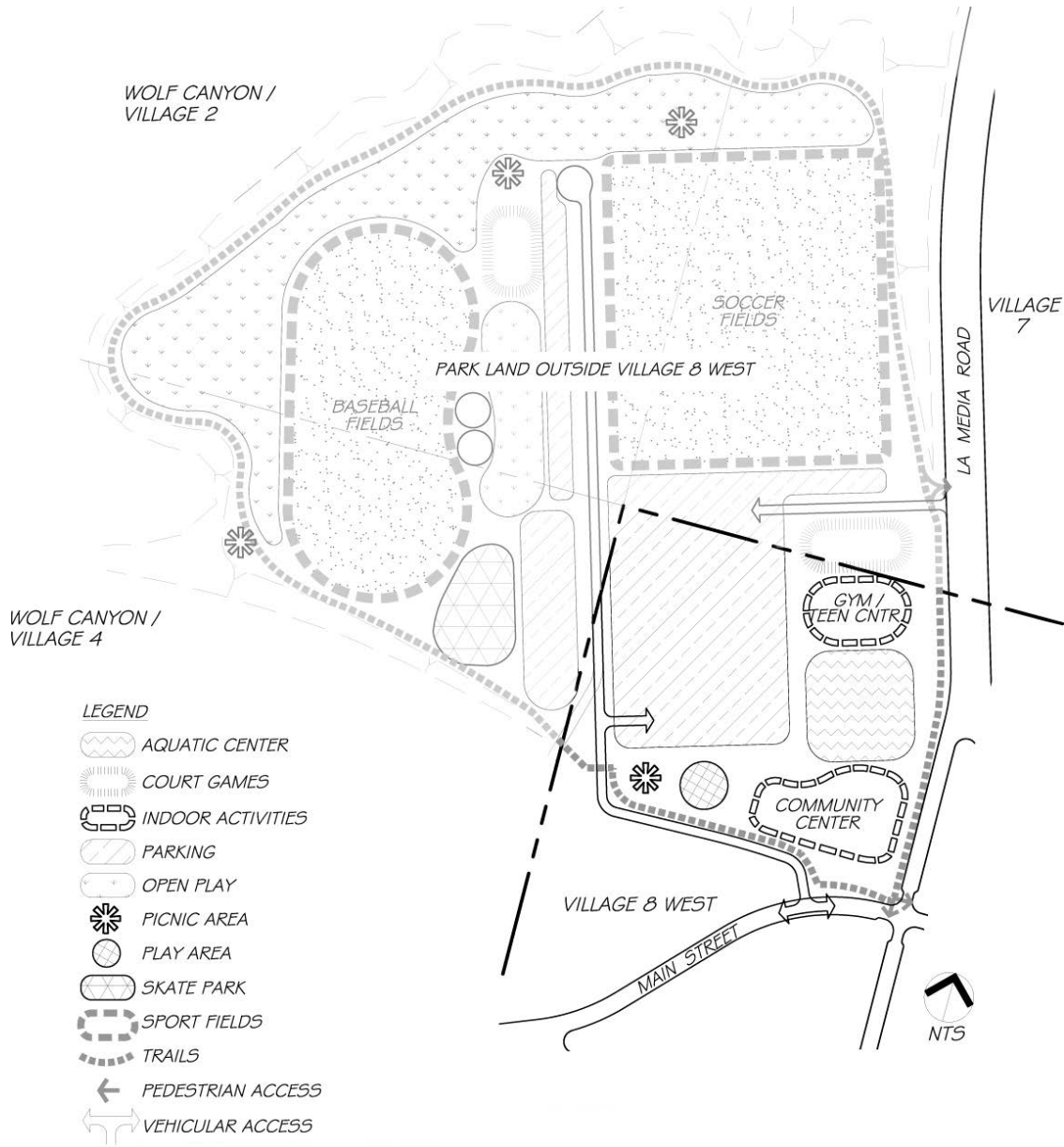
1. Landscaping ranges from formal to informal based upon location and the use of the space
2. Landscaping of parks shall include some larger trees capable of providing shade for park users
3. Character shall be consistent with the Town Center
4. Turf shall be limited to areas anticipated for active recreation such as play fields and informal play areas in order to reduce the demand for water
5. Drought tolerant species are preferred
6. See Section 7.3.4, Park Tree Planting Palette
7. See Section 8.2.4, Landscaping Water Conservation Ordinance
8. See Appendix D, Preservation Edge Plan

C. Paving and Surfaces

1. Major pathways through the park shall provide ADA accessible routes
2. Minor pathways shall be constructed of stable, pervious materials

D. Lighting

1. Lighting shall occur at activity areas, parking lots, and along major pathways
2. Lighting shall be designed to minimize light spillage onto neighboring properties
3. Lighting shall be designed in conformance with Appendix D, Preserve Edge Plan, where required



* Note: Site Plan is for conceptual purposes only. Actual Plan to be determined by the individual park site master plan in accordance with the Chula Vista Landscape Manual

Exhibit 7.4 - Community Park Conceptual Plan

7.3.2 Neighborhood Park

The Neighborhood Park is a medium sized park that provides active and passive recreation for the surrounding neighborhood and includes amenities such as small scale multi-purpose play fields, sport courts (lighted), age-appropriate playgrounds, and picnic areas in compliance with referenced City policy documents including, but not limited to, the Chula Vista Parks Master Plan, Parks Facility Master Plan and the Public Facilities Finance Plan.



Key Map
(N.T.S.)

Planning Area	Gross Acres	Eligible Acres
T	5.5	5.5 ¹

Note¹: Includes 4:1 slopes

A. Appropriate Amenities & Facilities

- | | |
|-----------------------------------|---|
| 1. Age-appropriate play equipment | 7. Skate park |
| 2. Seating areas | 8. Parkour stations |
| 3. Athletic fields | 9. Gardens |
| 4. Sport courts (Lighted) | 10. Restrooms |
| 5. Group picnic areas | 11. Parking (required spaces to be determined during the review of the park site Master Plan) |
| 6. Open play areas | |

B. Landscaping

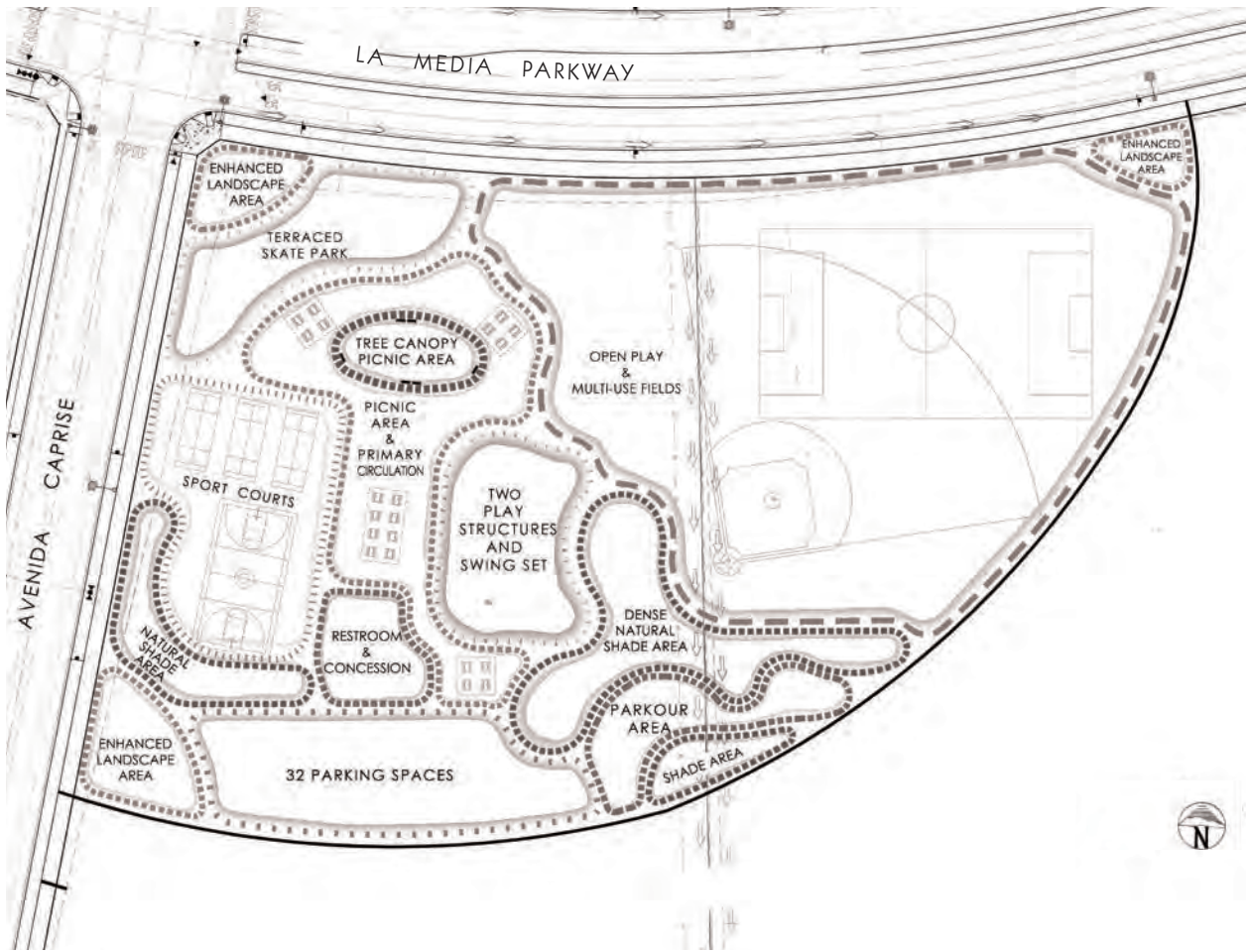
1. Landscaping shall consist of informal clusters or trees and shrubs
2. Landscaping of parks shall include some larger trees capable of providing shade for park users
3. Turf shall be limited to areas anticipated for active recreation such as play fields and informal play areas to reduce the demand for water
4. Drought tolerant species are preferred
5. See Section 7.3.4, Park Tree Planting Palette
6. See Section 8.2.4, Landscaping Water Conservation Ordinance

C. Paving and Surfaces

1. Major pathways through the park shall provide ADA accessible routes
2. Minor pathways shall be constructed of stable, pervious materials

D. Lighting

1. Lighting shall occur at activity areas, parking lots, and along major pathways
2. Lighting shall be designed to minimize light spillage onto neighboring properties



* Note: Site Plan is for conceptual purposes only. Actual Plan to be determined by the individual park site master plan in accordance with the Chula Vista Landscape Manual

Exhibit 7.5 - Neighborhood Park Conceptual Plan

7.3.3 Town Square

A Town Square is a small plaza or open space located within a high-density area. This space provides relief from the urban fabric. The Village 8 West Town Square serves as a central gathering place and consists of flexible spaces that can be used for multiple functions such as farmer’s markets, food truck spaces, art shows, and other events as well as community-oriented retail uses. The Town Square may also include gardens and urban spaces for quiet reflection.

Planning Area	Gross Acres	Eligible Acres
G	2.8	2.0

A. Appropriate Amenities & Facilities

1. Age-appropriate play ground
2. Seating area
3. Small picnic area
4. Flex-space
5. Public Plaza
6. Water feature, statue, or other focal point feature
7. Open play area, park, (food truck spaces/farmer’s market uses)
8. Limited community-oriented retail*
9. Dog park(s)

B. Landscaping

1. Landscaping shall have a more formal character consistent with an urban environment
2. Landscaping of parks shall include some larger trees capable of providing shade for park users
3. Shrub heights shall be limited to maximize visibility
4. Turf shall be limited to reduce water demand
5. Drought tolerant species are preferred
6. See Section 7.3.4, Park Tree Planting Palette
7. See Section 8.2.4, Landscaping Water Conservation Ordinance

C. Paving and Surfaces

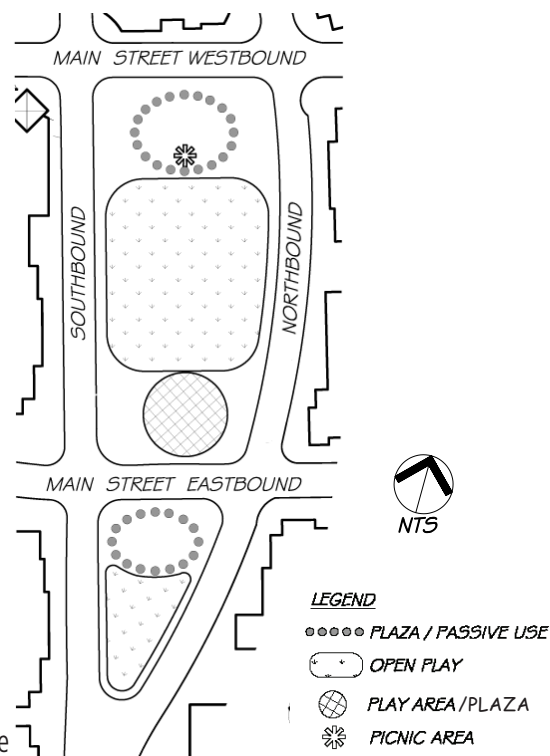
1. Pathways and plaza areas shall be concrete or other hard surface consistent with an urban character
2. Decorative paving is encouraged to define gathering spaces and other special spaces

D. Lighting

1. Lighting shall occur at all major activity areas and along major pathways for nighttime safety
2. Lighting shall be designed to minimize light spillage onto neighboring properties



Key Map
(N.T.S.)



* Note: Site Plan is for conceptual purposes only.

Exhibit 7.6 - Town Square Conceptual Plan

**Note: Community-oriented retail may include uses such as food and beverage sales (coffee shop/stand, beer garden, wine tasting), live music, yoga/fitness classes and dog training classes.

7.3.4 Park Tree Planting Palette

Exhibit 7.7 - Park Tree Planting Palette provides a palette of trees for parks throughout the SPA



Exhibit 7.7 - Park Tree Planting Palette



Acer Macrophyllum/ Big Leaf Maple



Araucaria heterophylla/ Norfolk Island Pine



Arbutus 'Marina'/ N.C.N.



Cedrus atlantica/ Atlas Cedar



Cinnamomum camphora/ Camphor Tree



Eriobotrya deflexa/ Bronze Loquat



Koelreuteria bipinnata/ Chinese Flame Tree



Lagerstroemia indica/ Crape Myrtle

Exhibit 7.7 - Park Tree Planting Palette (Continued)



Chapter 8

Public Utilities & Services



8 - Public Utilities & Services



8.1 INTRODUCTION

The public utilities and services chapter provides a brief summary of the utility systems and public services necessary to support new development within Village 8 West. The Public Facilities Finance Plan (PFFP) and Utility Master Plans provide more detailed explanations of these backbone facilities and assign responsibilities for construction and financing.

Public utility systems, facilities, and services have been designed based upon the projected land uses and intensity of development proposed within the SPA and surrounding areas. Facilities are sized according to estimated demands and necessary distribution. The design and phasing of facilities may be modified during the tentative map and final map process with the City's approval in order to reflect the actual number of units, corresponding population projections, and construction phasing.

