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PROJECT DIRECTORY

OWNER: **Mark Gabini**

DESIGNER: JSP DESIGN STUDIO
2039 O AVE
NATIONAL CITY, CA 91950
559-970-5773

CONTRACTOR: **TBD.**

GAMBINI BATHROOMS

568 I AVE ST #1 & 2
CHULA VISTA, CA



GAMBINI BATHROOMS

PROJECT SUMMARY

PROJECT ADDRESS

568 I AVE ST #1 & 2
CHULA VISTA, CA

ASSESSOR'S PARCEL NUMBER

572-080-46-00

ZONING

R1

LEGAL DESCRIPTION

TR 505 1/4 SEC 147*LOT 1 IN*POR*

EXISTING RESIDENCE CONSTRUCTED

1948

JURISDICTIONAL AUTHORITIES

CITY OF CHULA VISTA

GOVERNING CODES

2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

OVERLAY ZONES

-

CONSTRUCTION TYPE

TYPE V-B

FIRE SPRINKLERS

NO

HEIGHT LIMIT

28'

LOT SIZE

9,168 SF

NUMBER OF STORIES

EXISTING: 1
PROPOSED: 1

GROSS FLOOR AREA

EXISTING: 1,560 SF
PROPOSED: 116 SF (NEW) + 1,560 SF = 1,676 SF

FLOOR AREA RATIO (FAR)

FLOOR AREA RATIO: 1,676 / 9,168 = .18
ALLOWED: .40

LOT COVERAGE

-

PARKING

REQUIRED SPACES: -
PROPOSED SPACES: -

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES ADDITION OF 2 BATHROOMS IN EXISTING GARAGE

DEFERRED SUBMITTALS

VICINITY MAP

No.	Date	Description
1	2/23/22	Revision 1 - BUILDING DIVISION

Project Number	568I.01
Date	12/31/21
Scale	12" = 1'-0"

COVER

A0.1



LEGENDS

ABBREVIATIONS

ADJ	ADJACENT	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
ALUM	ALUMINUM	MFR	MANUFACTURER
ALT	ALTERNATE	MICRO	MICROWAVE
ARCH	ARCHITECTURAL	MINI	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
		MTL	METAL
		MULL	MULLION
BDLG	BUILDING	N	NORTH
BLKG	BLOCKING	NA	NOT APPLICABLE
BETWN	BETWEEN	NO	NUMBER
		NOM	NOMINAL
		NTS	NOT TO SCALE
CBC	CALIFORNIA BUILDING CODE	OC	ON CENTER
CIP	CAST-IN-PLACE CONCRETE	OD	OUTSIDE DIAMETER
C.J.	CONTROL JOINT	OPNG	OPENING
CLG	CLEAR	OPPOSITE	OPPOSITE
CLR	CLEAR	OVERHEAD	OVERHEAD
CMU	CONCRETE MASONRY UNIT	ORD	OVERFLOW ROOF DRAIN
COL	COLUMN		
CONC	CONCRETE		
CONT	CONTINUOUS		
CTR	CENTER		
		PCF	POUNDS PER CUBIC FOOT
DEMO	DEMOLITION	PERF	PERFORATED
DF	DOUGLAS FIR	PLAS	PLASTER
DIA	DIAMETER	PLF	POUNDS PER LINEAR FEET
DIM	DIMENSION	PLY	PLYWOOD
DM	DEAD LOAD	PNL	PANEL
DN	DOWN	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
		PT	PRESSURE TREATED
E	EAST	PVC	POLYVINYL CHLORIDE
(E)	EXISTING	PVMT	PAVEMENT
EA	EACH	R	RISER
EJ	EXPANSION JOINT	RA	RETURN AIR
EJ	EXPANSION JOINT	RD	ROOF DRAIN
ELE	ELECTRICAL	RAD	RADIUS
ELEV	ELEVATION	REF	REFERENCE
EOS	EDGE OF SLAB	REFR	REFRIGERATOR
EQU	EQUAL	REQ'D	REQUIRED
EQUIP	EQUIPMENT	REV	REVISION
EXH	EXHAUST	RM	ROOM
EXT	EXTERIOR	RO	ROUGH OPENING
FAU	FORCED AIR UNIT	S	SOUTH
FCU	FAN COIL UNIT	SC	SOLID CORE
FD	FLOOR DRAIN	SCHED	SCHEDULE
FDN	FOUNDATION	SECT	SECTION
FE	FIRE EXTINGUISHER	SF	SQUARE FOOT
FF	FINISH FLOOR	SHWR	SHOWER
FFE	FINISH FLOOR ELEVATION	SHT	SHEET
FFL	FINISH FLOOR LINE	SIM	SIMILAR
FLR	FLOOR	SPTS	SPECIFICATIONS
FLUR	FLUORESCENT	SS	STAINLESS STEEL
FOC	FACE OF CONCRETE	STD	STANDARD
FOS	FACE OF STUD	STL	STEEL
FP	FACE OF STUD	STOR	STORAGE
FRMG	FRAMING	STRUC	STRUCTURAL
FT	FEET		
FTG	FOOTING		
FUT	FUTURE		
		T	TREAD
G	GAS	TEL	TELEPHONE
GA	GAUGE	THR	THRESHOLD
GAL	GALLON	TOC	TOP OF CONCRETE
GALV	GALVANIZED	THI	THICKNESS
GC	GENERAL CONTRACTOR	TOB	TOP OF BEAM
GEN	GENERAL	TOS	TOP OF SLAB
GFI	GROUND FAULT INTERRUPTER	TOW	TOP OF WALL
GL	GLASS	TV	TELEVISION
GPM	GALLON PER MINUTE	TYP	TYPICAL
GYP BD	GYP SUM BOARD		
		U	UNIVERSAL BUILDING CODE
HDR	HEADER	UBC	UNIVERSAL BUILDING CODE
HGR	HANGER	UON	UNLESS OTHERWISE NOTED
HORIZ	HORIZONTAL		
HP	HIGH PRESSURE		
HT	HEIGHT		
HTG	HEATING		
HVAC	HEATING/VENTILATION/AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
HW	HOT WATER	VIF	VERIFY IN FIELD
HYD	HYDRANT	VNR	VENEER
		W	WEST
		WC	WATER CLOSET
ID	INSIDE DIAMETER	WD	WOOD
INCL	INCLUDED/INCLUDING	W/D	WASHER/DRYER
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WP	WATERPROOF
		WT	WEIGHT
LAV	LAVATORY		
LF	LINEAR FOOT		
LL	LIVE LOAD		
LL	LIGHTWEIGHT		