8.2 WATER SUPPLY AND MASTER PLAN

Water service and facilities for the SPA are addressed in the Final Overview of Water Service for Otay Ranch Village 8 prepared by Dexter Wilson Engineering, Inc, (November 2010) and the Otay Ranch Village 8 West SPA Amendment Water Evaluation prepared by Dexter Wilson Engineering, Inc., (October 2019). In accordance with the GDP and SPA requirements, the water plan demonstrates compliance with state and local agency requirements and the ability to serve the SPA. A summary of key points related to water service are provided below.

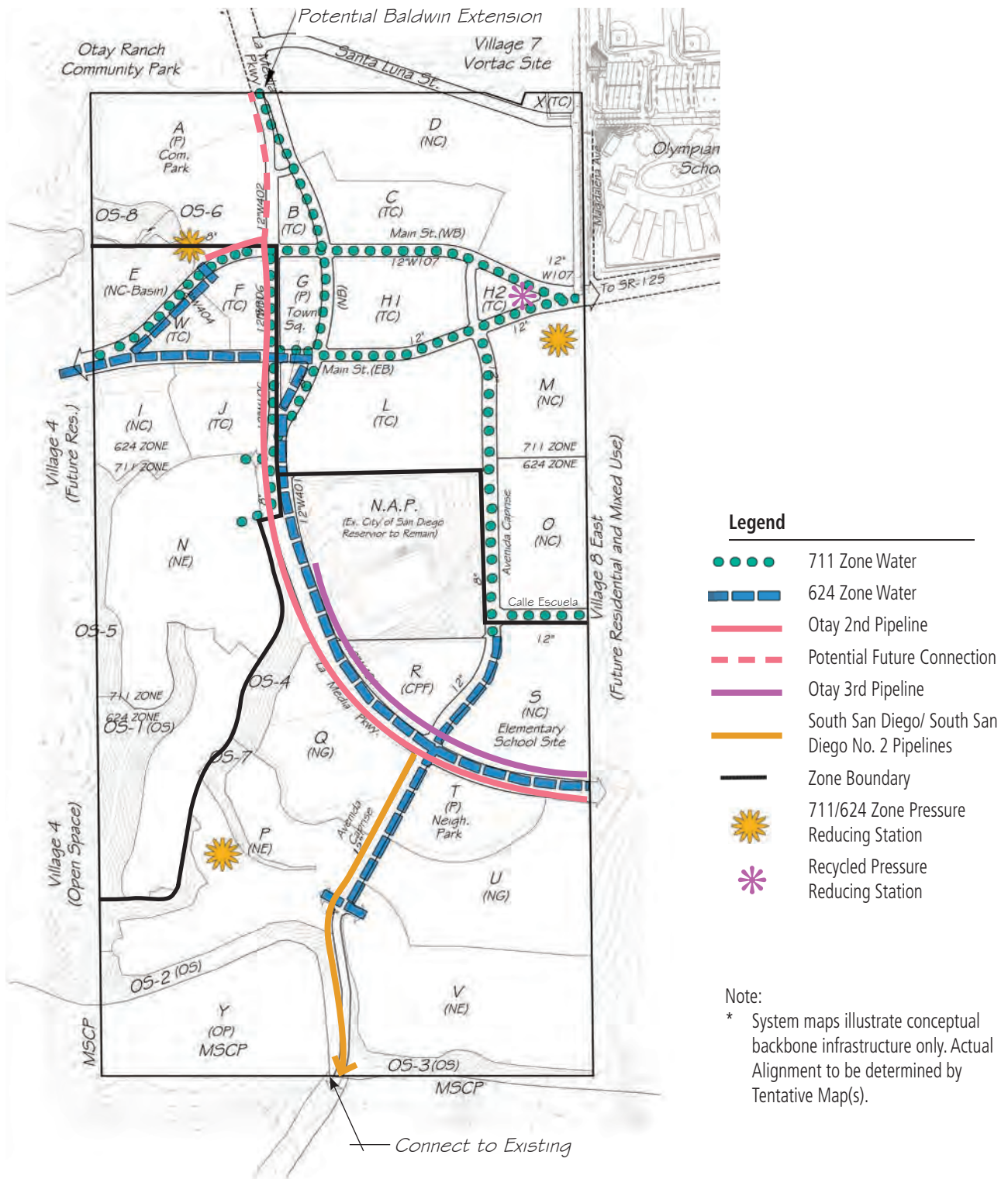
8.2.1 Water Supply

1. Senate Bill 610 principally applies to the California Water Code and requires the California Environmental Quality Act process include documentation to definitively establish water availability.









2. California Senate Bills 221 and 610 were approved on October 9, 2001 and became effective January 1, 2002. Senate Bill 221 primarily applies to the Subdivision Map Act and requires the lead agency (City of Chula Vista), in considering a tentative map, to verify that the public water supplier (Otay Water District) has sufficient water supplies available to serve the project. To meet the requirements of Senate Bills 221 and 610, the City of Chula Vista has formally requested that the Otay Water District provide a Water Supply Assessment and Verification Report for the project. The Otay Water District Water Supply Assessment and Verification Report for Village 8 West was approved by OWD on January 5, 2011.
3. The SPA is located within the boundaries of the Otay Water District (OWD), which is the local agency responsible for providing water service. OWD is a member agency of the San Diego County Water Authority who, in turn, is a member agency of the Metropolitan Water District. The SPA area is already within the boundaries of these agencies for water service, but will be required to annex into OWD Improvement Districts 22 and 27 prior to receiving service.
4. The project is within the Central Service Area of OWD. Water service to the project will be supplied from the 624 and 711 pressure zones. The 624 Zone service will ultimately be supplied to Village 8 West by the extension of pipelines in La Media Parkway to the east of the project and Main Street to the west of the project. Based on the timing of surrounding development relative to Village 8 West, an interim source of 624 Zone water to the project is likely to be required. This would involve the construction of an interim on-site 711/624 Zone pressure reducing station.
5. The 711 Zone portion of the project will be served by connections to the existing 12-inch water line in La Media Parkway to the north and 12-inch water line in Main Street to the east.
6. OWD has three existing reservoirs in the 624 Zone. These reservoirs are supplied by OWD Connections 10 and 12 to the San Diego County Water Authority aqueduct. A 711 Zone pump station lifts water from the 624 Zone to the 711 Zone reservoirs. A 16 million gallon 711 Zone reservoir was built in recent years such that OWD has adequate storage to serve the ultimate projected development in this zone. No additional reservoir storage will be required to supply water to Village 8 West.

8.2.2 Potable Water Demand

1. Domestic water demand for the SPA is estimated to be 0.63 mgd. OWD will require a subarea master plan of water prior to the approval of final engineering plans for the project to better establish water demands and facility requirements. A water supply assessment will also be completed to assure that sufficient supplies are planned to be available as demand is generated for the project.
2. Exhibit 8.1 - Conceptual Potable Water Master Plan provides the recommended distribution system required to meet demands within the SPA.



Legend

-  711 Zone Water
-  624 Zone Water
-  Otay 2nd Pipeline
-  Potential Future Connection
-  Otay 3rd Pipeline
-  South San Diego/ South San Diego No. 2 Pipelines
-  Zone Boundary
-  711/624 Zone Pressure Reducing Station
-  Recycled Pressure Reducing Station

Note:

* System maps illustrate conceptual backbone infrastructure only. Actual Alignment to be determined by Tentative Map(s).



Exhibit 8.1 - Conceptual Potable Water Master Plan

8.2.3 Recycled Water Supply and Master Plan

1. Current OWD policies regarding new subdivision development requires the use of recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will be used to irrigate street parkway landscaping, parks, manufactured slopes, and landscaped areas of commercial and multi-family residential sites.
2. The project is in the 680 Zone for recycled water service. The 680 Zone distribution system has been supplied by pressure reducing off the 815 Zone distribution system. Some areas of the project may require private booster pumps on the landscape connections to get adequate pressure to the irrigation systems. The primary source of recycled water to the SPA will be the South Bay Water Reclamation Facility. From this plant, the recycled water system consists of a series of pump stations, transmission piping, and storage reservoirs that provide recycled water to the area.
3. The existing recycled water system that will serve the project involves the extension of an existing 12-inch recycled water line constructed in La Media Parkway to the north of the project. The project may also be required to construct some 815 Zone piping in the eastern corner of the project, but no service from the 815 Zone is proposed. A plan to distribute recycled water within the project is depicted in Exhibit 8.2 - Conceptual Recycled Water Master Plan.
4. The use of recycled water directly offsets potable water use, making it an important component in the attempt to meet water supply challenges in the region. Village 8 West is expected to offset potable water usage by an average of 0.13 mgd by utilizing recycled water where feasible.
5. Recycled water requirements for the project will be coordinated by the Otay Water District and City of Chula Vista. Phased construction of recycled water facilities, based on the OWD approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.
6. In conformance with the Otay Ranch GDP and the Chula Vista Growth Management Plan, a Water Conservation Plan is provided with this SPA Plan as Appendix G - Water Conservation Plan.
7. Irrigation of open space areas adjacent to the MSCP shall be carefully designed to prevent recycled water from draining into and impacting the MSCP open space area.

8.2.4 Landscaping Water Conservation Ordinance

1. The Water Conservation Plan for Otay Ranch Village 8 West (Appendix G) is addressed in the November 2010 study prepared by Dexter Wilson Engineering, Inc. and the Otay Ranch Village 8 West TM/SPA Amendment Water Conservation Plan Evaluation prepared by Dexter Wilson Engineering, Inc., (October 2019).
2. The Village 8 West project will promote water conservation through the use of low water use plumbing fixtures and the use of recycled water for the irrigation of parks, open space slopes, schools, parkway landscaping, and the common areas of multi-family residential and commercial sites.

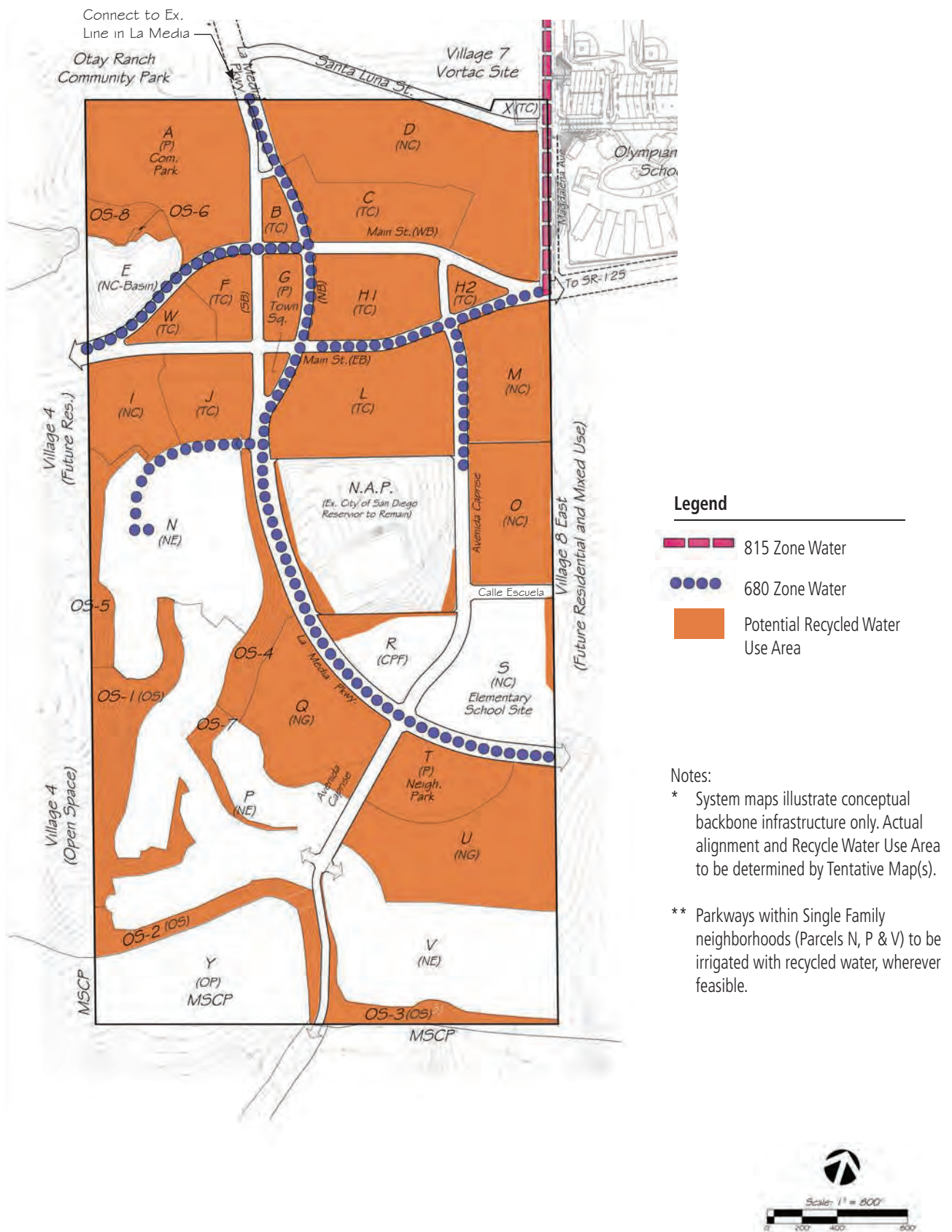


Exhibit 8.2 - Conceptual Recycled Water Master Plan

3. In response to the new State Water Conservation in Landscaping Act, the City of Chula Vista adopted a New Model Water Ordinance (CVMC Section 20.12), which went into effect on January 1, 2010. This ordinance calls for greater efforts at water conservation and more efficient use of water in landscaping. The requirements of this ordinance shall be implemented into the design of Village 8 West.

8.3 SEWER SERVICE

1. Sewer service and facilities are addressed in the Final Overview of Sewer Service for Otay Ranch Village 8 West, prepared by Dexter Wilson Engineering, Inc., (November 2010) and the Otay Ranch Village 8 West TM/SPA Amendment Sewer Evaluation prepared by Dexter Wilson Engineering, Inc., (October 2019). Sewer service to the project site is provided by the City of Chula Vista. Chula Vista operates and maintains its own sanitary sewer collection system that connects to the City of San Diego's Metropolitan Sewer System.
2. The City of Chula Vista's Subdivision Manual establishes sewage generation factors based on population multipliers used to project sewage flows. The average daily flow into the Salt Creek/Otay River basin from the SPA is estimated to be 0.52 mgd. The southern portion of Village 8 West can be served by constructing 8-inch through 12-inch gravity sewer lines to convey flow south to a single point of connection with the Salt Creek Interceptor.
3. The northern portion of the SPA drains by gravity to the western boundary of the SPA. This system will ultimately be constructed westerly in Main Street to a point of connection with the existing downstream system that conveys flows to the Salt Creek Interceptor. Since Main Street is not expected to be extended to the west of the SPA at the time that Village 8 West develops, a deep sewer line is proposed to convey flows southerly to the gravity sewer system that serve the remainder of the SPA.
4. The sewer system within the project will be extended in La Media Parkway to the northern SPA boundary to allow flows from the Village 4 community park site to be conveyed through the Village 8 West collection system. On-site sewer lines will also be sized to accommodate potential off-site flows from Village 7 and the Eastern Urban Center.
5. Sewer facilities required to serve the SPA will be constructed in phases. The phasing and financing requirements are addressed in the PFFP and/or subdivision map conditions to assure timely provision of required facilities. Sewer facilities are illustrated on Exhibit 8.3 - Conceptual Sanitary Sewer Master Plan.