DRAWING SYMBOL LEGEND

BUILDING SECTION (PLAN)		LEVEL TAGS	
BUILDING SECTION (ELEVATION)		DRAWING TITLE	
ELEVATIONS		NORTH ARROWS	
WALL SECTION		ACTUAL WORKING	
DETAIL CALLOUT		REVISION TAG	
DETAIL CUT (PLAN/SECTION)		EXISTING WALL	
RELATED DETAIL CUT BELOW OR ABOVE		DEMOLISHED WALL	
ROOM NAME WITH FLOOR FINISH		PROPOSED WALL	
DOOR TAG		PROPERTY LINE	
WINDOW TAG		SETBACK LINE	
		ARROW INDICATED SITE DRAINAGE PATTERN	
		GRID LINE	
		PROPOSED ADDITION	

BUILDING NOTES

GENERAL NOTES

- The specifications, included herewith are an integral part of these contract documents and all conditions mentioned in either shall be executed as though specifically mentioned in both.
- These plans and all new work shall comply with the California Building Standards Code found in the State of California - Title 24 CCR as amended and adopted by the City of San Diego.
- Requirements of codes and regulations shall be considered as minimum. Where contract documents exceed w/o violating code and regulation requirements, contract documents shall take precedence where codes conflict, the more stringent shall apply.
- Contractors/subcontractors shall field verify all locations dimensions and conditions of walls, doors, plumbing and mechanical.
- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.
- Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1.
- Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 501.2.
- A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.
- Joints and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. (Section 4.406.1)
- Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content.
- The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with Type X Gypsum Board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- All electronically signed and registered certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of occupancy will not be issued until forms CF2R is reviewed and approved.
- An electronically signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of occupancy will not be issued until CF3R is reviews and approved.
- The structure will be located entirely on native/undisturbed soil.

GREEN BUILDING CODE NOTES

- Carpet and carpet systems shall be compliant with VOC limits. (Section 4.504.3) A letter from the contractor subcontractor and or the building owner certifying what material used complies with the California Green Building Code.
- 80% of the floor area receiving resilient flooring shall comply with one or more of the following:
 - VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 - Products compliant with CHPS criteria certified under the Greenguard Children & School program.
 - Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers," (Version 1.1, February 2010 (also known as Specification 01350)
- Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxic Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CALGREEN.
- A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
- Duct openings and other related air distribution component openings shall be covered during construction. (Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Section 4.504.2.1)
- Paints, stains and other coatings shall be compliant with VOC limits set in section Section 4.504.2.2 and Table 4.504.3 of CalGreen.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1)"
- A copy of a complete operation and maintenance manual will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
- Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
 - Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor.
- All plumbing fixtures and fittings will be water conserving and will comply with the 2016 CGBSC Sec. 4.303.1. Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM). Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM). Provide water closet with a maximum flow of 1.28 gallons per flush (GPF).
- Per 2016 CGBSC Sec 4.303.1.3.2, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 PSI, or the shower shall be designed to allow one shower outlet to be in operation at a time. Handheld showers are considered showerheads.
- Per 2016 CGBSC Sec. 4.303.2, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC.
- Permanent vacuum breakers shall be included with all new hose bibs.
- Per 2016 Green Code Sec. 4.503.1 any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. Cold water connection only.
- Per 2016 Green Code Sec 4.506.1 mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
 - Fans shall be Energy Star compliant and be ducted to terminate outside the building.
 - Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Provide shower heads with a maximum flow of 2.0 gallons per minute (GPM).
- All new residential buildings (Single Family, Duplexes or Townhomes) shall be constructed to include waste piping to discharge grey water from clothes washers to a place where it may be used for outdoor irrigation, in compliance with Section 1602 of the California Plumbing Code.