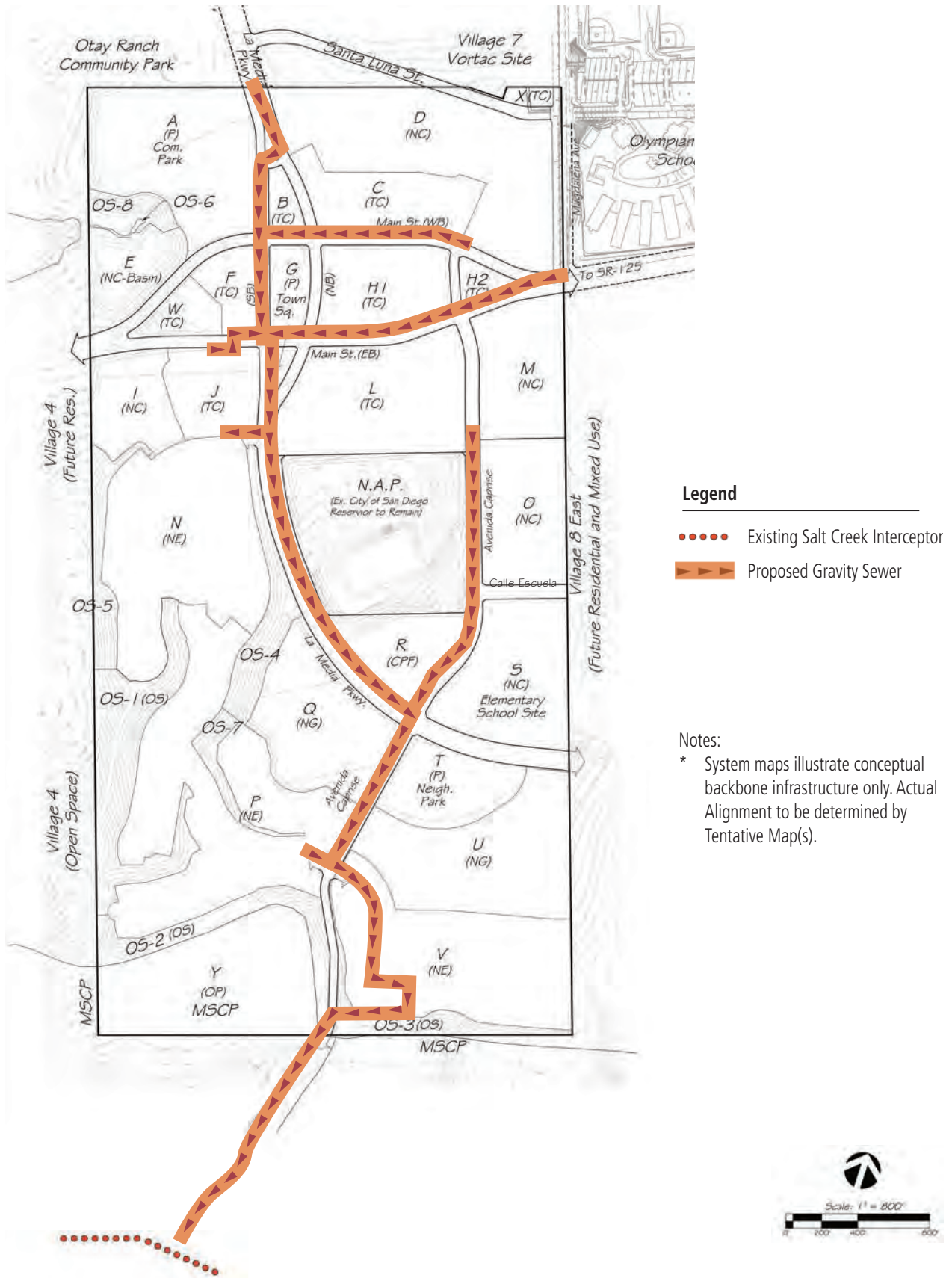


Exhibit 8.3 - Conceptual Sanitary Sewer Master Plan

8.4 STORM DRAIN & URBAN RUNOFF

8.4.1 Drainage

To assess and compare the drainage for both the existing and developed conditions within the SPA, Hale Engineering has prepared the Village 8 West Preliminary Drainage Study. In conformance with GDP and SPA policies, the Amended Tentative Map Drainage Study for Village 8 West (October 2019) provides a detailed hydrological analysis and demonstrates the effectiveness of the proposed design solutions, shown in Exhibit 8.4 - Conceptual Storm Drain Master Plan to mitigate the impacts of storm drain and urban runoff within the SPA. Key elements of the Preliminary Drainage Study are as follows:

1. Existing runoff from the project site proceeds as follows: The southern and eastern portions of the SPA (Otay River Drainage Area) drain in a southerly direction to the adjacent Otay River; the northwestern portion of the site (Wolf Canyon Drainage Area) drains in a westerly direction to Wolf Canyon, a tributary to the Otay River. Development of the Village 8 West site will not alter the existing tributary watersheds of the Otay River.
2. The project includes two basins. The northern basin is a hydromodification detention basin located in Parcel E. Flows from the Wolf Canyon Drainage Area are conveyed to the north basin prior to discharging into Wolf Canyon. The second basin is located off-site, south of Village 8 West, within the Village 8 East area. The south basin is a detention basin. Flows from the Otay River Drainage Area are conveyed to the south basin prior to discharge into the Otay River.
3. To prevent erosion and maintain continuity of the hydrologic character within the Village 8 West project site, the outlet of the storm drain systems will convey storm water directly to existing discharge points. The southerly system will be extended to the Otay River bottom to avoid potential finger canyon erosion.
4. A Hydromodification Study was performed for the portion of the project that drains to Wolf Canyon. Analysis was performed following the guidelines and criteria outlined in the Final Hydromodification Plan (HMP). A permanent detention basin was sized and designed based on the results of the analysis.
5. The discharge to the Otay River is downstream of the Otay Reservoir. The first Otay Dam failed in an event which degraded the downstream Otay River. Per the Final Hydromodification Plan, the lower Otay River Valley is listed as a river reach that is exempt from hydromodification analysis (see section 6, page 6.5, table 6.1 of the Final HMP). The Water Quality Control Board approved the Final HMP on July 14, 2010, Resolution No. R9-2010-0066.

8.4.2 Urban Runoff

Development of the SPA will implement all necessary requirements for water quality as specified by state and local agencies. All development shall meet the requirements of the City's Standard Urban Storm Water Mitigation Plan (SUSMP), the Jurisdictional Urban Runoff Management Plan (JURMP), and the Storm Water Management

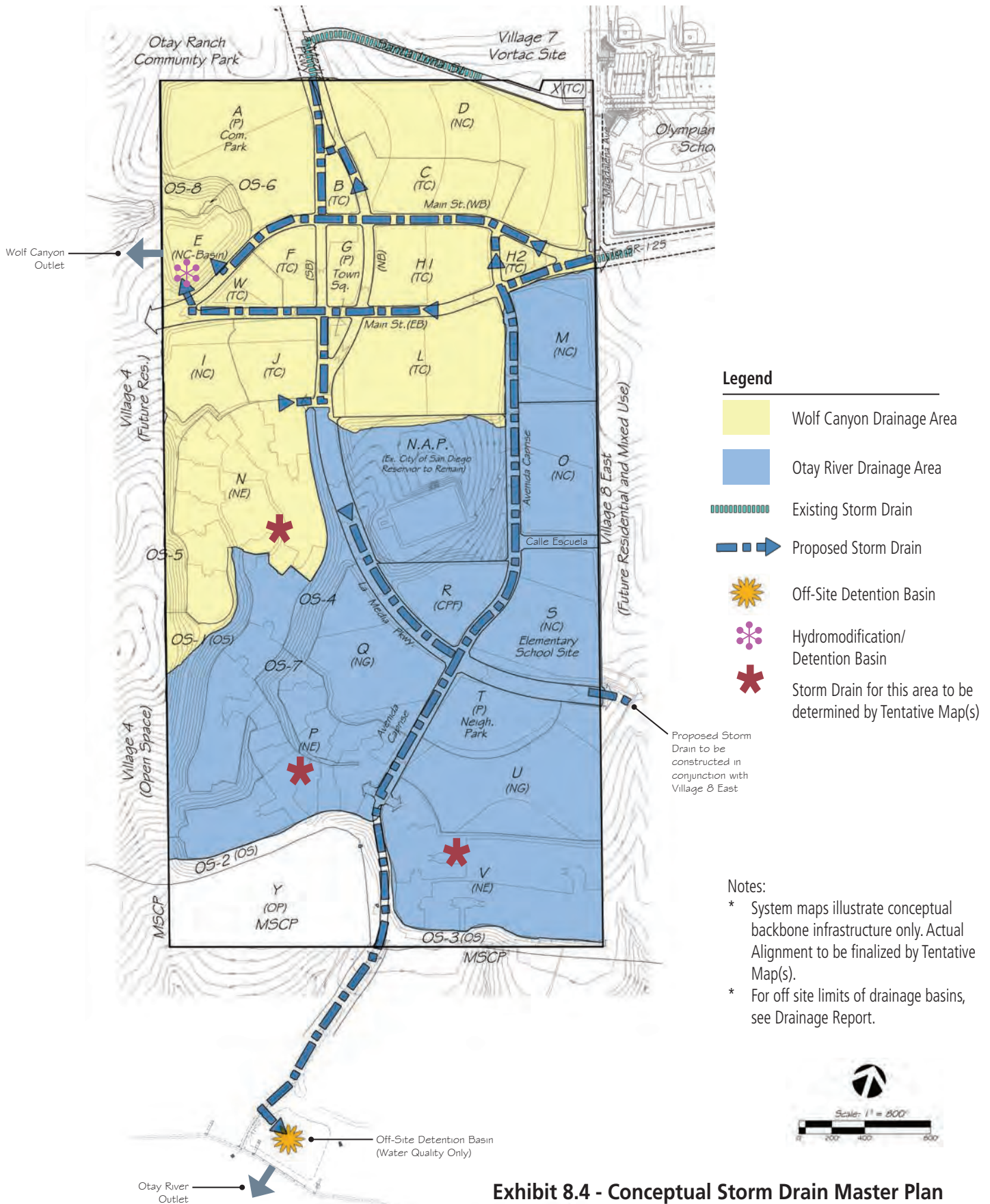


Exhibit 8.4 - Conceptual Storm Drain Master Plan

and Discharge Ordinance (as specified in the City of Chula Vista Development and Redevelopment Storm Water Management Standards/Requirements Manual).

At this time, the proposed Village 8 West SPA development includes the construction of roadways, infrastructure (including storm drain and utilities), and the mass grading of pads for future development. Of these improvements, only the construction of paved roadways and sidewalks will create increased urban runoff. Therefore, water quality treatment will be necessary only for these improvements as currently proposed. Additional water quality measures will be required in the future as the mass graded pads are developed; such measures will meet all state and local agency standards for the treatment of urban runoff at that time.

8.5 DRY UTILITIES

Dry utilities will also be extended underground into the SPA primarily in streets and other public easements. Telephone, cable television, and internet service is provided by several companies including Cox Communications, Time Warner, and AT&T. Gas and electric service is provided by San Diego Gas and Electric, a subsidiary of Sempra Energy.

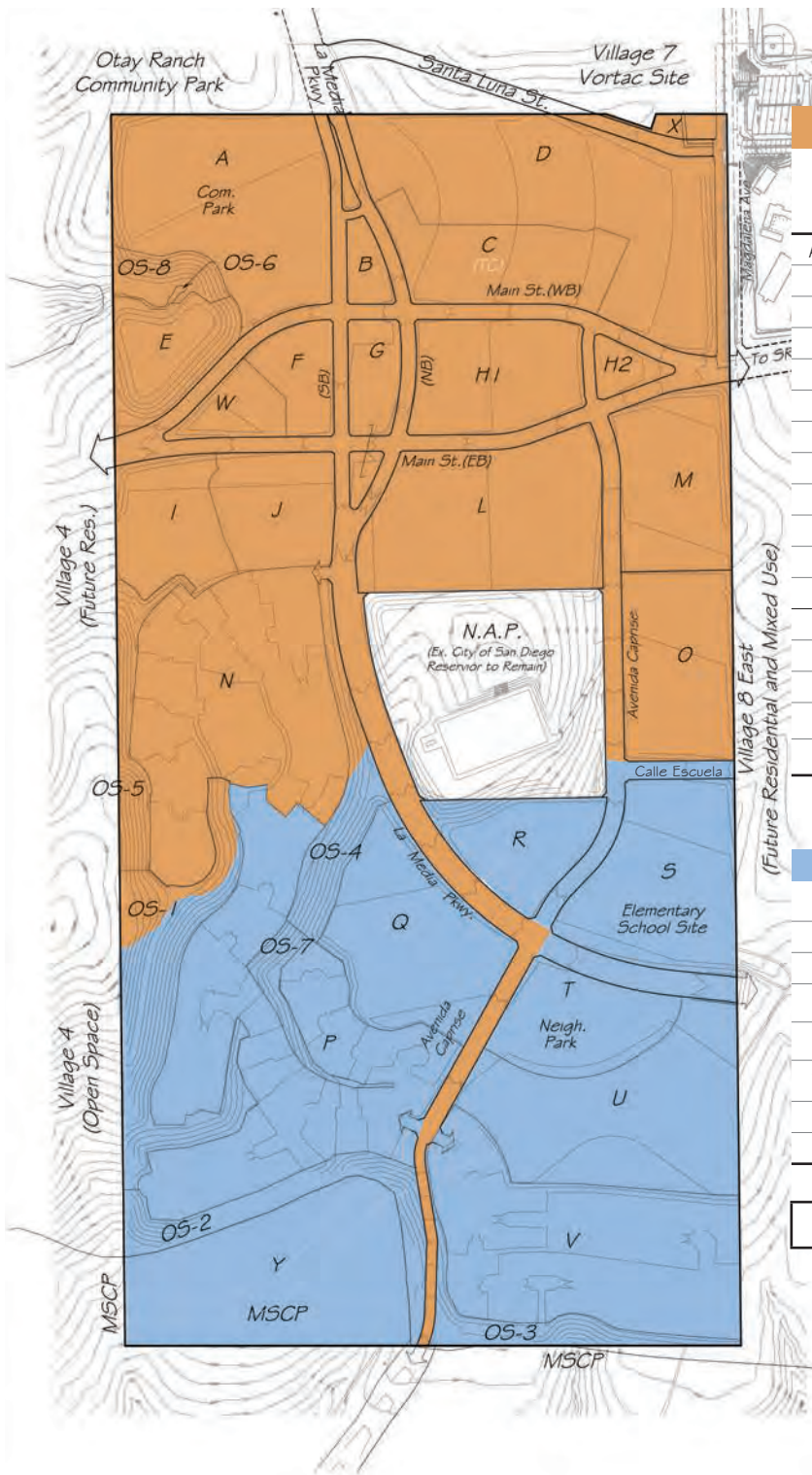
Development of Village 8 West is committed to focusing on the Energy Strategy and Action Plan, which addresses the demand side management, energy efficient and renewable energy outreach programs for businesses and residents, energy acquisition, power generation, and distributed energy resources and legislative actions, and continuing implementation of the CO₂ Reduction Plan. It is anticipated that this commitment will lessen the impacts from energy. See Appendix C - Non Renewable Energy Conservation Plan.