STORM WATER REQUIREMENTS

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), CHULA VISTA MUNICIPAL STORM WATER PERMIT, THE CITY OF CHULA VISTA LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

STORM WATER QUALITY NOTES

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WP/CP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT IF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR, IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA:** TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELEDWAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

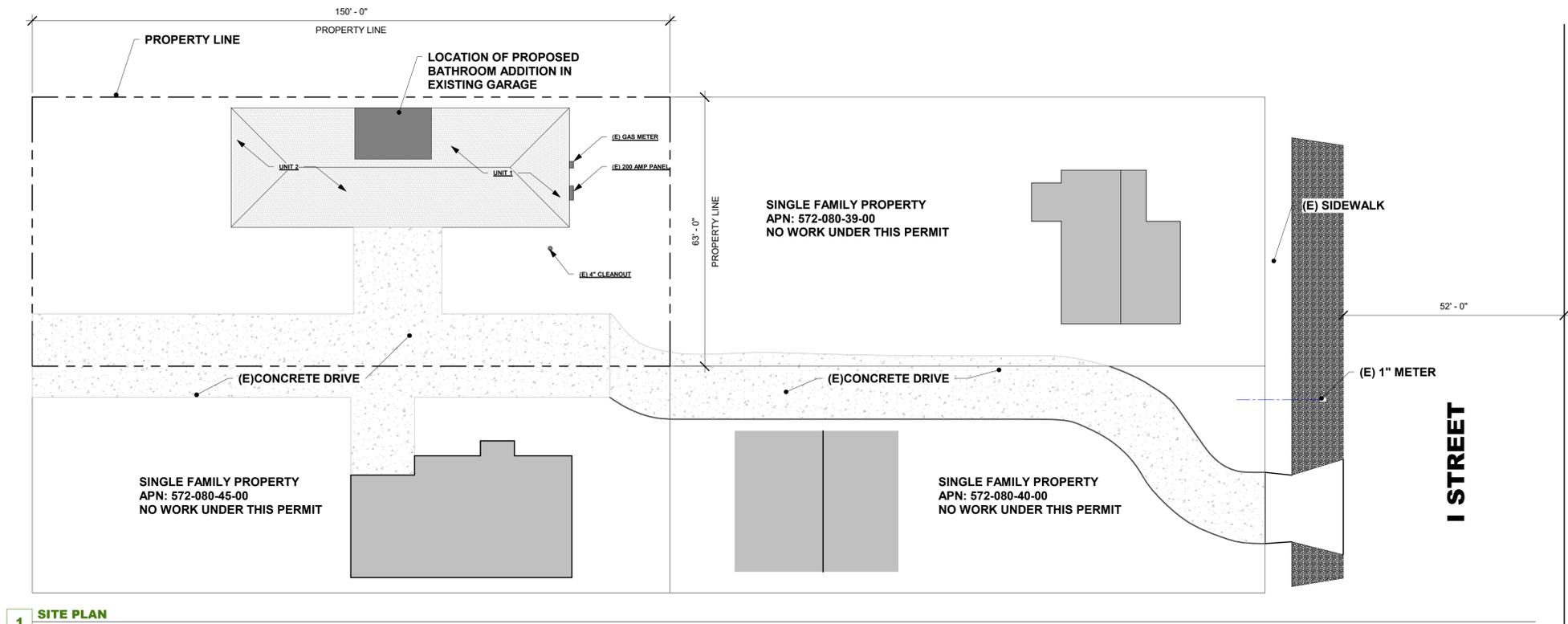
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No.	Date	Description
JSP Project Number	568I.01	
AHJ Project Number	000000	
Date	12/31/21	
Scale	1/2" = 1'-0"	

GENERAL NOTES + LEGENDS

A0.2

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1 SITE PLAN
1/16" = 1'-0"



BMP NOTES

THE PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

- A. TOTAL DISTURBANCE AREA: XX SF
 - B. EXISTING AMOUNT OF IMPERVIOUS AREA: XX SF
 - C. PROPOSED AMOUNT OF IMPERVIOUS AREA: XX SF
 - D. TOTAL IMPERVIOUS AREA: XX SF
 - E. IMPERVIOUS % INCREASE: XX%
- NOTE: IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

EARTHWORK QUANTITIES:
 CUT QUANTITIES: 0 CYD
 FILL QUANTITIES: 0 CYD
 IMPORT/EXPORT: 0 CYD
 MAX CUT DEPTH: 0 FT
 MAX FILL DEPTH: 0 FT

NOTES

1. SETBACK LOCATIONS BASED ON SITE PLAN OBTAINED BY AUTHORITY HAVING JURISDICTION. IF ANY WORK IS TO BE DONE NEAR SETBACKS OR PROPERTY LINE, OWNER TO PROVIDE SURVEY TO CONFIRM PROPERTY LINE LOCATIONS, SETBACKS, EASEMENTS, ETC.
2. CONTRACTOR TO VERIFY DIMENSIONS AND LOCATION OF PROPERTY LINE, EASEMENTS, AND SITE RESTRICTIONS. IF ANY DISCREPANCY IS FOUND, CONTRACTOR IS REQUIRED TO NOTIFY THE DESIGNER IMMEDIATELY.
3. SETBACKS:
 - FRONT:
 - SIDE:
 - REAR:

GAMBINI BATHROOMS

568 I AVE ST #1 & 2
 CHULA VISTA, CA

No.	Date	Description
JSP Project Number	568I.01	
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Date	12/31/21	
Scale	1/16" = 1'-0"	

SITE PLAN

A1.0

GAMBINI BATHROOMS
 568 I AVE ST #1 & 2
 CHULA VISTA, CA

No.	Date	Description
1	2/23/22	Revision 1 - BUILDING DIVISION

JSP Project Number	5681.01
AHJ Project Number	000000
Date	12/31/21
Scale	As indicated

FLOOR PLAN -
 EXISTING /
 PROPOSED

A1.1

- NOTES**
- DIMENSIONS TAKEN FROM FACE OF STUD/CONCRETE/MASONRY & CENTER OF DOOR/WINDOW OPENINGS
 - CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.
 - REMOVE WALLS AS SHOWN.
 - ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
 - SOME DEMOLISHED ITEMS TO BE REUSED IN (N) CONSTRUCTION - VERIFY ON PLANS. ITEMS TO BE REUSED SHOULD BE CAREFULLY REMOVED AND STORED UNTIL READY TO INSTALL. CONTRACTOR TO FIELD VERIFY ALL NECESSARY EXISTING DIMENSIONS. CONTRACTOR TO VERIFY ALL EXACT DIMENSIONS OF DEMOLITION AREA PRIOR TO REMOVAL.

PLAN SYMBOL LEGEND

ROOM NAME WITH FLOOR FINISH	ROOM NAME FLOOR FINISH
EXISTING WALL	
DEMOLISHED WALL	
PROPOSED WALL	
PROPERTY LINE	
SETBACK LINE	
WATER MAIN LINE	
SEWER MAIN	
ARROW INDICATED SITE DRAINAGE PATTERN	
GRID LINE	
PROPOSED ADDITION	
DOOR TAG	
WINDOW TAG	

NOTE: SEE LEGEND FOR ALL DRAWING SYMBOLS ON A0.2

1 HOUR WALL STC 50

UL DESIGN NO. U327

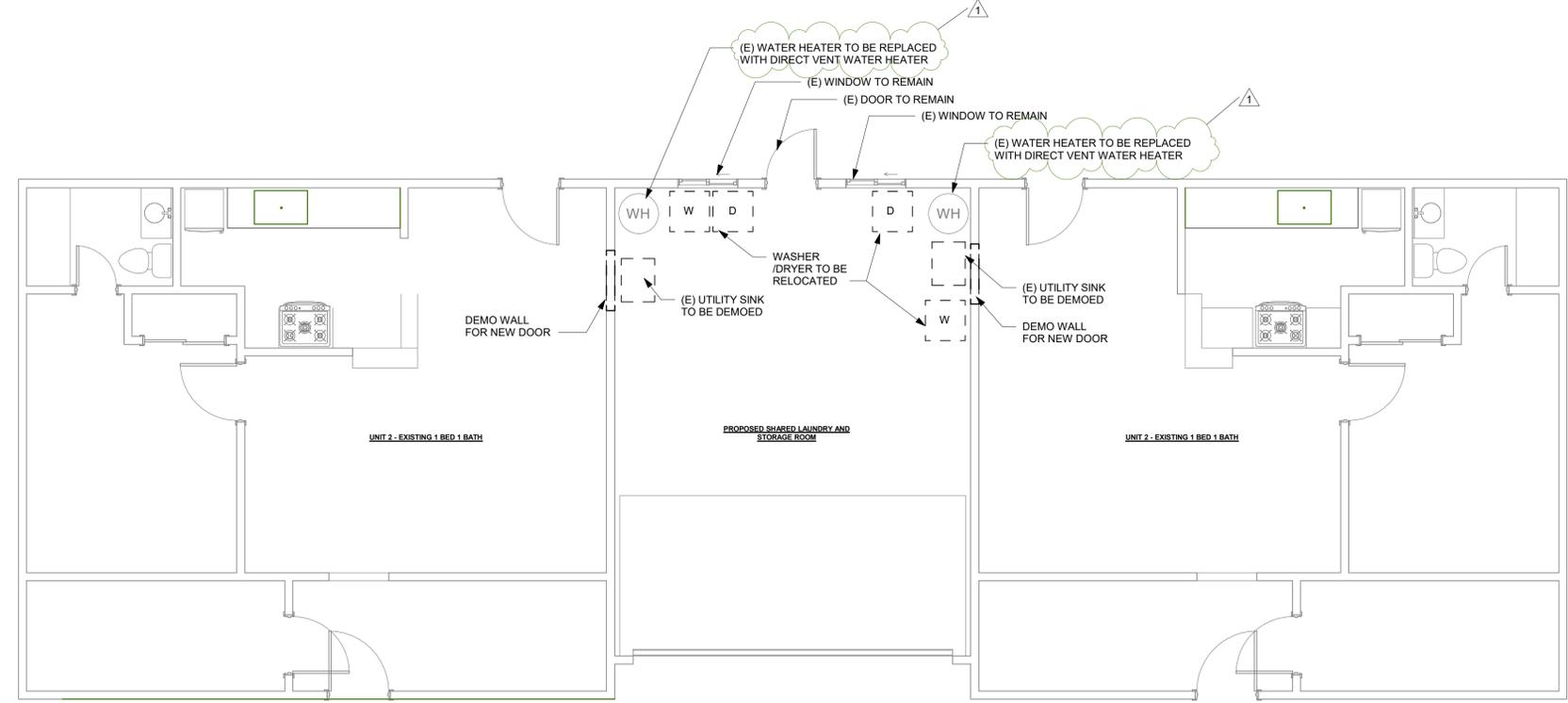
FIRE RATING: 1 HOUR
 STC: 50
 SOUND TEST: BBN-760903
 SYSTEM THICKNESS: 5-1/4"

ASSEMBLY

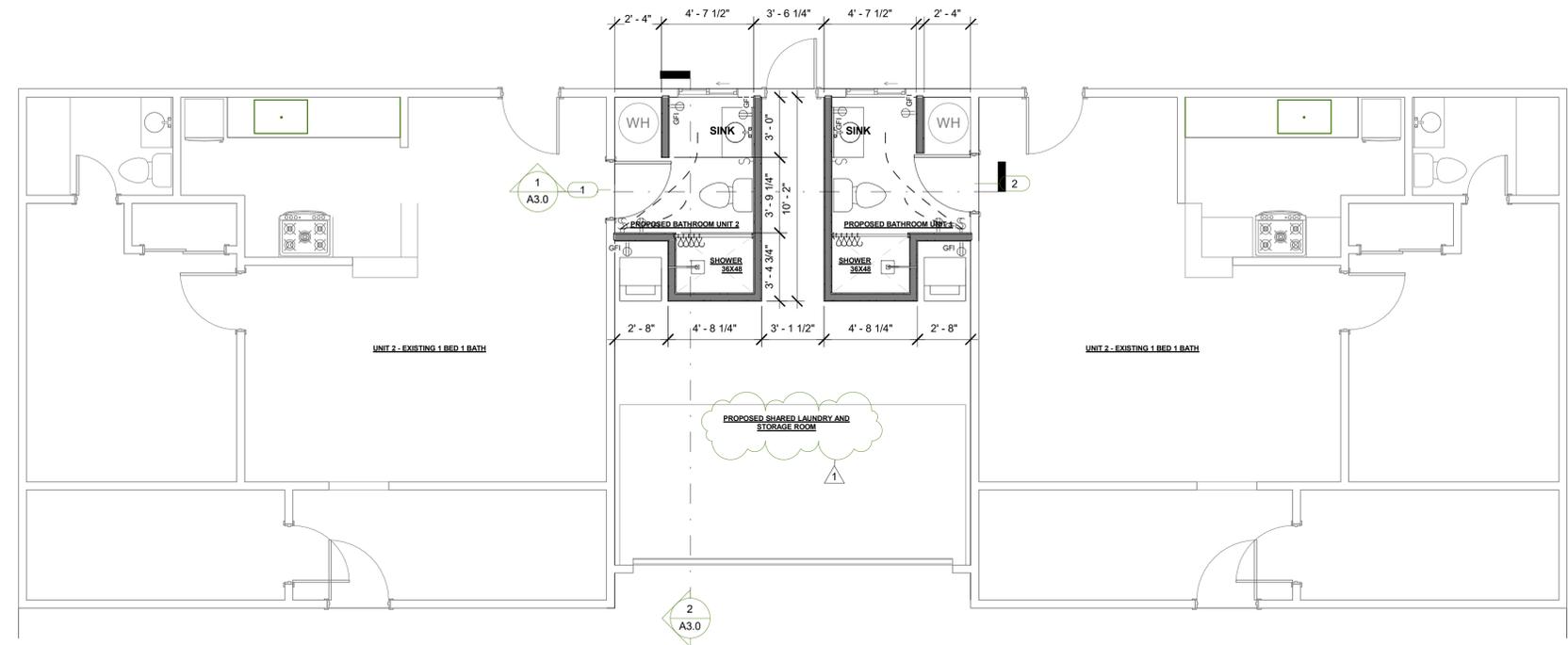
5/8" TYPE C DRYWALL
 2X4 WOOD STUD 16 O.C.
 3" THERMAFIBER SAFB
 RC-1 CHANNEL OR EQUIVALENT ONE SIDE
 JOINTS FINISHED

ALL NEW WALLS TO BE 1 HR RATED.