8.6 DEVELOPMENT PHASING

Development of the SPA will be completed in the multiple phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. Exhibit 8.5 - Conceptual Phasing Plan reflects anticipated market demand for a variety of housing types and commercial uses.

The Conceptual Phasing Plan is non-sequential. This recognizes that sequential phasing is frequently inaccurate due to unforeseen market changes or regulatory constraints; therefore, this SPA plan and the associated Public Facilities Financing Plan (PFFP) permits non-sequential phasing by imposing specific facilities requirements, per the PFFP, for each phase to ensure that the SPA is adequately served and City threshold standards are met. Public Parks and Schools shall be phased as needed.

The Conceptual Phasing Plan is consistent with the PFFP. The PFFP implements the City of Chula Vista Growth



Orange			
Plan Area	Target Units	C'ml Sq. Ft (K)	
		Min.	Max.
A (Comm. Park)			
B		-	4
C	180	-	36
D	234		
E (Basin)	-		
F	175	10	10
G (Town Sq.)			
H1	225	20	75
H2	-	-	12
I	84	-	-
J	199	-	18
L	431	87	145
M	125		
N	117		
O	120		
W			
X			
Subtotal	1,890	117.0	300.0

Blue			
Plan Area	Target Units		
P	115		
Q	106		
R			
S			
T (Neigh. Park)			
U	127		
V	96		
Subtotal	444		
TOTAL	2,334	117	300



Exhibit 8.5 - Conceptual Phasing Plan

Management Program and Ordinance. The intent of the document is to ensure that the phased development of the project is consistent with the overall goals and policies of the City’s General Plan, Growth Management Program, and the Otay Ranch GDP. The proposed phasing and actual construction timing of the SPA may be modified subject to compliance with provisions of the PFFP. (See Appendix A.)

8.7 PUBLIC SCHOOLS

This section serves as the SPA’s School Master Plan, as required by The Otay Ranch GDP. The size and number of school facilities is determined by applying the student generation rates for multi-family and single family dwelling units, as shown in **Table 8.1 - Projected Student Generation**. Elementary school generation rates are based on the Chula Vista Elementary School District Fee Justification Report for New Residential, Commercial and Industrial Development (March 2018). High school and middle school student generation rates are based on the Sweetwater Union High School District Draft Student Generation Rates (February 2018):

Table 8.1 - Projected Student Generation

Land Use	Units	Elementary School		Middle School		High School	
		Rate	Students	Rate	Students	Rate	Students
Town Center	1,209	x 0.2543	308	x 0.081	98	x 0.1504	182
Medium High Density Residential	563	x 0.2543	143	x 0.0712	40	x 0.1504	85
Medium Density Residential	233	x 0.4015	94	x 0.1154	27	x 0.2548	59
Low Medium Density Residential Village	328	x 0.4015	132	x 0.1154	38	x 0.2548	84
Total	2,334		676		203		410

Based on the number of units projected by this SPA Plan and the negotiated generation rates provided by the Chula Vista Elementary School District and the Sweetwater Union High School District, schools will need to provide educational services for approximately 676 new elementary school students, 203 new middle school students, and 410 new high school students. This section provides a brief description of how these students will be accommodated. The PFFP provides additional information regarding the phasing and funding of educational facilities proposed within Village 8 West.

8.7.1 Elementary Schools

To fulfill the educational need of new elementary school students within Village 8 West, an 11.1-acre elementary school site has been reserved as Parcel S on the Site Utilization Plan. If selected by the Chula Vista Elementary School District (CVESD), this school site will be large enough to accommodate up to 750 students.

The site will be reserved for acquisition by the CVESD as described in the PFFP. Construction timing of the school will be determined by the CVESD. Until such time that the school is completed, students residing within Village 8 West will attend schools in neighboring villages as determined by the CVESD. If the CVESD decides not to pursue the elementary school site, it will revert to Medium High Residential pursuant to Section 9.3.2.B of this SPA and an alternate site will be identified, which may require a SPA Amendment.

8.7.2 Middle Schools and High Schools

Village 8 West is within the Sweetwater Union High School District (SUHSD).

Middle school students will attend schools in neighboring villages as determined by the SUHSD.

Village 8 West is in the attendance area of Olympian High School, located in Village 7. However, the SUHSD will determine where students from Village 8 West will be served and if an additional high school is needed to serve Village 8 West.

8.7.3 Continuing Education

Provisions for continuing education are not required by the Otay Ranch GDP; however, Village 8 West is located approximately 3 miles from Southwestern College and one mile from a proposed university. In addition, the CPF site designated as Planning Area R provides an opportunity for educational facilities, which could include on-going education.

8.8 CHILD CARE FACILITIES

The SPA plan provides a variety of opportunities for child care services. These facilities can be divided into two main categories: Family Day Care Homes and Facility Based Child Care.

8.8.1 Family Day Care Homes

Family day care homes are home based child care services provided within private residences. The SPA land use regulations recognize two types of home-based child care facilities. Small family day care homes (SFDCH) that serve up to 6 children and large family day care homes (LFDCH) serving 7-12 children.

Both types of facilities are permitted or conditionally permitted within residential and mixed-use sites in Village 8 West. Please refer to Chapter 3, Development Code, to determine which zones permit these types of uses. All family day care homes are also subject to the California Code of Regulations, Title 22, Division 12, Chapter 3, Section 102417 and all other state and local regulations.

8.8.2 Facility-Based Child Care

Facility based childcare refers to child care services provided by non-profit, governmental, religious, community, educational, or commercial facilities. These facilities are often provided as an accessory land use but may also be the primary land use. Locating child care services near other compatible land uses is consistent with efficient land use planning and the neo-traditional principles of Otay Ranch.

A conditional use permit may be required depending upon the land use designation of the property and the size of the facility. Please refer to Chapter 3, Development Code, to determine which zones require a conditional use permit for these types of facilities. The State of California also regulates the licensing, application procedures, administrative actions, enforcement provisions, continuing requirements, and physical environment of these facilities. All facility-based child care facilities are also subject to these and all other applicable state and local regulations.

8.9 POLICE, FIRE, AND EMERGENCY SERVICES

Life safety services are one of the most important services needed to support the community. Adequate facilities, personnel, and response times ensure the long-term health and well being of the community. The following section describes how these services will be provided for in Village 8 West.

8.9.1 Police Protection

The Chula Vista Police Department (CVPD) will provide law enforcement services to Village 8 West. The CVPD currently provides police service to the project area from its existing police facility in downtown Chula Vista. Maintaining the current rate of 1.07 sworn police officers per 1000 population will require adding approximately 7 sworn officers to support the projected population in Village 8 West. Based on current policy, no police substations are required in Village 8 West; however, they are a permitted use in the NE, NG, NC, and TC zones. All future development within Village 8 West shall comply with applicable Crime Prevention Through Environmental Design (CPTED) and Chula Vista Police Department Standards.

8.9.2 Fire Protection

Village 8 West will be served by the City of Chula Vista Fire Department. The closest existing fire stations to Village 8 West are Fire Station 7, located at 1640 Santa Venetia Road; Fire Station 6, located at 605 Mt. Miguel Road; and Fire Station 8, located at 1180 Woods Drive. The EUC, located northeast of Village 8 West, includes a proposed fire station.

Additional fire equipment, staff, and facilities required to serve the increased population proposed by the SPA Plan is identified in the PFFP. Although no fire station sites are identified on the Site Utilization Plan, fire stations are a permitted use in the NE, NG, NC, and TC zones. Appendix F- Fire Protection Plan and Appendix D- Preserve Edge Plan have also been prepared in conjunction with this SPA to identify fire prevention measures such as fuel modification zones and architectural controls. All subsequent development applications shall be subject to these plans and the review and approval of the Fire Department.

8.9.3 Emergency Medical Services

Currently, American Medical Response (AMR) provides contract emergency medical services for the City of Chula Vista, National City, and Imperial Beach. There are 5 American Medical Response South County paramedic units: 2 are located in Chula Vista, 2 in National City, and 1 in Imperial Beach. Village 8 West and the surrounding area will be served through this contract arrangement by the City of Chula Vista.

8.9.4 Emergency Disaster Plan

The GDP requires all SPA plans to provide an “Emergency Disaster Plan” that addresses the various hazards that have the potential for disrupting communities, causing damage, and creating casualties within the area. Possible natural disasters include earthquakes, floods, fires, landslides, and tropical storms. There is also the threat of man-made incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism, or civil disorder. The Village 8 West SPA addresses these disaster situations by implementing the following services already available in the area:

1. San Diego County Emergency Plan: This comprehensive emergency management system provides for a planned response to disaster situations associated with natural disasters, technological incidents, and nuclear defense operations. The plan includes operational concepts relating to various emergency situations, identifies components of the Emergency Management Organization, and describes the overall responsibilities for protecting life and property and assuring the overall well-being of the population. The plan also identifies the sources of outside support that might be provided (through mutual aid and specific statutory authorities) by other jurisdictions, state and federal agencies, and the private sector.
2. Unified San Diego County Emergency Services Organization: Consists of San Diego County and the cities within the county. It was established in 1961 and provides for “preparing mutual plans for the preservation of life and property and making provisions for the execution of these plans in the event of a local emergency, state of emergency, and to provide for mutual assistance in the event of such emergencies.”
3. California Disaster and Civil Defense Master Mutual Aid Agreement: As provided for in the California Emergency Services Act, this agreement was developed in 1950 and adopted by California’s unincorporated cities and by all 58 counties. This statewide mutual aid system is designed to ensure that adequate resources, facilities, and other support is provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. San Diego County is located in Mutual Aide Region 6 of the State system.
4. Unified County Emergency Services Organization: The City of Chula Vista has comprehensive agreements with the Bureau of Land Management, California Department of Forestry, California Conservation Corps, Urban Search and Rescue Corps, San Diego County Fire Mutual Aid, and other agencies in conjunction with the California Disaster and Civil Defense Master Mutual Aid Agreement. Village 8 West is incorporated into Chula Vista’s existing emergency disaster programs, including all fire and emergency services and mutual aid agreements.
5. Community Emergency Response Team (CERT) Program: The City of Chula Vista provides a CERT program that offers training to citizens to teach them how to effectively and efficiently respond to emergency situations without placing themselves or others in unnecessary danger. CERT training includes lessons on managing utilities, putting out small fires, providing basic emergency medical aid, searching and rescuing victims safely, effectively organizing volunteers, and collecting disaster information to support first responders.

8.10 LIBRARY SERVICES

The City Library Master Plan identifies library services, which are provided by the City of Chula Vista. The plan establishes a standard of 500 square feet of adequately equipped and staffed library facilities per 1,000 residents. Based on the projected population, Village 8 West generates a demand for 3,214 square feet of additional library facilities within the City. This demand will be satisfied by participation in the City's Public Facilities Development Impact Program as identified in the PFFP.

8.11 CIVIC FACILITIES

The City of Chula Vista Civic Center serves the civic needs of the community. The Civic Center was recently expanded and currently supports existing development within the City of Chula Vista. As the City continues to grow, additional expansion of these facilities may be required to accommodate staff. Therefore, the Village 8 West SPA is subject to the City's Development Impact Fee (DIF) Program, which may be used for expansion of the Civic Center and construction of other civic facilities in the future.

8.12 ANIMAL CONTROL FACILITIES

Animal health and regulatory services will be provided by the City of Chula Vista. There are currently no impact fees imposed to finance animal control facilities.

8.13 INTEGRATED SOLID WASTE MANAGEMENT

Solid waste management services for the City of Chula Vista are provided by Allied Waste Management. Solid waste is collected curb-side once a week and transported to the Otay Landfill in the City of Chula Vista. Otay landfill currently has a projected life span of 20 years.

Allied Waste Management also provides a comprehensive recycling program with the City of Chula Vista for residential, commercial, and industrial generators. This program includes the following:

1. Curbside, commingled recycling of newspapers, plastics, aluminum, glass, cardboard, and metals.
2. Drop-off facilities that accept paint, batteries, other household hazardous materials, computers, television sets, and other electronics.
3. Curbside collection of green vegetation yard wastes that are recycled into mulch for redistribution.

The State of California has mandated the at least 50% of the solid waste generated by a City or County be diverted from landfills. Additionally, the State has set per capita disposal rates of 5.3 pounds per person per day for the City of Chula Vista. To maintain these targets the following programs must be implemented per Chula Vista Municipal Code Sections 8.23 Solid Waste and Recycling Contract or Franchise; and 8.24 Solid Waste and Litter; 8.25 Recycling and 19.58.340 Trash Enclosures:

1. All new construction and demolition projects in the City are required to divert from landfill disposal 100 percent of inert waste, to include asphalt, concrete, bricks, tile, trees, stumps, rocks, and associated vegetation and soils resulting from land clearing, and not less than 50 percent of the

remaining waste generated, via reuse or recycling, unless a partial or full diversion exemption has been granted pursuant to CVMC 8.25.095, in which case the diversion requirement shall be the maximum feasible diversion rate established by the Waste Management Report Compliance Official for the project (CVMC 8.25.020(O6)). Contractors will be required to put up a performance deposit and prepare a Waste Management Report Form to ensure that all materials are responsibly handled. Upon verification that the diversion goals have been met the performance deposit will be refunded (CVMC 8.25.095).

2. The City of Chula Vista's Recycling and Solid Waste Planning Manual, adopted by City Council, provides information for adequate space allocated to recycling and solid waste within individual projects, based upon the type of project and collection service needed. Allied Waste Services/ Republic Services is the City of Chula Vista contracted service provider for all commercial, industrial, and residential services within the city limits.
3. Plans are subject to approval by the City Manager or designee, who is the Environmental Services Program Manager in the Public Works Department.
4. Additionally, the City of Chula Vista encourages the use of compost materials to be incorporated into the soil of all new construction projects to improve soil health, water retention, less water run off, and filtration of water run-off prior to entering storm drains and creeks on the way to San Diego Bay. The yard trimmings collected in Chula Vista are composted at the Otay Landfill and may be available for purchase.

8.14 REGIONAL FACILITIES

The Otay Ranch General Development Plan requires all new development within Otay Ranch to meet the demands for regional services and facilities by participating in a regional impact fee program (if such a program is implemented) and/or by reserving land or facilities for regional service programs. Village 8 West will contribute an equitable financial share to the following services for Otay Ranch in accordance with the PFFP:

1. Arts and Cultural Facilities.
2. Cemeteries.
3. Health and Medical Facilities.
4. Community and Regional Purpose Facilities.
5. Social and Senior Services.
6. Correctional Facilities.
7. Justice Facilities.



Chapter 9

Implementation & Administration



9 - Implementation & Administration



9.1 IMPLEMENTATION

9.1.1 Purpose

The purpose of this chapter is to define certain administrative procedures and requirements and provide clear instruction and notice to property owners and developers within Village 8 West SPA regarding permit and plan approvals. These regulations use the standard procedures provided in the Chula Vista Municipal Code Section 19.14 except where special procedures are required or defined herein.

The administration of the Village 8 West SPA Plan shall be as provided for in Chula Vista Municipal Code Section 19.48.090 et. seq. Whenever the provisions of this SPA conflict with or provide different rules, standards, or procedures from those in Titles 12 (Streets and Sidewalks), 18 (Subdivisions), or 19 (Zoning and Specific Plans) of the City's Municipal Code, the provisions of this chapter shall prevail. On matters within those titles on which this chapter is silent, the existing titles apply.