PENETRATIONS IN WALL TO BE FIRE CAULKED WITH A MIN. OF 1HR RATING



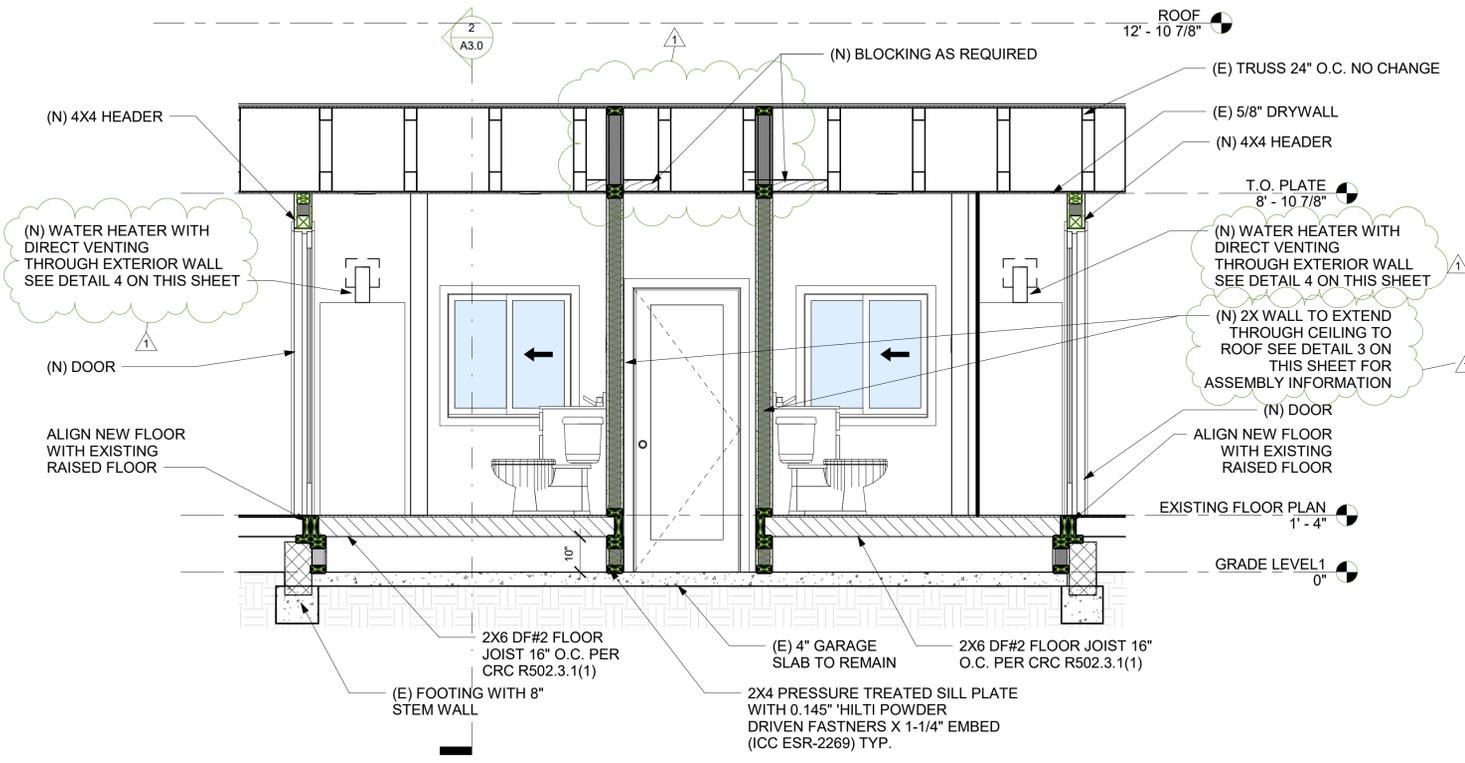
1 EXISTING FLOOR PLAN
 1/4" = 1'-0"



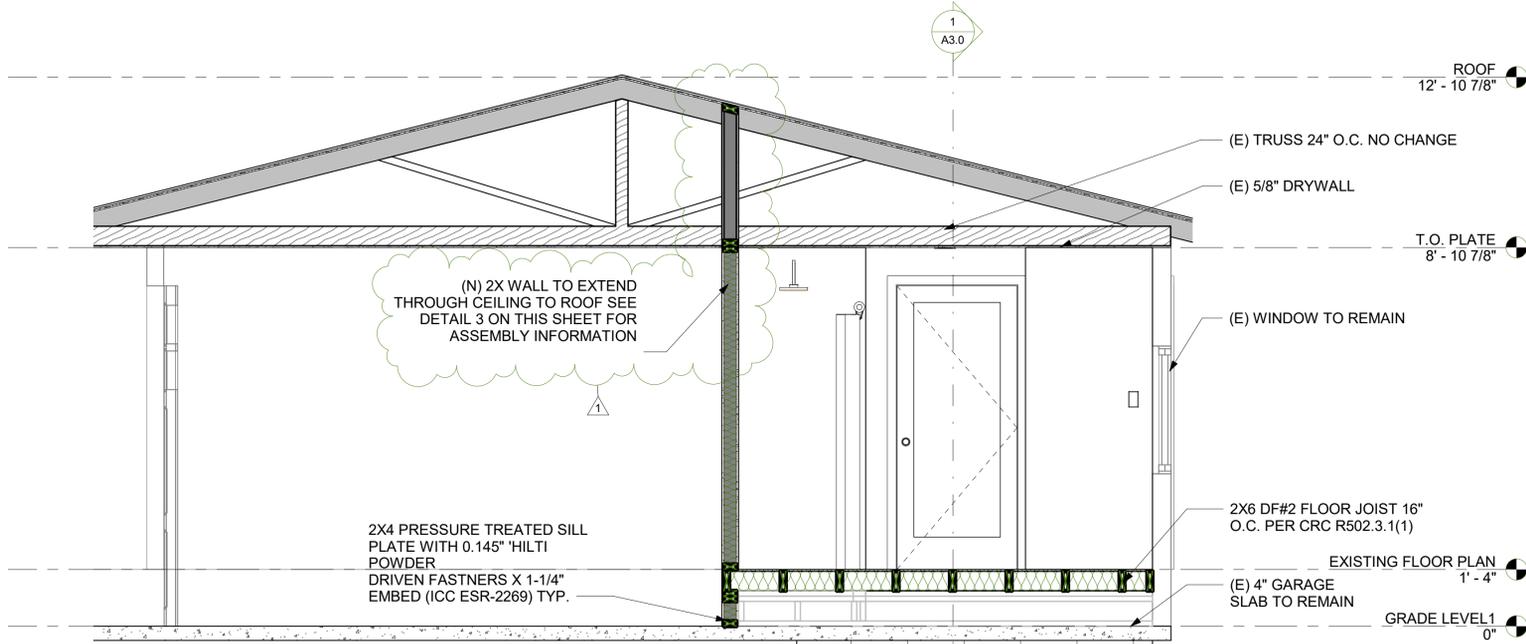
2 PROPOSED FLOOR PLAN
 1/4" = 1'-0"