9.1.2 Amendments

Changes to the boundaries of the transect and zoning districts shall be made by ordinance and shall be reflected on the official Village 8 West SPA Regulating Plan as provided in Exhibit 3.2 - Regulating Plan. Minor changes resulting from the approval of a tentative or final map shall be made to the Zoning Districts Maps as an administrative matter.

9.1.3 Effect of Regulations

The provisions of Chapter 3, Development Code, governing the use of land, buildings, structures, the size of yards, the height and bulk of buildings, standards of performance, and other provisions are hereby declared to be in effect upon all land included within the boundaries of each and every zoning district established by the Development Code.

9.1.4 Multiple Applications

When an applicant applies for more than one permit or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker or decision-making body pursuant to the requirements of Chula Vista Municipal Code Section 19.14.050.

9.2 SPA INTERPRETATION

9.2.1 Substantial Conformance

The Zoning Administrator may determine an application is in substantial conformance to the adopted SPA document, subject to the findings below:

1. The proposed project or use is substantially consistent with the Chula Vista General Plan and adopted policies of the City.
2. The proposed project or use is substantially consistent with the Village 8 West SPA Plan and its purpose and intent. Land use and circulation pattern are generally consistent. Statistical variations such as site area calculations shall be less than 15%.
3. The proposed project or use meets the provisions of Chapter 3, Development Code, governing the use of land, buildings, structures, the size of yards, the height and bulk of buildings, standards of performance, and other provisions. Any deviation from these standards shall require a variance.
4. The proposed project or use substantially complies with Chapter 4, Community Design; the Village 8 West Landscape Master Plan (See Section 9.3.6); and the Town Center Master Precise Plan (See Section 9.3.7), as applicable. Some deviation from standards and guidelines are permitted as long as the overall project meets the overall design intent and vision specified in Chapter 4, the Village 8 West Landscape Master Plan (See Section 9.3.6), and the Town Center Master Precise Plan (See Section 9.3.7), as applicable.
5. The proposed project or use will not, under circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.
6. The proposed project or use is substantially consistent with the principles and overall quality of design established for the Otay Ranch Planned Community.

The Zoning Administrator shall set a reasonable time for the consideration of each application to the applicant and to other interested persons as defined in the Chula Vista Municipal Code Chapter 19.14 - Administration Procedures - Permits - Applications - Hearings - Appeals. In the event objections or protests are received, the Zoning Administrator shall set the matter for public hearing as provided therein.

9.2.2 Clarification of Ambiguity

If ambiguity arises concerning the proper classification of a particular parcel within the meaning and intent of Chapter 3, Development Code, or Chapter 4, Community Design, or if ambiguity exists with respect to height, yard requirements, area requirements, or zoning district boundaries as set forth herein, the Zoning Administrator shall make a determination clarifying said ambiguity based upon the pertinent facts and the intent of the SPA. A decision rendered by the Zoning Administrator concerning said ambiguity may be appealed in accordance with the appeal procedure set forth in the Chula Vista Municipal Code Section 19.14.100. For ambiguities that arise from applications requiring a public hearing by a decision making body other than the Zoning Administrator, the determination of the Zoning Administrator shall be forwarded to the appropriate decision making body as a recommendation.

9.2.3 Definition of Terms

For the purposes of this SPA document, certain words, phrases, and terms used herein shall have the meaning assigned to them by Appendix I - Glossary. Words, phrases, and terms not defined in Appendix I - Glossary shall be defined by Chula Vista Municipal Code Section 19.04.

9.3 REVIEW PROCESS

This section includes the distinct administrative processes and procedures for reviewing the design and development of new buildings and uses within the Village 8 West SPA. Additional permits may be required and shall be subject to and processed in accordance with the Chula Vista Municipal Code.

9.3.1 Preliminary Review

The Master Developer shall participate in a preliminary design review process prior to application submittal to the City until final build out has been achieved. The preliminary review by the Master Developer is for recommendation only. Each application to the City shall be accompanied by this recommendation from the Master Developer to City staff for approval, modification, or denial of the proposed project. This process is intended to add an extra level of review and compliance with previously adopted plans.

In addition, it is strongly encouraged that project applicants request a pre-application meeting with planning staff to review the scope of the project and the required applications and submittal materials. The pre-application meeting will be subject to the City of Chula Vista fee schedule.

9.3.2 Level and Scope of Reviews

A. Design Review

1. Design review is intended to provide sufficient detail in site planning, architectural design, and landscape architectural design to enable a specific development project design to be reviewed with respect to compliance with the Village 8 West SPA Plan, Landscape Master Plan (See Section 9.3.6), and Town Center Master Precise Plan (See Section 9.3.7), as applicable. Typically, Design Review will be performed on a parcel but may also include a group of buildings so long as a conceptual design of the entire parcel is provided. Because of the importance of design context and continuity of streetscapes, Design Review submittals shall be required to address the entire Planning Area as shown on the Site Utilization Plan on which the proposed project is located at a conceptual level. This conceptual planning provides assurance that options for the logical build-out can occur, but is not specifically adopted as a constraint on other alternatives that may be considered in the future, so long as they are in substantial conformance with the Design Review Approval. Any projects found not to be in substantial conformance by the Zoning Administrator may apply for an amendment to the previous Design Review approval with the Planning Commission.
2. Another alternative is the consideration of phased intensification. A building complex may intensify over time as a planned intensification. This phasing may be approved with the initial Design Review application at the option of the applicant if the Design Review application is for a partial build-out of a planning area in compliance with the Village 8 West Landscape Master Plan (See Section 9.3.6), and Town Center Master Precise Plan (See Section 9.3.7), as applicable
3. The scope of the Design Review shall be limited to compliance with the provisions of this Code and related SPA documents as specifically provided for in Chula Vista Municipal Code Section 19.14.582. Village 8 West is intended to be a vibrant community with a wide variety of uses, activities, and design features that will promote a pedestrian friendly environment with proximity to shopping, entertainment, transit, and employment opportunities. In such an environment, the overriding design goals are high quality design and excellent functionality. This Form-based Code provides the basis for future development. Adherence to any specific architectural style or any set of preconceived design solutions beyond what is specified in the Village 8 West Landscape Master Plan (See Section 9.3.6) and Town Center Master Precise Plan (See Section 9.3.7), as applicable, is neither required nor desired. The Design Review process requires a determination that a project is in compliance with the defined standards and guidelines of the Village 8 West SPA Plan, Landscape Master Plan (See Section 9.3.6), and Town Center Master Precise Plan (See Section 9.3.7), as applicable.

4. Because of the wide range of appropriate design options within Village 8 West, any Design Review submittal that meets the prescriptive standards of the Village 8 West SPA and the Village 8 West Landscape Master Plan (See Section 9.3.6) and Town Center Master Precise Plan (See Section 9.3.7), as applicable, shall be deemed to be in conformance with the SPA unless evidence is presented to refute the conclusion. Any and all design revisions or conditions applied to a proposed project by the Planning Commission, Zoning Administrator, or other reviewing and approving body, will only be made in order to meet the Village 8 West SPA design objectives. Any determination made by the appropriate decision making body that the proposed decision is in conflict with the Village 8 West SPA Plan shall clearly identify the specific objective, policy or design statement that is found to conflict with said Village 8 West design. The fact that a proposed design is not illustrated in the Village 8 West SPA Plan is not evidence of a conflict. The Village 8 West SPA Plan utilizes multiple examples of Building Types to convey a sense of design character specifically to avoid a requirement for a specific design. Substantial evidence of conflict requires that the design proposal be inconsistent with the design character conveyed by the multiple examples.
5. Major Design Review is for projects that include more than 20,000 square feet of non-residential building area or more than 200 multifamily residential dwelling units. Major Design Review requires approval by the Planning Commission. Mixed use projects are subject to Major Design Review.
6. Minor Design Review (Administrative) is for projects that include 20,000 square feet or less of non-residential building area or 200 or fewer multifamily residential dwelling units. Minor Design Review requires approval by the Zoning Administrator.

B. Intensity Transfer

1. Intensity Transfer is an administrative process, conducted by the Zoning Administrator to ensure that Village 8 West SPA does not exceed the maximum level of intensity.
2. The Site Utilization Summary is intended to provide the general design intent of the Village 8 West SPA; however this SPA recognizes the need for flexibility in planning to accommodate future development constraints and market demands. Notwithstanding the foregoing, unless a proposed project is exactly consistent with the target intensity shown for that planning area on the Site Utilization Plan, an intensity transfer is required. Any transfer of intensity between planning areas within the same land use is permitted provided said transfer is consistent with the SPA Plan, the circulation system, and the technical studies of the associated EIR as related to infrastructure; the overall target intensity of 2,050 residential units and 300,000 square feet of non-residential floor area is not exceeded; and a combined total of 117,000 square feet (or 39 % of the) of non-residential floor area is maintained in the remaining planning areas found in that land use. Any other type of transfer shall require a SPA Amendment. The Zoning Administrator shall approve or deny the proposed intensity transfer subject to the following findings and conditions:
 - a. The resulting density of both the granting and receiving planning areas shall be consistent with the density ranges specified for each area.
 - b. The overall SPA intensities shall not be exceeded.
 - c. The Neighborhood Builder has received a letter of recommendation for approval, modification, or denial of the intensity transfer from the Master Developer.
 - d. The planned identity of Village 8 West SPA is preserved including the creation of a pedestrian friendly community.
 - e. The Neighborhood Builder has provided supporting technical studies, if necessary, to the satisfaction of the Zoning Administrator, that substantiate adequate infrastructure exists to support the intensity transfer.
 - f. Public facilities and infrastructure including schools and parks shall be provided based on the final number of units and the applicant shall agree to pay any additional fees resulting from said transfer. Preserve conveyance obligation shall be based upon the final map development area.
 - g. The overall target intensity of 2,334 residential units and a maximum of 300,000 square feet of non-residential floor area is not exceeded; and a combined total of 100,000 square feet of retail commercial floor area is maintained within Village 8 West.

3. If a shift of Community Purpose Facility (CPF) sites or square footage/acreage between planning areas occurs, a SPA Amendment shall be required. The total square footage/acreage for Community Purpose Facility sites shall meet the Village 8 West SPA Community Purpose Facility obligation.
4. Transfers of intensity to an unused school site if the site is not accepted by the school district shall be as follows:
 5. Parcel S shall revert to "Medium-High Density Residential (MH)" site utilization.
6. Transfers between villages. Unused intensity may be transferred between villages as permitted by City Council pursuant to the expressed terms set forth by agreement, ordinance, or such other manner approved by City Council.
7. No transfer shall exceed the maximum number of units shown on an approved tentative map without a revised tentative map approved by the City Council.

C. Site Plan and Architectural Review

Site Plan and Architectural Review shall be completed pursuant to the requirements and procedures set forth in Chula Vista Municipal Code Section 19.14.420-480.

D. Summary of Discretionary Review

Table 9.1 - Discretionary Permit Matrix for Village 8 West SPA summarizes the review authority for each step of approval.

Table 9.1 - Discretionary Permit Matrix

Approving Authority: A
 Recommendation Authority: R

	City Council	Planning Commission	Zoning Administrator	Administrative Staff
Administrative CUP (A)			R	
Adoption/Amendment to GDP	A	R		R
Adoption/Amendment to SPA	A	R		R
Environmental Documents	A ⁴	R/A ⁴		R/A ⁴
Tentative Subdivision Map	A	R		R
Parcel Map (4 lots/units of less) ¹				A
Final Map ¹	A			R
Conditional Use Permit (CUP)		A	R	
Major Design Review ²		A		
Minor Design Review ³			A	
Intensity Transfers			A	
Sign Program			A	R
Temporary Use Permit				A
Site Plan & Architectural Review				A
Appeals ⁵	A			

1. Action Item Only; No public hearing
2. Projects that include more than 20,000 square feet of non-residential building area or more than 200 multifamily residential dwelling units and all mixed use projects.
3. Projects that include 20,000 square feet or less of non-residential building area or 200 or fewer multifamily residential dwelling units.
4. Environmental documents must be approved by the approving body which has jurisdiction over the project.
5. Appeals shall be reviewed in accordance with CVMC 19.14.583

9.3.3 Submittal Requirements

A. Design Review

Design Review shall comply with the procedures and requirements set forth in Chula Vista Municipal Code Section 19.14.581 through 19.14.600, except that the findings and actions of both the Planning Commission and the Zoning Administrator shall be based upon the provisions of this SPA.

Submittal items shall include the following:

1. Completed City of Chula Vista Development Services Department Application Checklist and all required submittal items listed therein.
2. Completed Village 8 West Design Review Compliance Checklist (see Exhibit 9.1), which shall be used to evaluate the proposed project's conformance with the adopted SPA Plan and Village 8 West Landscape Master Plan (See Section 9.3.6), and Town Center Master Precise Plan (See Section 9.3.7), as applicable.
3. Other required Documents, Exhibits, and Plans:
 - a. Lighting Plan including location, type, and hooding devices (if any) to shield adjoining properties.
 - b. Color and Materials Board.
 - c. Site Photographs.
 - d. Written statement, and/or exhibits as applicable, indicating compliance with applicable required EIR mitigation measures; and SPA and subdivision conditions of approval.
4. Additional items required with application and to be updated upon project approval include the following:
 - a. Completed monitoring tables, as required herein; including: Residential and Non-residential Monitoring Tables.
 - b. Planning area build-out concept plans if project does not include an entire planning area.
 - c. Technical studies or information as required to demonstrate CEQA compliance or compliance with City Regulations.

Exhibit 9.1 - Village 8 West Design Review Compliance Checklist

- Has the project complied with all of the submittal requirements for Design Review (Chapter 9)?
- Building Height: Is the building height consistent with the Transect Standards (Chapter 3)?
- Building Setback: Is the building setback from the street consistent with the Transect Standards (Chapter 3)?
- Building Use: Are the proposed uses within the building consistent with the permitted land uses for the transect (Chapter 3)?
- Intensity: Is the intensity consistent with the Site Utilization Plan (SPA Plan) and the latest Intensity Monitoring Tables (Appendix J)?
- Intensity Transfer: Will an Intensity Transfer be required? If so, has the Zoning Administrator approved the transfer?
- Parking: Does the building provide adequate parking spaces for the intended uses, based on (circle one):
 - a. A shared or managed parking program previously approved;
 - b. An adequate shared or managed parking program submitted with the application;
 - c. Conventional City parking standards; or,
 - d. Building Type Standards (Chapter 3)
- Parking circulation design: Is the design of parking circulation, gates, backup spacing, turning radii, and stacking distances adequate for the intended use(s)?
- Parking Space Sizes: Are the parking space sizes adequate for the use(s) intended?
- On Street Parking: If on street parking is being used to satisfy part of the parking requirement, have these spaces been used for a previously approved project?
- Parking Structure: If a parking structure is proposed that fronts on the street, has the street level been designed to enhance a pedestrian's experience by (circle all that apply):
 - a. Appearance softened with landscaping;
 - b. Street level shops or uses other than parking structure;
 - c. Architecturally treated to provide an attractive finished look or art wall; or,
 - d. Other acceptable technique.

Exhibit 9.1 - Village 8 West Design Review Compliance Checklist (Continued)

- Loading Areas: Are the loading areas designed to minimize disruption to pedestrian and vehicular traffic?
- Trash: Are trash receptacles adequately located out of or screened from public view?
- Encroachments: If encroachments into the public right-of-way are being proposed, do these encroachments create any unacceptable public risks that are not addressed by the application? Has an encroachment permit been submitted?
- Parks: Is the project consistent with the park requirements?
- Affordable Housing: Is the project consistent the Village 8 West SPA Affordable Housing Plan?
- Subdivision: Does the project comply with the Conditions of Approval for the subdivision?
- Landscaping: Does the project comply with the landscape requirements and the Village 8 West Landscape Master Plan (See Section 9.3.6), and Town Center Master Precise Plan (See Section 9.3.7), as applicable?
- Lighting: Does the lighting plan describe the location, type, and shielding required to minimize impacts to adjoining properties (See Section 4.2.5)?
- Architecture: Is the architectural design consistent with the community design requirements for each Transect (Chapter 4)?
- Pedestrian System: Does the project integrate with the pedestrian system?
- Property Ownership: Does the project require approval from other property owners and has this approval been submitted (Chapter 9)?
- Recommendation: Has a recommendation for approval, modification or denial of the proposed project been provided from the Master Developer (Chapter 9)?
- Monitoring Tables: Have the Monitoring Tables been provided as required (Chapter 9)?
- Design Review: Does the project require Design Review by the Planning Commission or Zoning Administrator (Chapter 9)?
- Water Quality: Do the plans demonstrate consistency with any applicable approved on-site Best Management Practices (BMPs) and Low Impact Development (LID) design strategies in conformance with the City's Storm Water Manual?

B. Intensity Transfers

Application for Intensity Transfers shall be made to the Zoning Administrator by written request together with supporting documentation, a fee, or deposit in accordance with the City fee schedule for Design Review, along with an agreement to pay any additional costs that may be required to review the application.

1. The Neighborhood Builder shall be required to submit the following items (number as required for Design Review):
 - a. Written project description with statistics indicating the scope of the intensity transfer from and to which planning area;
 - b. Updated Site Utilization table;
 - c. Letter of recommendation for approval, modification, or denial of the intensity transfer from the Master Developer;
 - d. Written evidence of approval from all property owners that are affected by the proposed intensity transfer;
 - e. Written statement(s) or updated reports from qualified professionals indicating that the transfer will not exceed the capacity of planned infrastructure;
 - f. Written statement and/or applicable exhibits demonstrating compliance with applicable required EIR mitigation measures, and SPA and subdivision conditions of approval.
2. After intensity transfer is approved, the Neighborhood Builder shall provide the updated SPA documents (text, tables, and exhibits) in the number determined by the Development Services Director.
3. The Zoning Administrator shall take one of the actions listed below:
 - a. Approve the application as submitted;
 - b. Approve the application with certain conditions;
 - c. Deny the application.

The action of the Zoning Administrator on an intensity transfer may be appealed in the same manner as provided for an appeal of a Design Review action. The Zoning Administrator shall approve the transfer by dating and signing the Intensity Monitoring Tables submitted by the Neighborhood Builder and attaching any applicable conditions of approval. Copies of approved Monitoring Tables shall be maintained with the Village 8 West SPA documents as Appendix J. Approval of Intensity Transfers are not subject to review by the Planning Commission and shall occur prior to approval of the Design Review application.

C. Site Plan and Architectural Review

Site Plan and Architectural Review shall comply with the provisions set forth in the Chula Vista Municipal Code Section 19.14.420.

9.3.4 Permits, Variances, and Zoning Applications

The following permits, variances, and zoning applications shall be subject to the applicable administrative procedures described in Chula Vista Municipal Code Section 19.14:

- A. Conditional Use Permits.
- B. Zoning Permits.
- C. Variances.
- D. Home Occupations.

9.3.5 Subdivisions Standards and Procedures

Tentative maps, parcel map, and final maps shall be consistent with the development standards set forth by the Village 8 West SPA document and shall be processed in accordance with the procedures and submittal requirements set forth in Title 18 of the City of Chula Vista Municipal Code.

9.3.6 Village 8 West Landscape Master Plan

The Master Developer shall submit a Village 8 West Landscape Master Plan. The Village 8 West Landscape Master Plan may exclude the Town Center from the Landscape Master Plan if all of the requirements for a Landscape Master Plan for the Town Center are provided for within the Village 8 West Town Center Precise Plan. A reference shall be added to the The Village 8 West Landscape Master Plan directing the reader to the Village 8 West Town Center Precise Plan if applicable.

The purpose of the Landscape Master Plan is to provide an overall basis for reviewing specific landscape design at the site planning and public improvements stages. Except for the provisions set forth herein, the requirements for the application, review, and approval process shall comply with Chula Vista Municipal Code Section 19.14.485.

9.3.7 Village 8 West Town Center Master Precise Plan

The Master Developer shall submit a Village 8 West Town Center Master Precise Plan prior to final maps for the Village 8 West Town Center. The purpose of the Master Precise Plan is to coordinate the spatial relationship between buildings, structures, landscaping, and public spaces as well as ensure a unified design theme for signage, lighting and street furniture in order to implement the SPA's vision of creating a pedestrian friendly Town Center. The Master Precise Plan provides an overall basis for reviewing specific site plan applications and proposed public improvements within the Town Center. Except for the provisions set forth herein, the requirements for the application, review, and approval process of the Master Precise Plan shall comply with Chula Vista Municipal Code Section 19.56.042 through 19.56.048. No other Master Precise Plans shall be required within the Village 8 West SPA.

9.4 ENFORCEMENT

The City shall enforce the Development Code contained herein in accordance with the enforcement authority provided by the City's Charter and Municipal Code

9.5 MONITORING AND UPDATES

As provided in the Village 8 West SPA Plan, a range of residential and non-residential intensities are planned within the Village 8 West SPA. As provided in Section 9.3.1.B of this SPA document, transfers between planning areas may occur during development. These changes must be monitored to ensure compliance with the overall approvals of the project and the provision of certain population-based public facilities. Changes that include an increase in the number of residential units will require a corresponding increase in such facilities and a decrease in residential units will require a corresponding decrease in facility requirements.

In order to ensure continuing compliance with required standards, the Development Services Director shall maintain an administrative record beginning with the initial SPA Plan approval. The administrative record documents the assignment of intensity to the various Village 8 West planning areas and the intended compliance strategy for population based public facilities. This record shall be updated with each design review approval and/or intensity transfer as an administration action following such approval. The required monitoring tables are provided as Appendix J, along with the required Record of Design Review Approvals.

The current administrative monitoring record and the associated changes, if any, shall be provided to the decision making body at the time of each design review approval and/or density/intensity transfer. No proposal that would jeopardize compliance with population based public facility standards shall be approved. The Neighborhood Builder for any Design Review application must submit the proposed monitoring tables. After approval, The Development Services Director shall maintain these as the official monitoring records in Appendix J, and in digital form, accessible to other City Departments and to Village 8 West Neighborhood Builders.



Chapter 10

GDP Compliance



10 - GDP Compliance



10.1 INTRODUCTION

The adopted Otay Ranch General Development Plan establishes goals and objectives for land use; mobility; housing; parks, recreation, open space; public facilities; safety; phasing; and resource protection, conservation and management. This chapter provides a re-statement of the GDP goals and objectives followed by an explanation of how they are implemented by the Village 8 West SPA.

10.2 LAND USE

Goal: Develop comprehensive, well-integrated and balanced land uses that are compatible with the surroundings.

Objective: Provide a well-integrated land use pattern which promotes both housing and employment opportunities, while enhancing the unique environmental and visual qualities of the Otay Ranch.

Objective: Provide a wide range of residential housing opportunities, from rural and estate homes to high-density multi-family projects and affordable housing. Provide a balanced and diverse residential land use pattern for the Otay Valley Parcel which promotes a blend of multi-family and single-family housing styles and densities, integrated and compatible with other land uses in the area.

Objective: Provide development patterns complementary to the adopted plans and existing development of the adjacent communities.

Implementation:

The land use plan for Village 8 West supports these GDP goals and objectives by providing a diverse range of housing and employment opportunities. The plan adheres to the GDP specific directives for Villages 8 West that creates an intensified village core (composed of mixed-use, commercial, town square and residential land uses) and residential neighborhoods that offer a variety of housing styles and densities.

The organization of the land uses within the Village 8 West meets the objectives of integration and compatibility of land uses within villages and with adjacent communities. Housing and employment are combined as “mixed uses” in the Town Center.

The Village 8 West Plan supports the objective of enhancing the unique environmental and visual qualities of Otay Ranch. The Village 8 West SPA Plan generally conforms to the natural topography of the site and maintains views towards open space and distant mountains.

Goal: Environmentally sensitive development should preserve and protect significant resources and large open space areas.

Objective: Provide land use arrangements which preserve significant natural resource areas, significant landforms and sensitive habitat.

Implementation:

These goals and objectives will be met through preservation of open space areas in the southerly portions of Village 8 West. Village 8 West is sited within land area designated for development that does not contain significant natural resources. Transect planning has been applied to the site to create a gradual transition toward lower densities in areas adjacent to the Otay River Valley and the MSCP Preserve. Proposed development adjacent to these areas consists of compatible uses with appropriate design, landscaping, drainage, and other development standards sensitive to the environment. Furthermore, as part of the development process, Otay Land Company has contributed significant land dedications for protection of the adjacent environmentally sensitive land in the MSCP Preserve.

Goal: Reduce reliance on the automobile and promote alternative modes of transportation.

Objective: Develop villages and town centers which integrate residential and commercial uses with a mobility system that accommodates alternative modes of transportation, including pedestrian, bicycle, low-speed/neighborhood electric vehicle, bus, rapid transit, and other modes of transportation.

Objective: Develop residential land uses which encourage the use of alternative modes of transportation through the provision of bus and rapid transit right-of-way, and the inclusion of a bicycle and pedestrian network.

Objective: Commercial uses should be sized to meet the needs of the immediate and adjacent villages and town centers. Village and Town Center commercial land uses preempt large regional commercial opportunities within villages and town centers and relegate them to the EUC or freeway commercial areas.

Objective: Develop the Eastern Urban Center to promote alternative modes of transportation. Specifically, through the provision of light rail right-of-way and the incorporation of multi-modal access from residential neighborhoods and villages.

Implementation:

Land uses within Village 8 West are designed to provide for the daily needs of the residents by including uses such as mixed use, community purpose facility, park, and school uses. The provision for a land use mix that minimizes the need for automobile travel coupled with the pedestrian-oriented design of the village are two ways the plan meets the GDP goals and objectives. The Town Center incorporates transit routes through the SPA. Village 8 West provides for future dedicated transit lanes along Main Street, through the Town Center. Two stops/stations, one for each direction of travel have also been provided within the Town Center.

Goal: Promote village and town center land uses which offer a sense of place to residents and promotes social interaction

Objective: Organize Otay Ranch into villages and town centers, each having its own identity and sense of place.

Objective: The design of the Otay Ranch should promote variety and diversity at the village or town center scale, while providing a sense of continuity through the use of unifying design elements.

Objective: Promote a diverse range of activities and services to encourage a mixture of day/night and weekday/weekend uses.

Implementation:

Village 8 West meets these goals and objectives by providing an intensified village core. Land uses within the village core include mixed use commercial and high density residential and parks. The land uses, coupled with a set of design guidelines that control the quality and appearance of buildings and landscaping create the Village identity and establish it as a recognizable place. Community is created as people come to live, work, shop, and play in the village. The village will incorporate Ranch-wide design elements such as signage and landscaping to connect it with the other villages of Otay Ranch.

Goal: Diversify the economic base within Otay Ranch.

Objective: Create an economic base that will ensure there is adequate public revenue to provide public services.

Objective: Create an Eastern Urban Center within the Otay Valley Parcel and encourage the development of a retail base for the planning area, but not to the detriment of existing regional and local commercial centers.

Objective: Create a Regional Technology Park (RTP) and other business parks that offer employment opportunities for area residents which complements, rather than substitutes for industrial development on the Otay Mesa.

Implementation:

The Village 8 West site plan contributes to the economic base with neighborhood-serving businesses. The Town Center will provide a significant employment center for the area. The Town Center will also provide the opportunity for employers to locate jobs within walking distance of a diverse mix of housing, retail, and transit stops/stations. Mixed-use development provides clear diversification of non-residential uses, in an exciting urban setting.

Goal: Promote synergistic uses between the Villages and Town Centers of the Otay Ranch to provide a balance of activities, services and facilities. (Page 65)

Objective: Develop individual villages and town centers to complement surrounding villages/town centers.

Objective: Select villages/town centers to provide activities and uses which draw from surrounding villages/town centers. Uses serving more than one village, such as a cinema complex, should be located in a village core or town center that has convenient access to adjacent villages/town centers.

Implementation

Village 8 West will provide a balance of activities, services, and facilities with the Town Center. The Town Center land uses provide commercial and mixed uses, such as retail, restaurants, etc., which will serve surrounding Villages.

Goal: Organize land uses based upon a village/town center concept to produce a cohesive, pedestrian friendly community, encourage non-vehicular trips, and foster interaction amongst residents. (Page 95)

Implementation:

Village 8 West incorporates the Village concept, in an intensified land use pattern. All areas of the plan are connected by an extensive sidewalk and bikeway system. These pedestrian and bicycle routes reinforce a pedestrian friendly concept as well as promote the use of alternative modes of transportation. By reducing the need for an automobile, people will have opportunities to interact with their neighbors and other residents of the village as they walk or ride to their destinations. The location of medium and high-density residential, elementary school, shopping, work, entertainment and neighborhood park uses near the village core will also encourage non-vehicular trips.

10.3 MOBILITY (GDP SECTION II.2.8.1)

Goal: Provide a safe and efficient transportation system within Otay Ranch with convenient linkages to regional transportation elements abutting the Otay Ranch.

Objective: Ensure timely provision of adequate local circulation system capacity to respond to planned growth, maintaining acceptable levels of service (LOS).

Objective: Plan and implement a circulation system such that the operational goal of Level of Service "C" for circulation element arterial and major roads and intersections can be achieved and maintained outside villages cores and town centers. Sections of Main Streets and internal village streets/roads are not expected to meet this standard.

Objective: Encourage other transportation modes through street/road design standards within the village, while accommodating the automobile. Design standards are not focused on achieving LOS standards or providing auto convenience.

Objective: Provide an efficient circulation system that minimizes impacts on residential neighborhood and environmentally sensitive areas.

Implementation:

Streets surrounding and internal to Village 8 West are designed in compliance with the goals and objectives of the GDP. Street design and phasing strives to provide balanced, efficient, and appropriate levels of service for all modes of transportation. The village circulation system provides for accommodation of public transportation. Internal streets will be designed to accommodate bicycles, and a series of pedestrian paths are provided throughout the village to provide alternatives to automobile travel. The Village 8 West plan utilizes various circulation elements such as couplets and bulb-outs to promote pedestrian safety and comfort.

Goal: Achieve a balanced transportation system which emphasizes alternatives to automobile use and is responsive to the needs of residents.

Objective: Study, identify, and designate corridors, if appropriate, for transit facilities.