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1 Section 1
1/2" = 1'-0"

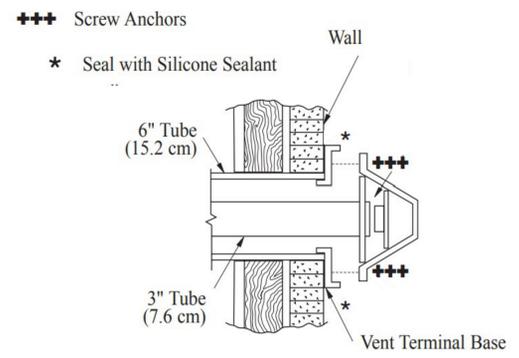


2 Section 2
1/2" = 1'-0"

UL DESIGN NO. U327
FIRE RATING: 1 HOUR
STC: 50
SOUND TEST: BBN-760903
SYSTEM THICKNESS: 5-1/4"

ASSEMBLY
 5/8" TYPE C DRYWALL
 2X4 WOOD STUD 16 O.C.
 3" THERMAFIBER SAFB
 RC-1 CHANNEL OR EQUIVALENT ONE SIDE
 JOINTS FINISHED

3 1HR WALL ASSEMBLY STC 50
1 1/2" = 1'-0"



4 Direct Venting Section
1 1/2" = 1'-0"

- NOTES**
- CLASS "A" UL FIRE RATING, 20 YR 3-TAB ASPHALT SHINGLES, COLOR TO MATCH MAIN HOUSE.
 - ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING.
 - PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL JOINTS IN FLASHING TO BE SOLDERED AND SEALED WITH MASTIC.
 - NO VENTILATION IS REQUIRED IN AREAS WHERE ROOF INSULATION IS INSTALLED BETWEEN RAFTERS WITH NO AIR SPACES BETWEEN INSULATION AND ROOF SHEATHING.

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GAMBINI BATHROOMS
 568 I AVE ST #1 & 2
 CHULA VISTA, CA

No.	Date	Description
1	2/23/22	Revision 1 - BUILDING DIVISION

JSP Project Number 5681.01
 AHJ Project Number 000000
 Date 12/31/21
 Scale As indicated

BUILDING SECTIONS

A3.0

Window Schedule												
Window Tag	Orientation (N, S, E, W)	Dimensions				Fenestraion Type	Operation	Material	Finish/Color	Heat Transfer		Comments
		Width	Height	Sill Height	Area (sqft)					U-Factor MAX	SHGC MAX	
W1		3' - 0"	3' - 0"	2' - 3"								EXISTING WINDOW
W2		3' - 0"	3' - 0"	2' - 3"								EXISTING WINDOW

Door Schedule								
Door Tag	Dimensions		Fenestration (>50%, <50%)	Operation	Frame Material	Finish/Color	Function	Comments
	Width	Height						
1	2' - 10"	6' - 8"					Interior	
2	2' - 10"	6' - 8"					Interior	

APPEVIATION LEGEND	
BAY	BAY WINDOW
BF	BIFOLD
BYP	BYPASS
DBL SW	DOUBLE SWING
FIX	FIXED
OH	OVERHEAD
PKT	POCKET
SLD	SLIDING
SLD CLO	SLIDING CLOSET
SW	SWING