Objective: Promote alternative forms of transportation, such as bicycle and low speed electric vehicle paths, riding and hiking trails, and pedestrian walkways as an integral part of the circulation system.

Implementation:

The land plan for Village 8 West has been created to de-emphasize the automobile and adapt to transit opportunities, with a balanced transportation system. Pedestrian circulation for both plans is a key design component. The Village 8 West SPA has provided for future dedicated transit lanes and a stop/station within the Town Center to implement these objectives. Local bus stops are also planned within Village 8 West. The La Media Parkway median is planned to accommodate future BRT lanes.

10.4 HOUSING (GDP SECTION II.2.8.2.)

Goal: Create a balanced community exemplified by the provision of a diverse range of housing styles, tenancy types and prices. (Page 239)

Objective: Provide a variety of housing opportunities sufficient to meet a proportionate share of the Regional Share allocation of housing.

Objective: Each Otay Ranch Village will proportionately assist the appropriate land use jurisdiction to meet or exceed Otay Ranch's share of the 5-year Regional Share allocation as provided by each jurisdiction's Housing Element.

Implementation:

The Village 8 West land plan will conceptually meet these goals and objectives by providing a wide variety of housing types, including affordable housing. Proposed housing includes apartments, townhomes, condominiums, attached housing (duplexes and/or triplexes), small lot single-family, and conventional lot single family residential.

Goal: The provision of sufficient housing opportunities for persons of all economic, ethnic, religious and age groups, as well as those with special needs such as the handicapped, elderly, single parent families and the homeless.

Objective: Ensure that the Otay Ranch provides housing opportunities sufficient to meet a proportionate share of identified special housing needs, and applies fair housing practices for all needs groups in the sale, rental, and advertising of housing units.

Implementation:

Village 8 West will contain a wide variety of housing types ranging in density from low-medium to high. The variety of housing types will accommodate families, singles, and those with special housing needs, including the handicapped and the elderly. The project is required to meet all State of California handicap accessibility requirements. Fair housing practices will be employed in the sale, rental and advertising of all units. In addition, an Affordable Housing Program has been prepared in conjunction with this SPA document. Village 8 West is obligated to satisfy the City's affordable housing requirements by providing 10% of the total dwelling units for low and moderate income households.

10.5 PARKS, RECREATION, OPEN SPACE (GDP SECTION II.2.8.3)

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Objective: Provide neighborhood and community park and recreational facilities to serve the recreational needs of local residents.

Implementation:

Contributions to the Otay Ranch Community Park, one neighborhood park, and a town square will provide residents of all ages and physical abilities with both active and passive recreational opportunities. In addition, common open space areas are required for all multi-family uses within the SPA.

10.6 CAPITAL FACILITIES (DP SECTION II.2.8.4)

Goal: Assure the efficient and timely provision of public services and facilities of developable areas of Otay Ranch concurrent with need.

Objective: Ensure that the pace and pattern of residential, commercial and other non-residential development is coordinated with the provision of adequate public facilities and services.

Objective: Permit development only through a process that phases construction with the provision of necessary infrastructure prior to or concurrent with need.

Objective: Development projects shall be required to provide or fund their fair share of all public facilities needed by the development.

Objective: "Enhanced Services" may be provided to specified geographic areas of the Otay Ranch. These are services that exceed the normal or standard level of services provided to the jurisdiction as a whole.

Objective: The City of Chula Vista and the County of San Diego shall enter into a Master Property Tax Agreement covering all annexations within an agreed-upon geographic area in Otay Ranch. That Agreement shall consider the distribution of property tax revenues, as well as the allocation of total project revenues between the City and the County in accordance with the following policies.

Objective: As a general guideline, efforts should be made to keep the effective tax rate (ETR), including all property taxes and special assessments, not to exceed 2% of the assessed value of the property.

Objective: Monitor the impacts of growth and development on critical facilities and services to ensure that necessary infrastructure is provided prior to or concurrent with need.

Implementation:

The Village 8 West SPA meets these goals and objective through a plan that phases development with infrastructure improvements. The developer will participate in fair-share funding of facilities.

10.6.1 Drainage Facilities

Goal: Provide protection to the Otay Ranch project area and surrounding communities from fire, flooding and geologic hazards. (Page 267)

Objective: Individual projects will provide necessary improvements consistent with the National Flood Insurance Program, Drainage Master Plan(s) and Engineering Standards.

Objective: Storm Water flows shall be controlled and conveyed based on statistical models and engineering experience, as specified in the City Engineering Standards consistent with NPDES Best Management Practices.

Objective: Reduction in the need for construction of flood control structures

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Objective: Require onsite detention of storm water flows such that existing downstream structures will not be overloaded.

Implementation:

The grading and drainage plans for Village 8 West will meet these goals and objectives by sizing drainage facilities appropriately to convey the generated flows and detain run-off as required. The development limits will avoid encroaching into floodways to decrease the potential of flood damage and minimize impact to flood plains. The plans provide for protection of adjacent, lower elevation sensitive habitats.

10.6.2 Sewerage Facilities

Goal: Provide a healthful and sanitary sewerage collection and disposal system for the residents of Otay Ranch and the region, including a system designed and constructed to accommodate the use of reclaimed water.

Objective: The ongoing planning, management and development of sewerage conveyance, treatment and disposal facilities to adequately meet future demands.

Objective: Assure that wastewater treatment plans are consistent with sewerage master plans.

Objective: Sewage disposal systems should maximize the provision and utilization of reclaimed water.

Implementation:

The sewage system plans for Village 8 West will be in compliance with the Otay Ranch master plans for sewer and recycled water. If the City Engineer makes the findings that there is no capacity in the sewer treatment system, building permits may not be issued.

10.6.3 Integrated Solid Waste Management Facilities

Goal: Provide solid waste facilities and services which emphasize recycling of reusable materials and disposal of remaining solid waste so that the potential adverse impacts to public health are minimized.

Objective: Reduce the volume of waste to be landfilled by 30% by 1995 and by 50% by 2000.

Implementation:

During construction, solid waste disposal and recycling of materials will adhere to best management practices and City standards. Curb-side recycling for residents and businesses will be provided to the SPA by Allied Waste. Recycling containers will also be provided throughout the Town Center as part of the street furniture program.

10.6.4 Urban Runoff Facilities

Goal: Ensure that water quality within the Otay Ranch project area is not compromised.

Goal: Ensure that the City of San Diego's water rights within the Otay River watershed shall not diminish.

Implementation:

The drainage plans for Village 8 West will provide for management and containment of urban runoff in conformance with City and regional water quality and environmental protection standards. The project shall comply with the hydromodification control requirements of the National Pollutant Discharge Elimination Systems (NPDES) Municipal Permit issued by the San Diego Regional Water Quality Control Board; the Development Storm Water Quality Manual; and in particular, the CVMC Chapters 14.20 and 15.04.

The second goal does not apply to this project.

10.6.5 Water Facilities

Goal: Ensure an adequate supply of water for build-out of the entire Otay Ranch project area; design the Otay Ranch project area to maximize water conservation.

Objective: Ensure an adequate supply of water on a long-term basis prior to the development of each phase of the Otay Ranch Project Area.

Objective: Ensure infrastructure is constructed concurrently with planned growth, including adequate storage, treatment, and transmission facilities, which are consistent with development phasing goals, objectives and policies, and the Service/Revenue Plan.

Objective: Ensure that water quality within the Otay Ranch Project Area is not compromised, consistent with NPDES Best Management Practices, and the RWQCB Basin Plans.

Objective: Promote water conservation through increased efficiency in essential uses and use of low water demand landscaping.

Objective: Encourage suppliers to adopt a graduated rate structure designed to encourage water conservation.

Implementation:

Water facilities will be phased in conformance with street improvements and sewer facilities. A Water Conservation Plan is incorporated as Appendix G. Recycled water will be used to irrigate appropriate spaces within parks and open space areas. The SPA requires all landscaping to comply with the City's Landscape Water Conservation Ordinance (CVMC §20.12).

10.6.6 Water Reclamation Facilities

Goal: Design a sewerage system which will produce reclaimed water. Ensure a water distribution system will be designed and constructed to use reclaimed water. Construction of a "dual system" of water supply will be required for all development where reclaimed water is used.

Objective: Encourage development of public and private recreational uses that could utilize reclaimed water.

Implementation:

A Recycled Water Plan has been prepared and incorporated as part of the SPA approval process. A SAMP for the project includes recycled water facilities.

10.6.7 Arts and Cultural Facilities

Goal: Plan sites for facilities dedicated to the enhancement of the arts at the community level that can contain indoor and outdoor facilities capable of supporting community theater, training and exhibition of art and sculpture, musical training and concerts, film and cultural festivals, public meetings, and other community events.

Implementation:

The Village 8 West land plan provides areas for indoor and outdoor facilities including contributions to a Otay Ranch North Community Park, a neighborhood parks, a town square, and a community purpose facility site. These facilities will be able to accommodate art and cultural events. In addition, the Town Center permits art galleries, studios, and similar uses.

10.6.8 Cemetery Facilities

Objective: Identify and preserve adequate cemetery sites to serve the Otay Ranch Project Area.

Implementation:

A cemetery site is not proposed in Village 8 West.

10.6.9 Child Care Facilities

Goal: Provide adequate child care facilities and services to serve the Otay Ranch project area.

Objective: Identify sites for child care and pre-school facilities adjacent to or part of public and private schools, religious assembly uses, employment areas, and other locations deemed appropriate.

Implementation:

Childcare facilities can be accommodated in or adjacent to the mixed use, commercial, elementary school, and neighborhood park land use areas. Small family day care is also a permitted use within residential areas, provided adequate outdoor play area and other design guideline and development regulations criteria can be met. Large family day care will be allowable subject to a Large Family Daycare (LFD) permit.

10.6.10 Health and Medical Facilities

Goal: Ensure provision of and access to facilities which meet the health care needs of Otay Ranch residents.

Objective: Identify a general location within Otay Ranch for public and private health service organizations, charities, and private adult care and mental care facilities.

Implementation:

Senior congregate care and health care offices and clinics are permitted uses within the mixed-use Town Center.

10.6.11 Community and Regional Purpose Facilities

Goal: Designate areas within the Otay Ranch project area for religious, ancillary private educational, day care, benevolent, fraternal, health, social and senior services, charitable, youth recreation facilities, and other County regional services.

Implementation:

The Town Center area and the Community Purpose Facility site will provide potential locations for these uses. Parks may also be available to share facilities with community-serving organizations.

10.6.12 Social and Senior Services Facilities

Goal: Ensure that Otay Ranch project area residents have adequate access to sources of governmental and private social and senior service programs.

Objective: Social and senior service facilities should be sited within Otay Ranch to either provide direct service access or to provide community service information to each village to educate the public regarding available services.

Objective: Siting of new facilities and expansion of existing social or senior services facilities will be planned to most effectively serve the clients of each social and senior service activity as part of a comprehensive social and senior delivery system.

Implementation:

Social and senior service needs can be met within allowable Village 8 West use areas and the mixed-use town center. This includes mixed use commercial, private recreation facilities, and park land uses. Shared use may be available with the school.

10.6.13 Animal Control Facilities

Goal: Ensure that the community of Otay Ranch is served by an effective animal control program that provides for the care and protection of the domestic animal population, safety of people from domestic animals, and the education of the public regarding responsible animal ownership.

Objective: Participate in programs to provide animal control facilities sufficient to provide adequate shelter space per Otay Ranch swelling unit.

Implementation:

Village 8 West will make provision for participation in City programs for provision of animal control. Private and public facilities can be accommodated in the mixed-use town center.

10.6.14 Civic Facilities

Goal: Assure the efficient and timely provision of public services and facilities to developable areas of the Otay Ranch project area concurrent with need, while preserving environmental resources of the site and ensuring compatibility with the existing character of surrounding communities. Integrate different types of public facilities where such facilities are compatible and complementary.

Implementation:

This goal will be met through implementation of the Village 8 West Public Facilities Finance Plan (PFFP).

10.6.15 Correctional Facilities

Goal: Prevent injury, loss of life and damage to property resulting from crime occurrence through the provision of justice facilities.

Objective: Make provisions for justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Implementation:

Village 8 West does not contain justice facilities but police facilities can be located in the mixed-use town center.

10.6.16 Fire Protection and Emergency Services Facilities

Goal: Provide protection to the Otay Ranch project area and surrounding communities from the loss of life and property due to fires and medical emergencies.

Objective: Provide sufficient fire and emergency service facilities to respond to calls within the Otay Ranch urban communities within a 7-minute response time in 85% of the cases.

Implementation:

This goal will be met through implementation of the Public Facilities Finance Plan and Fire Protection Plan, which have been provided in conjunction with this SPA plan. Additionally, the circulation design of Village 8 West facilitates emergency vehicle access to all areas of the villages.

10.6.17 Justice Facilities

Goal: Prevent injury, loss of life and damage to property by having adequate justice facilities to serve Otay Ranch residents.

Objective: Cooperate with the County to identify an equitable funding method for the development of justice facilities based on the needs of Otay Ranch and their benefit to Otay Ranch residents.

Objective: Justice facilities serving Otay Ranch residents will be sited in appropriate locations and in a timely manner, irrespective of jurisdictional boundaries.

Objective: Enhance public safety by utilizing land use and site design techniques to deter criminal activity.

Implementation:

Village 8 West will not contain justice facilities; However, the design of Village 8 West fosters community interaction and awareness that deters criminal activity. Design techniques include "eyes on the street" orientation of commercial, mixed use, and residential uses towards the street and placement of parks and paths as focal points in the community. These techniques minimize hidden locations where criminal activity may occur.

10.6.18 Law Enforcement Facilities

Goal: Protection of life and property and prevention of crime occurrence.

Objective: Make provisions for criminal justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Objective: Enhance conditions for public safety by utilizing land use and site design techniques to deter criminal activity and promote law enforcement.

Objective: Site law enforcement facilities to appropriate locations in order to serve the population.

Implementation:

Village 8 West will contribute an equitable financial share to the City of Chula Vista law enforcement facilities as identified in the PFFP.

10.6.19 Library Facilities

Goal: Sufficient Libraries to meet the information and education needs of Otay Ranch residents.

Objective: Provide high quality and contemporary library facilities and services, which meet the needs of the entire Otay Ranch Project Area.

Objective: City of Chula Vista: 500 square feet of adequately equipped and staffed library facilities per 1,000 populations.

Objective: County of San Diego: 350 square feet (gross) of adequately equipped and staffed regional/area library facilities per 1,000 populations.

Objective: Otay Ranch libraries will be equitably financed by all new development that will benefit from the facilities.

Implementation:

Library facilities are permitted as an ancillary use to any of the many schools within or immediately adjacent to the SPA. In addition, all development within Village 8 West is subject to a Development Impact fee, which is used to fund improvements such as libraries and other public facilities.

10.6.20 School Facilities

Goal: Provide high quality, K-12 educational facilities for Otay Ranch residents by coordinated planning of school facilities with the appropriate school district.

Goal: Coordinate the planning of adult educational facilities with appropriate district.

Objective: School facilities shall be provided concurrently with need and integrated with related facility needs, such as childcare, health care, parks, and libraries, where practical.

Objective: Provide school district with 12- to 18-month development plan and 3- to 5-year development forecasts so that they may plan and implement school building and/or allocation programs in a timely manner.