- NOTES**
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.
 - WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SF. WITH THE MIN. OPERABLE WIDTH OF 20" AND THE MIN. OPERABLE HEIGHT OF 24". THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 44" ABOVE THE FLOOR.
 - VERIFY COMPLIANCE OF EGRESS WINDOWS W/ MANUFACTURER PRIOR TO FRAMING.
 - VERIFY ALL R.O. REQUIREMENTS W/ MANUFACTURER PRIOR TO FRAMING.
 - DOOR HARDWARE TBD BY OWNER
 - HEAT TRANSFER UNITS FOR ALL (N) WINDOWS AND DOORS W/ GLAZING:
 - U-FACTOR MAX: 0.32
 - SHGC MAX: 0.25
 - SOURCE: NFRC, TABLE 110.6-B, EQUATION NA6-2
 - ALL GLAZING SHALL CONFORM TO 2016 CBC CHAPTER 24 AND CITY OF SAN DIEGO FOR SAFETY GLAZING.
 - ALL EXTERIOR DOORS/WINDOWS SHALL BE SET IN SEALANT. WEATHER STRIPPED AND LABELED AS COMPLYING WITH ANSI STANDARDS.
 - WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER CALIFORNIA BUILDING CODE TITLE 24 2.5317
 - PROVIDE TEMPERED GLAZING WITHIN 18" OF FLOOR OR DOORWAY. ALL DOORS, ALL BATHS & SHOWERS, ALONG STAIRS, AND STAIR LANDINGS PER CBC 2406.4.
 - ALL OPERABLE WINDOWS TO OPEN OUT TO EXTERIOR U.N.O.
 - DOOR AND WINDOW OPERATION/DIRECTION PER PLAN & ELEVATIONS
 - ALL DUAL GLAZING TO BE LOW 'E'
 - ALL DOOR HARDWARE TO BE SATIN NICKEL

GAMBINI BATHROOMS

568 I AVE ST #1 & 2
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SCHEDULES

A6.0



1 PROPOSED FLOOR PLAN ELECTRICAL
3/4" = 1'-0"

ELECTRICAL LEGEND

- CATV
- DUPLEX RECEPTACLE OUTLET
- GROUND FAULT INT. OUTLET
- 3-WAY ELECTRICAL SWITCH
- DIMMABLE ELECTRICAL SWITCH
- SINGLE POLE ELECTRICAL SWITCH
- WALL SCONCE
- FLUORESCENT LIGHT
-
- PENDANT
- RECESSED EXHAUST FAN WITH COMPACT FLUORESCENT LIGHT
- CARBON MONOXIDE ALARM; WIRED WITH BATTERY BACKUP
- SMOKE DETECTOR; WIRED WITH BATTERY BACKUP
- UNDER CABINET LED BAR LIGHT
- HIGH/LOW WALL AIR RETURN REGISTER
- HIGH/LOW WALL AIR SUPPLY REGISTER
- FLOOR/CEILING AIR REGISTER
- CEILING FAN W/ LIGHT

ELECTRICAL/MECHANICAL NOTES

1. WALKTHROUGH W/ OWNER, CONTRACTOR, ELECTRICIAN, AND DESIGNER TO BE PERFORMED AFTER/DURING FRAMING, BEFORE INSTALLATION OF ELECTRICAL, TO CONFIRM FINAL LAYOUT.
2. ALL RECEPTACLES SHALL BE GFCI PROTECTED, NEW/ADDITIONAL OUTLETS SHALL HAVE A DEDICATED 20-AMP CIRCUIT (CCC 210.8 AND 210.11) RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS TO BE WEATHER RESISTANT
3. ALL RECESSED CAN LIGHTS INSTALLED IN CEILINGS WITH INSULATION TO BE TYPE IC AND WITH AIR-TIGHT RATED TRIM/HOUSING
4. ALL OUTLETS IN LIVING AND HALLS ARE TO BE ARC FAULT CIRCUIT PROTECTED PER NEC ARTICLE 210.12(B)
5. OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR MUST BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY ONE THESE: PHOTOCONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
6. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS (SECTION 504 CMC).
7. LIGHTING IN BATHROOMS TO HAVE ONE HIGH EFFICACY LUMINAIRE AND ALL LOW EFFICACY LIGHTING MUST BE CONTROLLED BY VACANCY SENSORS. OTHER ROOMS: ALL LUMINARIES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
8. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
9. BATHROOM ENCLOSURES SHALL BE EQUIPPED WITH PANASONIC QUIET WHISPER FV-08VKL-3 EXHAUST FANS OR COMPARABLE. 80 CFM RATING. UL #E78414
10. PER 2016 GREEN CODE SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
11. KITCHENS: ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
12. WATER HEATER:
 - A. MAKE:
 - B. MODEL:
 - C. NO. OF GALLONS:
 - D. TANK CAPACITY:
13. THE INSTALLATION OF SMOKE ALARMS, SMOKE DETECTORS, AND CARBON MONOXIDE ALARMS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4. & R315.
14. ALL SMOKE DETECTORS/CARBON MONOXIDE ALARMS TO REMAIN IN EXISTING AREAS.
15. WHOLE-BUILDING VENTILATION SYSTEM WITH MINIMUM 64 CFM TO BE INSTALLED TO ACHIEVE INDOOR AIR QUALITY (IAQ). SEE TITLE 24 REPORT. 2016 RESIDENTIAL COMPLIANCE MANUAL SEC. 4.6 FOR NEW CONSTRUCTION OR ADDITIONS GREATER THAN 1,000 SF.

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ELECTRICAL PLAN

E1.0