Implementation:

One potential school site is proposed within Village 8 West to fulfill the demand for education facilities in the area. Adult education facilities can be accommodated in the mixed use and commercial facility sites or as a shared use with the public schools.

10.7 AIR QUALITY (GDP SECTION II.2.8.5)

Goal: Minimize the adverse impacts of development on air quality.

Implementation:

The Village 8 West Air Quality Improvement Plan provides measures to meet this goal. The plan addresses improvement measures including job/housing balance, transit access, alternative travel modes, building construction methods, and educational programs. The SPA has been designed to offer residents numerous alternative methods of transportation, including public transit and pedestrian paths, which connect residential neighborhoods to the Town Center as well as to other areas outside of the villages. A mix of uses promotes walking and decreases car trips and air pollution.

10.7.1 Commuter Trip Management

Goal: Create a safe and efficient multi-modal transportation network which minimizes the number and length of single passenger vehicle trips.

Objective: Minimize the number and length of single passenger vehicle trips to and from employment and commercial centers to achieve an average of 1.5 persons per passenger vehicle during weekday commute hours.

Implementation:

The Village 8 West SPA Plan incorporates a planned regional transit-corridor, accommodating a bus line and stops with an extensive system of pedestrian and bike paths. Employment and commercial centers are located within the Town Center. Close proximity between work, shopping, and public facilities within the village center reduces long trips out of the community for these needs and density reduces trips altogether by making walking and transit a viable alternative.

10.7.2 Capacity Improvements

Objective: Expand the capacity of both the highway and transit components of the regional transportation system to minimize congestion and facilitate the movement of people and goods.

Implementation:

Village 8 West will contribute to highway and transit improvements through the Transportation Development Impact Fee ("TDIF").

10.7.3 Bicycle System Design

Objective: Provide a safe, thorough and comprehensive bicycle network which includes bicycle paths between major destinations within, and adjacent to, Otay Ranch

Implementation:

The Village 8 West SPA plan requires bicycle access to all internal streets. A network of bicycle lanes along major perimeter roads offer routes to destinations outside of the villages.

10.7.4 Road Design

Objective: Design arterial and major roads and their traffic signals to minimize travel time, stops and delays.

Implementation:

The major roads surrounding and internal to Village 8 West have been designed in accordance with City standards. Traffic signals will be located to facilitate traffic flow and to provide access to neighboring land uses.

10.7.5 Planning and Land Development

Goal: Land development patterns which minimize the adverse impacts of development on air quality. (Page 335)

Objective: Encourage mixed use development to promote linking of trips, reduce trip length and encourage alternative mode usage.

Implementation:

Village 8 West has been designed with mixed-use development in accordance with village concepts that promote alternatives to automobile use. The convenient village pedestrian path system and internal streets, which are designed to accommodate bicycles, will encourage alternate modes of travel.

10.7.6 Transit Route and Facility Design

Objective: Facilitate access to public transit

Implementation:

Pedestrian and bicycle paths will link Village 8 West to public transit lines. A transit stop will be located in the Town Center and additional bus stops will be provided around and/or within the villages to offer residents and area employees an alternative mode of transportation. Dedicated BRT lanes are planned within the La Media Parkway median south of the couplet.

10.7.7 Pedestrian Design

Objective: Encourage pedestrian traffic as an alternative to single vehicle passenger travel.

Implementation:

The extensive system of trails and pathways throughout the villages to destinations such as the town center, school and parks, the neighboring land uses, will encourage residents to walk rather than drive. The mixed-use Town Center concept encourages pedestrian activity through design by combining uses within walking distance.

10.7.8 Building Design

Objective: Locate and design buildings within cores to facilitate transit and pedestrian access.

Implementation:

Buildings within Village 8 West are clustered to minimize walking distances and oriented to the street to encourage pedestrian access. Paths within the Town Center link to future public transit stations.

10.7.9 Parking Management

Objective: Manage parking facilities transit, ridesharing and pedestrian access.

Objective: Manage parking facilities to encourage a reduction in the number of single vehicle trips.

Implementation:

Parking areas within Village 8 West will be located to maintain a pedestrian-oriented village streetscape and direct access. Parallel parking will be provided on public streets and within parking lots and/or structures. Joint parking use may be proposed in the Town Center.

10.7.10 Street Configuration

Objective: Configure internal village streets to give pedestrian traffic a priority.

Implementation:

Village streets are designed for direct access and pedestrian comfort with sidewalks, landscaping, and street furnishings. Streets may be narrowed to slow traffic and de-emphasize the automobile. Bulb-outs at intersections will reduce vehicle speeds and improve pedestrian visibility.

10.7.11 Particulate Emissions

Objective: Minimize particulate emissions, which are the result of the construction process.

Implementation:

This objective will be met through construction practices that control fugitive dust, minimize simultaneous operation of construction vehicles and equipment, and use low-polluting equipment to meet the AQMB (Air Quality Management Board) standards.

10.7.12 Energy Conservation

Objective: Minimize fossil fuel emission by conserving energy. (See Energy Chapter 10. Section E.)

Implementation:

Village 8 West is designed to provide alternate modes of travel and reduce vehicle trips to reduce fossil fuel emissions.

10.8 NOISE (GDP SECTION II.2.8.6)

Goal: Promote a quiet community where residents live without noise which is detrimental to health and enjoyment of property.

Goal: Ensure residents are not adversely affected by noise.

Objective: Otay Ranch shall have a noise abatement program to enforce regulations to control noise.

Implementation:

The Village 8 West SPA establishes thresholds for various uses within the SPA. Sound abating features, such as masonry walls and dual-glazed windows, will be provided as needed. City standards for noise regulation and abatement shall be enforced.

10.9 SAFETY (GDP SECTION II.2.8.7)

Goal: Promote public safety and provide public protection from fire, flooding, seismic disturbances, geologic phenomena and man made hazards in order to:

- **Preserve Life, Health and Property;**
 - **Continue Government Functions and Public Order;**
 - **Maintain Municipal Services; and**
 - **Rapidly Resolve Emergencies and Return the Community Normalcy and Public Tranquility.**
- (Page 341)

Implementation:

The SPA plan allows for safety related land uses including police and fire stations. Developers are required to pay impact fees to finance the need for increased staff and services generated by development in the SPA. Section 8.9.4 identifies additional Emergency Disaster Plan resources available in the area.

10.9.1 General Public Safety

Objective: Provide for the continuity of government and public order.

Objective: Maintain public services and ensure the rapid resolution of emergencies.

Objective: Minimize social and economic dislocations resulting from injuries, loss of life and property damage.

Implementation:

Future applications for development within Village 8 West will be required to utilize the recommendations of technical studies, City codes and ordinances, and other policies and regulations to plan for development that will promote the protection of life and property.

10.9.2 Seismic Disturbances

Objective: Provide public protection from earthquakes, rockslides, and liquefaction in order to minimize loss of life, injury, property damage and disruption or community social and economic activity.

Implementation:

Site grading and construction shall be in accordance with the Uniform Building Code and the Association of Structural Engineers of California to reduce the effect of seismic shaking to the extent possible.

10.9.3 Floods

Objective: Prevent property damage and loss of life due to seiches, dam failure and heavy rains.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Implementation:

Areas proposed for development within Village 8 West are not located within a floodplain. Storm water flows shall be controlled and conveyed in accordance with the Village 8 West Master Drainage Plan.

10.9.4 Geologic Phenomena

Objective: Prevent property damage and loss of life due to landslides, rock falls, and erosion.

Implementation:

Development within Village 8 West is required by the SPA to utilize grading, erosion control, and SWPPP (Storm Water Pollution Prevention Practices) that are consistent with this objective and meet regulations and codes.

10.9.5 Fire, Crime, Health Emergency, and Hazardous Substances

Objective: Prevent property damage and loss of life due to fire, crime or hazardous substances.

Implementation:

Village 8 West is planned to reduce potential affects of fire through adequate water supply, street design that facilitates emergency vehicle access, fuel-modification landscape techniques, and adequate location of fire facilities. Crime prevention is addressed through optimization of community interaction and street activity and a minimization of secluded areas that could foster crime. City codes and policies will be implemented and enforced to minimize potential affects of hazardous substances.

10.10 GROWTH MANAGEMENT (GDP SECTION II.2.8.8)

Goal: Develop Otay Ranch villages to balance regional and local public needs, respond to market forces, and assure the efficient and timely provision of public services and facilities concurrent with need.

Objective: Coordinate the timing of the development of Otay Ranch villages to provide for the timely provision of public facilities, assure the efficient use of public fiscal resources and promote the viability of the existing and planned villages.

Implementation:

Village 8 West will be developed in phases that balance market forces with implementation of the facilities, as identified by the Public Facilities Finance Plan.

10.11 RESOURCE PROTECTION, CONSERVATION & MANAGEMENT (GDP SECTION II.2.8.9)

Goal: Establishment of an open space system that will become a permanent preserve dedicated to the protection and enhancement of the biological, paleontological, cultural resources (archaeological and historical resources), flood plain, and scenic resources of Otay Ranch, the maintenance of long-term biological diversity, and the assurance of the survival and recovery of native species and habitats within the preserve, and to serve as the functional equivalent of the County of San Diego Resource Protection Ordinance (RPO).

Objective: Identify sensitive and significant biological, cultural, paleontological, agricultural, and scenic resources within Otay Ranch that require protection and/or management.

Objective: Preserve sensitive and significant biological, cultural, paleontological, flood plain, visual, and agricultural resources.

Implementation:

The project will comply with the Otay Ranch Resource Management Plan requirement to convey 1.188 acres of RMP Preserve land for each acre of developed land (less common use land) to the Preserve Owner/Manager. In addition, the project will participate in funding POM activities by annexing to CFD 97-2, ensuring perpetual preservation, monitoring and management of sensitive and significant resources.

10.11.1 Enhance and Restore Sensitive Resources

Objective: Enhance, restore, and re-establish sensitive biological resources (species and habitats) in disturbed areas where the resources either formerly occurred or have a high potential for establishment.

Implementation:

CSS, MSS, and Jurisdictional Wetlands/Waters will be restored or preserved offsite within the Otay Ranch Preserve in the project vicinity (Otay River Valley) consistent with the Otay Ranch GDP/EIR, Otay Ranch RMP, and MSCP Subarea Plan/EIR.

10.11.2 Wildlife Corridors

Objective: Establish functional connections for onsite resources and integrate the Preserve into a larger regional system.

Implementation:

The MSCP Preserve boundary is being respected. Onsite biological habitat being conserved contributes to wildlife movement function associated with the Otay River Valley.

10.11.3 Preserve Management and Maintenance

Objective: Effectively manage the Preserve to protect, maintain, and enhance resources in perpetuity.

Implementation:

Preserve land will be maintained and preserved in accordance with the Otay Ranch RMP (Resource Management Plan).

10.11.4 Resource Preserve Land Uses

Objective: Identify permitted land uses within the Preserve.

Implementation:

The SPA defers to the Otay Ranch RMP, and MSCP Subarea Plan for determining land uses in the Resource Preserve (T-1:OSP)

10.11.5 Resource Preserve - Adjacent Land Uses

Objective: Identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

Implementation:

The SPA defers to the Otay Ranch RMP, MSCP Subarea Plan, and the Preserve Edge Plan for determining land uses within the Preserve Edge (T-1:PE)

10.11.6 Regulatory Framework for Future Uses

Objective: Provide a regulatory framework for future permitting by resource agencies and amendments to the RMP.

Implementation:

Chapter 3 - Development Code requires all uses within the T-1: PE and OSP zones be subject to the requirements of the RMP

10.11.7 Physical Resources

A. Mineral Resources

Goal: Encourage the completion of the extraction of mineral resources before conflicts with planned development could occur.

Objective: Extract mineral resources so as not to impair other conservation efforts.

Implementation:

Mineral extraction does not occur in Village 8 West.

B. Soils

Goal: Minimize soil loss due to development.

Objective: Identify development activities, which present a large potential to create excessive runoff or erosion.

Implementation:

Landform grading, slope stabilization, vegetation protection, revegetation and other techniques will be employed to meet this goal and objective.

C. Steep Slopes

Goal: Reduce impacts to environmentally sensitive and potential geologically hazardous areas associated with steep slopes.

Objective: Research existing slope conditions prior to land development activities.

Implementation:

The final grading plan for Village 8 West will be based on a geotechnical study. The site grading design will terrace the property to follow the natural grade elevation change. Manufactured slope heights and forms will be in conformance with City ordinances and policies.

D. Floodways

Goal: Preserve floodways and undisturbed flood plain fringe areas.

Objective: Restore and enhance highly disturbed floodways and flood plains to regain former wildlife habitats and retain/restore the ability to pass 100-year flood flows.

Objective: Preserve floodways and undisturbed flood plain fringe areas in their natural state where downstream development will not be adversely affected.

Implementation:

The development plans for Village 8 West will avoid encroaching into floodways, and minimize impact to flood plains.

E. Energy Conservation

Goal: Establish Otay Ranch as a "showcase" for the efficient utilization of energy resources and the use of renewable energy resources.

Objective: Reduce the use of non-renewable energy resources within Otay Ranch below per capita non-renewable energy consumption in San Diego County.

Implementation:

The design of Village 8 West encourages walking, bicycling, and public transit use to lower fuel consumption. Air Quality, Non-renewable Energy Conservation, and Water Conservation Plans for have been prepared in conjunction with this SPA Plan area will contribute to efficient use of resources.

F. Land Use

Objective: Provide land use patterns and protect features which result in the conservation of non-renewable energy resources.

Implementation:

The land use pattern of Village 8 West and its relationship to surrounding land uses promotes walking and cycling as alternatives to fuel consumptive automobile use. The Water Conservation Plan and landscape design will promote efficient water use. The Non-Renewable Energy Conservation Plan promotes efficient energy use and use of renewable energy resources.

G. Water Conservation

Goal: Conserve water during and after construction of Otay Ranch.

Objective: Reduce CWA water use within Otay Ranch to a level that is 75% of County-wide, 1989 per capita levels.

Objective: Create a comprehensive framework for the design implementation and maintenance of water conserving measures, both indoor and outdoor.

Objective: Develop an extensive water restoration and recycling system throughout the developed areas of Otay Ranch.

Objective: Investigate traditional and non-traditional uses for reclaimed water and identify potential restraints for reclaimed water use.

Objective: Comply with the water conservation standards and policies of all applicable jurisdictions.

Implementation:

Village 8 West will adhere to the provisions of the Village 8 West Water Conservation Plan.

H. Astronomical Dark Skies

Goal: Preserve dark-night skies to allow for continued astronomical research and exploration to be carried out at the County's two observatories, Palomar Mountain and Mount Laguna.

Objective: Provide lighting in heavily urbanized areas of the Otay Valley Parcel which ensures a high degree of public safety.

Objective: Provide lighting in less urbanized areas, which helps to preserve county-wide dark-night skies, and is consistent with more rural lighting standards prevalent in non-urbanized areas of San Diego County.

Implementation:

Lighting within Village 8 West will adhere to City and County ordinances and standards.

I. Agriculture

Goal: Recognize the presence of important agricultural soils both in areas subject to development and within the preserve.

Objective: Encourage effective utilization of agricultural soils located within the Preserve.

Implementation:

Community gardens are permitted within all residential, mixed use, parks, and CPF sites in accordance with the GDP policies for implementing these goals and objectives.



Exhibit 2.1 - Site Utilization Plan

